



NORTH CAROLINA OFFICE
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NO.	DATE	REVISION

PROFESSIONAL SEAL:

PROJECT TITLE:
THE SULLIVAN

CONSTRUCTION SET



CLIENTS NAME:
PROJECT NO:
GMD15022RAL
SHEET TITLE:
TITLE SHEET

PRINT DATE:
DECEMBER 19, 2016
SHEET NO:

T-1

THE SULLIVAN

Lot 1079 - Anderson Creek Academy

EUROPEAN AREA	
Name	Area
FIRST FLOOR	851 SF
SECOND FLOOR	1296 SF
HEATED	2147 SF
COVERED PORCH	42 SF
GARAGE	437 SF
UNHEATED	479 SF

OPTIONS AREA	
Name	Area
OPT. COVERED PORCH	168 SF

ABBREVIATIONS INDEX

ABBREVIATIONS	INDEX
ABV ABOVE	L LENGTH
A.C. AIR CONDITIONING	LA LAUNDRY
ADJ ADJUSTABLE	LAV LAVATORY
AL ALUMINUM	LVR LOUVER
ARCH ARCHITECTURAL	MAX MAXIMUM
BA BATHROOM	MECH MECHANICAL
BD BOARD	MAN MANUFACTURER
BF BI-FOLD (DOOR)	MIN MINIMUM
BLDG BUILDING	MISC MISCELLANEOUS
BLK BLOCK (CMU)	N.T.S. NOT TO SCALE
BLW BELOW	O.G.F. OVERHEAD GARAGE DOOR
BM BEAM	OP OVERHEAD
BP BI-PASS (DOOR)	OPT OPTIONAL
BTM BOTTOM	PAR PARALLEL
BTWN BETWEEN	P.B. PUSH BUTTON
CAB CABINET	PDR POWDER
CER CERAMIC	PEF PERISTAL
C.J. CONTROL JOINT OR CONSTRUCTION JOINT	PL PLATE
CL CLOSET OR CENTER LINE	PR PAIR
CLG CEILING	P.T. PRESSURE TREATED WOOD
CMU CONCRETE MASONRY UNIT	PVC POLYVINYL CHLORIDE PIPE
COL COLUMN	P.W. PRE-WOOD
CONC CONCRETE	PMD POUND
CR CORROSION RESISTANT	R RISER
CSMT CASHEMENT	RAG RETURN AIR GRILL
C.T. CERAMIC TILE	REF REFERENCE
D DRYER	REFR REFRIGERATOR
DBL DOUBLE	REQ REQUIRED
DH DOUBLE HUNG	S SOUTH
DM DIMENSION	SD SMOKE DETECTOR
DISP DISPOSAL	S.G.D. SLIDING GLASS DOOR
DN DOWN	SH SINGLE HUNG OR SHELF
DS DOWNSPOUT	SIM SIMILAR
DW DWASHER	SP SHELF AND PRICE
E EAST	SPEC SPECIFICATIONS
ELEV ELEVATION	STD STANDARD
ELEC ELECTRICAL	STR STRUCTURAL
EQ EQUAL	SQ SQUARE
EXT EXTERIOR	SVM SYMBOL
FAU FORCED AIR UNIT	SAS SMOOTH FOUR SIDES
F.C. FLOOR CHANGE	T TREAD (AT STAIRS) OR TILE
F.D. FLOOR DRAIN	T.B. TOWEL BAR
FFL FINISH FLOOR LINE	TEMP TEMPERED GLASS
F.G. FINISHED GRADE	&G TONGUE & GROOVE
FLR FLOORING	T.O.C. TOP OF CURB
F.F. FLOURESCENT (LIGHT)	TY TYPICAL
FND FOUNDATION	U.N.O. UNLESS NOTED OTHERWISE
F.O.S. FACE OF STUD	V.B. VAPOR BARRIER
FG FLOORING	V.T.R. VENT THRU ROOF
FX FIXED GLASS	W WASHING MACHINE
GAL GALVANIZED	WG WOOD
GAR GARAGE	WH WATER HEATER
G.B. GYPSUM BOARD	WI WROUGHT IRON
GD GRADE GRADING	W.W. WALK OR CURB
G.D.O. GARAGE DOOR OPENER	W/W WITH OR WITHOUT
GFI GROUND FAULT INTERRUPTER	WP WATERPROOFING
GL GLASS OR GLAZING	WWM WELDED WIRE MESH
GYP BO GYPSUM BOARD	R PROPERTY LINE
HD HEAD OR HARD	O ROUND / DIAMETER
HDR HEADER	AND
HVAC HEATING VENTILATING AIR COND.	C CENTERLINE
INT INTERIOR	# POUND / NUMBER
JST JOINT	
KIT KITCHEN	

BUILDING CODE COMPLIANCE / PROJECT INFORMATION

ALL CONSTRUCTION TO COMPLY WITH LOCAL CODES AND ORDINANCES CURRENTLY IN USE WITH THE LOCAL JURISDICTION.

APPLICABLE CODES:
FOLLOW ALL APPLICABLE STATE AND LOCAL CODES.
2012 NORTH CAROLINA STATE SUPPLEMENTS AND AMENDMENTS

CONTRACTOR AND BUILDER SHALL REVIEW ENTIRE PLAN TO VERIFY CONFORMANCE WITH ALL CURRENT APPLICABLE CODES IN EFFECT AT TIME OF CONSTRUCTION. BY USING THESE DRAWINGS FOR CONSTRUCTION IT IS UNDERSTOOD THAT CONFORMANCE WITH ALL APPLICABLE CODES IS THE RESPONSIBILITY OF THE BUILDER AND CONTRACTOR.

PRODUCT:
SINGLE FAMILY RESIDENCE / 3 STORY TOWNHOMES

OCCUPANCY CLASSIFICATION
RESIDENTIAL R-3

CONSTRUCTION TYPE:
TYPE VB (2 HOUR DWELLING SEPARATION BETWEEN UNITS.)

ALL CONSULTANT DRAWINGS ACCOMPANYING THESE GMD DESIGN GROUP DRAWINGS HAVE NOT BEEN PREPARED BY OR UNDER THE DIRECTION OF GMD DESIGN GROUP, INC. GMD DESIGN GROUP, INC. THEREFORE ASSUMES NO LIABILITY FOR THE COMPLETENESS OR CORRECTNESS OF THESE DRAWINGS.

GENERAL NOTES:

THESE DOCUMENTS ARE THE PROPERTY OF THE DESIGNER AND SHALL NOT BE COPIED, DUPLICATED, ALTERED, MODIFIED OR REVISED IN ANY WAY WITHOUT THE EXPRESSED WRITTEN APPROVAL OF THE DESIGNER.

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE SITE AND ALL INCONSISTENCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DEVELOPER AND THE DESIGNER BEFORE PROCEEDING WITH WORK.

ANY ERRORS OR OMISSIONS FOUND IN THESE DRAWINGS SHALL BE BROUGHT TO DEVELOPERS AND DESIGNERS ATTENTION IMMEDIATELY.

DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

ALL DIMENSIONS ARE TO FACE OF STUD OR TO FACE OF FRAMING UNLESS OTHERWISE NOTED.

ALL TRUSS DRAWINGS TO BE REVIEWED AND APPROVED BY THE STRUCTURAL ENGINEER PRIOR TO ISSUANCE OF BUILDING PERMIT.

ALL OR EQUAL SUBSTITUTIONS MUST BE SUBMITTED TO AND APPROVED BY CITY BUILDING OFFICIAL PRIOR TO INSTALLATION.

ALL ANGLED PARTITIONS ARE 45 DEGREES UNLESS OTHERWISE NOTED.

PROVIDE FIREBLOCKING, (PER LOCAL CODES.)

ALL ELECTRICAL AND MECHANICAL EQUIPMENT AND METERS ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS, CONTRACTOR TO VERIFY.

PROVIDE BLOCKING AND/OR BACKING AT ALL TOWEL BAR, TOWEL RING AND/OR TOILET PAPER HOLDER LOCATIONS, AS SHOWN PER PLAN, TYPICAL AT ALL BATHROOMS AND POWDER ROOMS. VERIFY LOCATIONS AT FRAMING WALK.

ELASTOMERIC SHEET WATERPROOFING: FURNISH AND INSTALL ALL WATERPROOFING COMPLETE. A 40 MIL. SELF-ADHERING MEMBRANE OF RUBBERIZED ASPHALT INTEGRALLY BONDED TO POLYETHYLENE SHEETING, OR EQUAL, INSTALL PER MANUFACTURER'S AND TRADE ASSOCIATIONS PRINTED INSTALLATION INSTRUCTIONS. 6" MINIMUM LAP AT ALL ADJACENT WALL SURFACES.

TO THE BEST OF THE DESIGNER'S KNOWLEDGE THESE DOCUMENTS ARE IN CONFORMANCE WITH THE REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY.

SHOP DRAWING REVIEW AND DISTRIBUTION, ALONG WITH PRODUCT SUBMITTALS, REQUESTED IN THE CONSTRUCTION DOCUMENTS, SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR, UNLESS DIRECTED OTHERWISE UNDER A SEPARATE AGREEMENT.

DEVIATIONS FROM THESE DOCUMENTS IN THE CONSTRUCTION PHASE SHALL BE REVIEWED BY THE DESIGNER AND THE OWNER PRIOR TO THE START OF WORK IN QUESTION. ANY DEVIATIONS FROM THESE DOCUMENTS WITHOUT PRIOR REVIEW, SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS REPRESENTED ON THESE DOCUMENTS INCLUDING THE WORK AND MATERIALS FURNISHED BY SUBCONTRACTORS AND VENDORS.

THE OWNER SHALL FURNISH ANY AND ALL REPORTS RECEIVED FROM THE GEOTECHNICAL ENGINEER (SOILS REPORT), ON THE STUDY OF THE PROPOSED SITE, TO THE DESIGNER, STRUCTURAL ENGINEER, AND GENERAL CONTRACTOR. IN THE EVENT THE GEOTECHNICAL REPORTS DO NOT EXIST, THE SOILS CONDITION SHALL BE ASSUMED TO BE A MINIMUM DESIGN SOIL PRESSURE STATED BY THE STRUCTURAL ENGINEER OF RECORD FOR THE PURPOSE OF STRUCTURAL DESIGN. GENERAL CONTRACTOR SHALL ASSURE THE SOIL CONDITIONS MEET OR EXCEED THE CRITERIA.

ALL WORK PERFORMED BY THE GENERAL CONTRACTOR SHALL COMPLY AND CONFORM WITH LOCAL AND STATE BUILDING CODES, ORDINANCES AND REGULATIONS, ALONG WITH ALL OTHER AUTHORITIES HAVING JURISDICTION. THE GENERAL CONTRACTOR IS RESPONSIBLE TO BE AWARE OF THESE REQUIREMENTS AND GOVERNING REGULATIONS.

PROVIDE AN APPROVED WASHER DRAIN PAN AT SECOND FLOOR ONLY THAT DRAINS TO EXTERIOR.

WINDOW SUPPLIER TO VERIFY AT LEAST ONE WINDOW IN ALL BEDROOMS TO HAVE A CLEAR OPENABLE AREA OF 4.0 SQ FT. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 22" AND THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20". GLAZING TOTAL AREA OF NOT LESS THAN 5.0 SQ FT IN THE CASE OF A GROUND WINDOW AND NOT LESS THAN 5.7 SQ FT IN THE CASE OF AN UPPER STORY WINDOW. (PER NRCR SECTION R310.1.1)

ALL HANDRAIL BALLUSTERS TO BE SPACED SUCH THAT A 4" SPHERE CANNOT PASS BETWEEN BALLUSTERS. (PER LOCAL CODES.)

PROVIDE STAIR HANDRAILS AND GUARDRAILS PER LOCAL CODES.

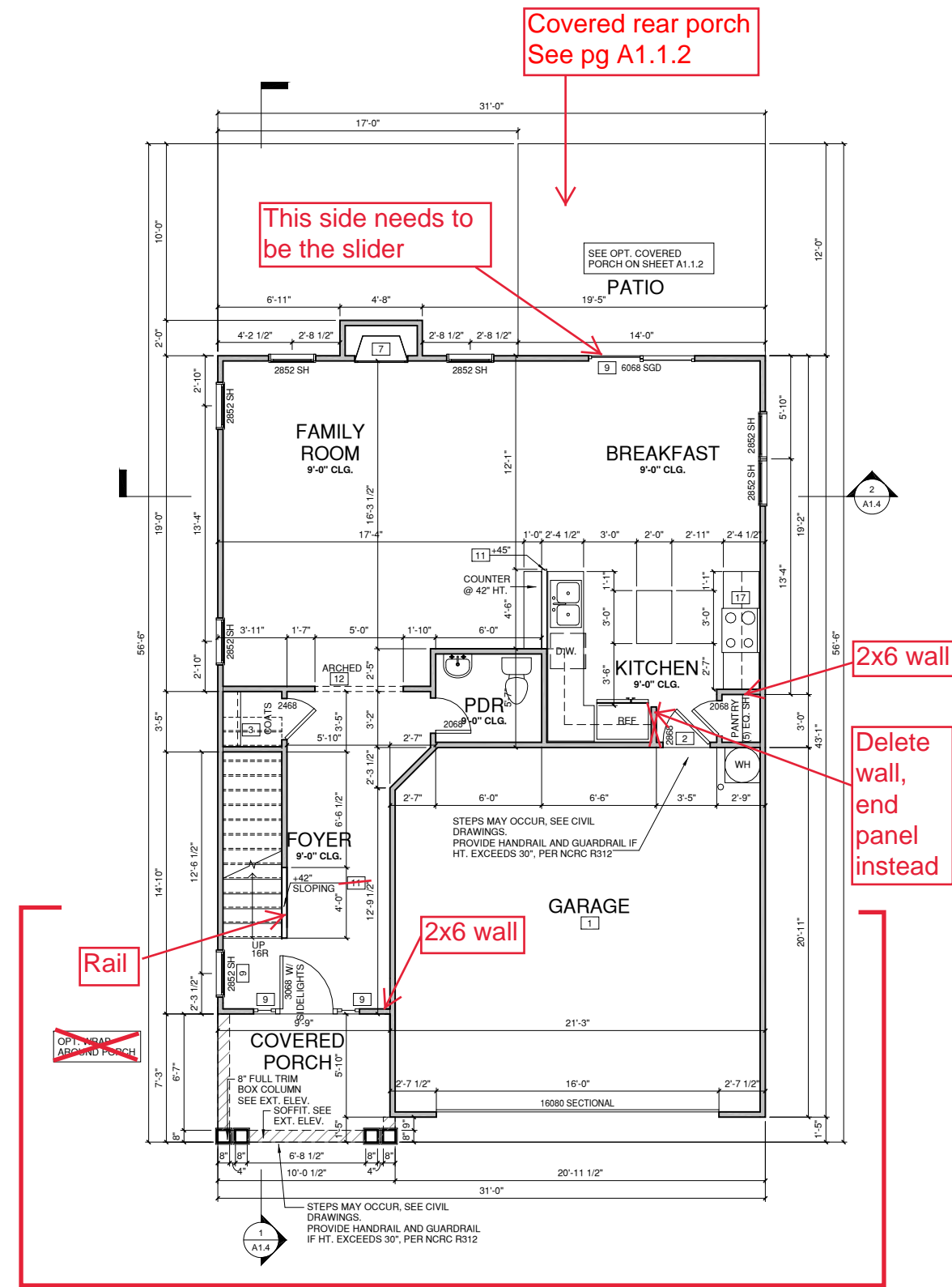
BUILDER SET:

THE SCOPE OF THIS SET OF PLANS IS TO PROVIDE A 'BUILDER'S SET' OF CONSTRUCTION DOCUMENTS AND GENERAL NOTES HEREINAFTER REFERRED TO AS 'PLANS'. THIS SET OF PLANS IS SUFFICIENT TO OBTAIN A BUILDING PERMIT; HOWEVER, ALL MATERIALS AND METHODS OF CONSTRUCTION NECESSARY TO COMPLETE THE PROJECT ARE NOT NECESSARILY DESCRIBED. THE PLANS DELINEATE AND DESCRIBE ONLY LOCATIONS, DIMENSIONS, TYPES OF MATERIALS, AND GENERAL METHODS OF ASSEMBLING OR FASTENING. THEY ARE NOT INTENDED TO SPECIFY PARTICULAR PRODUCTS OR OTHER METHODS OF ANY SPECIFIC MATERIALS, PRODUCT OR METHOD. THE IMPLEMENTATION OF THE PLANS REQUIRES A CLIENT / CONTRACTOR THOROUGHLY KNOWLEDGEABLE WITH THE APPLICABLE BUILDING CODES AND METHODS OF CONSTRUCTION SPECIFIC TO THIS PRODUCT TYPE AND TYPE OF CONSTRUCTION.

CONSTRUCTION REQUIREMENTS AND QUALITY: PROVIDE WORK OF THE SPECIFIC QUALITY WHERE QUALITY LEVEL IS NOT INDICATED. PROVIDE WORK OF QUALITY CUSTOMARY IN SIMILAR TYPES OF WORK. WHERE THE PLANS AND SPECIFICATIONS, CODES, LAWS, REGULATIONS, MANUFACTURER'S RECOMMENDATIONS OR INDUSTRY STANDARDS REQUIRE WORK OF HIGHER QUALITY OR PERFORMANCE, PROVIDE WORK COMPLYING WITH THOSE REQUIREMENTS AND QUALITY. WHERE TWO OR MORE QUALITY PROVISIONS OF THOSE REQUIREMENTS CONFLICT WITH THE MOST STRINGENT REQUIREMENT; WHERE REQUIREMENTS ARE DIFFERENT BUT APPARENTLY EQUAL, AND WHERE IT IS UNCERTAIN WHICH REQUIREMENT IS MOST STRINGENT, OBTAIN CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.

FLOOR PLAN KEYNOTE LEGEND	
1	HOUSE TO GARAGE FIRE SEPARATION, GARAGE/HOUSE SEPARATION AT VERTICAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 1/2" GYPSUM BOARD. GARAGE/HOUSE SEPARATION AT HORIZONTAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 5/8" TYPE "X" GYPSUM BOARD.
2	HOUSE TO GARAGE DOOR SEPARATION. PROVIDE 1 3/8" SOLID CORE DOOR OR APPROVED 20 MINUTE RATED DOOR.
3	BENEATH STAIRS AND LANDINGS. 1/2" GYPSUM BOARD ON WALLS AND CEILING OF ENCLOSED ACCESSIBLE AREAS.
7	PRE-FABRICATED METAL FIREPLACE. INSTALL PER MANUFACTURER WRITTEN INSTRUCTIONS.
8	ATTIC ACCESS LARGE ENOUGH TO REMOVE LARGEST PIECE OF EQUIPMENT BUT NOT LESS THAN 30" X 22". FIRE RATED ACCESS AS NOTED. ATTIC ACCESS LADDER, VERIFY LOCATION AND SIZE WITH TRUSSES (25 1/2" X 54" SIZE).
9	TEMPERED SAFETY GLASS.
11	HALF WALL, HEIGHT AS NOTED.
12	INTERIOR SOFFITS: FPL = 8'-1" U.N.O. SFL = 7'-6" U.N.O.
13	SHOWER, TEMPERED GLASS ENCLOSURE.
14	TUB-SHOWER COMBO.
15	ACRYLIC TUB W/ PLATFORM. SIZE AS NOTED.
17	GAS COOKTOP AND HOOD, VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

WALL LEGEND	
FULL HEIGHT 2X4 WOOD STUD PARTITION	FULL HEIGHT 2X6 WOOD STUD PARTITION
STONE VENEER	DRYWALL OPENING HEIGHT AS NOTED ON PLAN
BRICK VENEER	
STUD WALL BELOW HEIGHT AND STUD SIZE AS NOTED	



FIRST FLOOR PLAN - COASTAL

Euro
See next pg

1/4" = 1'-0" AT 22" X 34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



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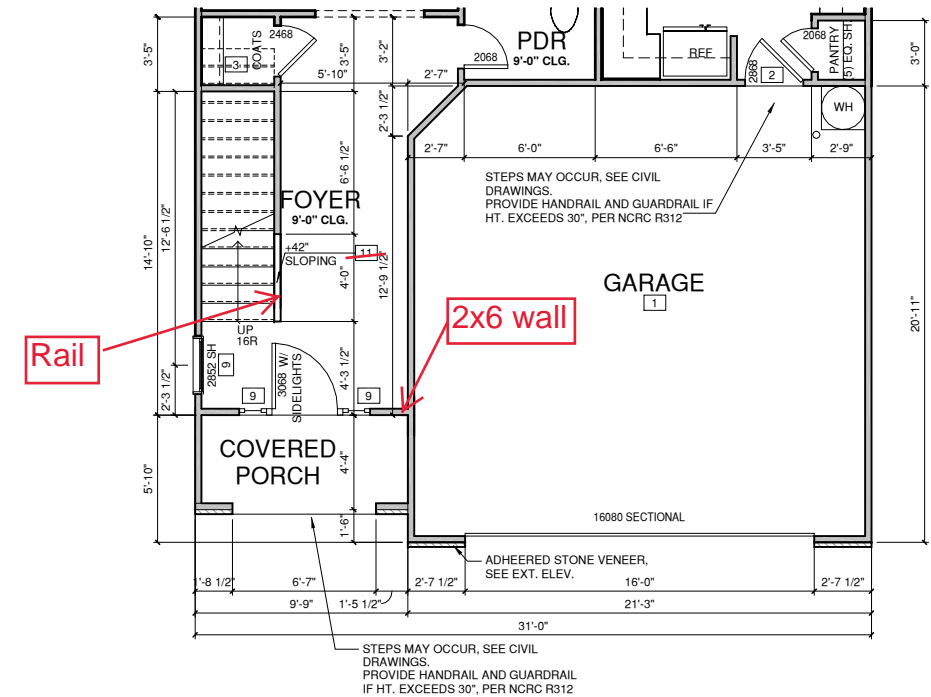
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	DRYWALL OPENING HEIGHT AS NOTED ON PLAN



FIRST FLOOR PLAN EUROPEAN
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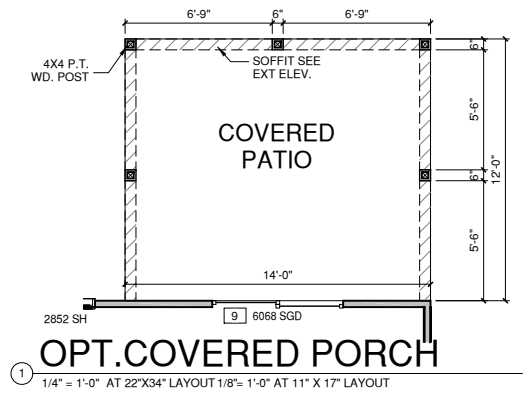
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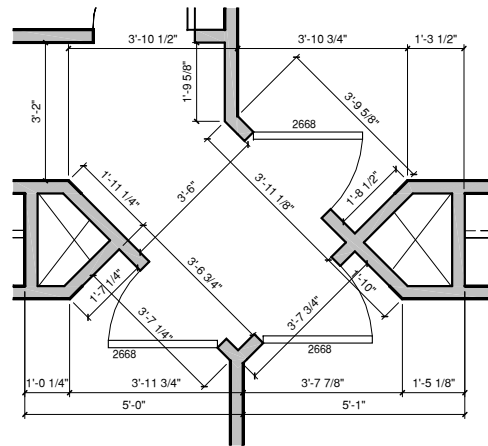
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FLOOR PLAN KEYNOTE LEGEND

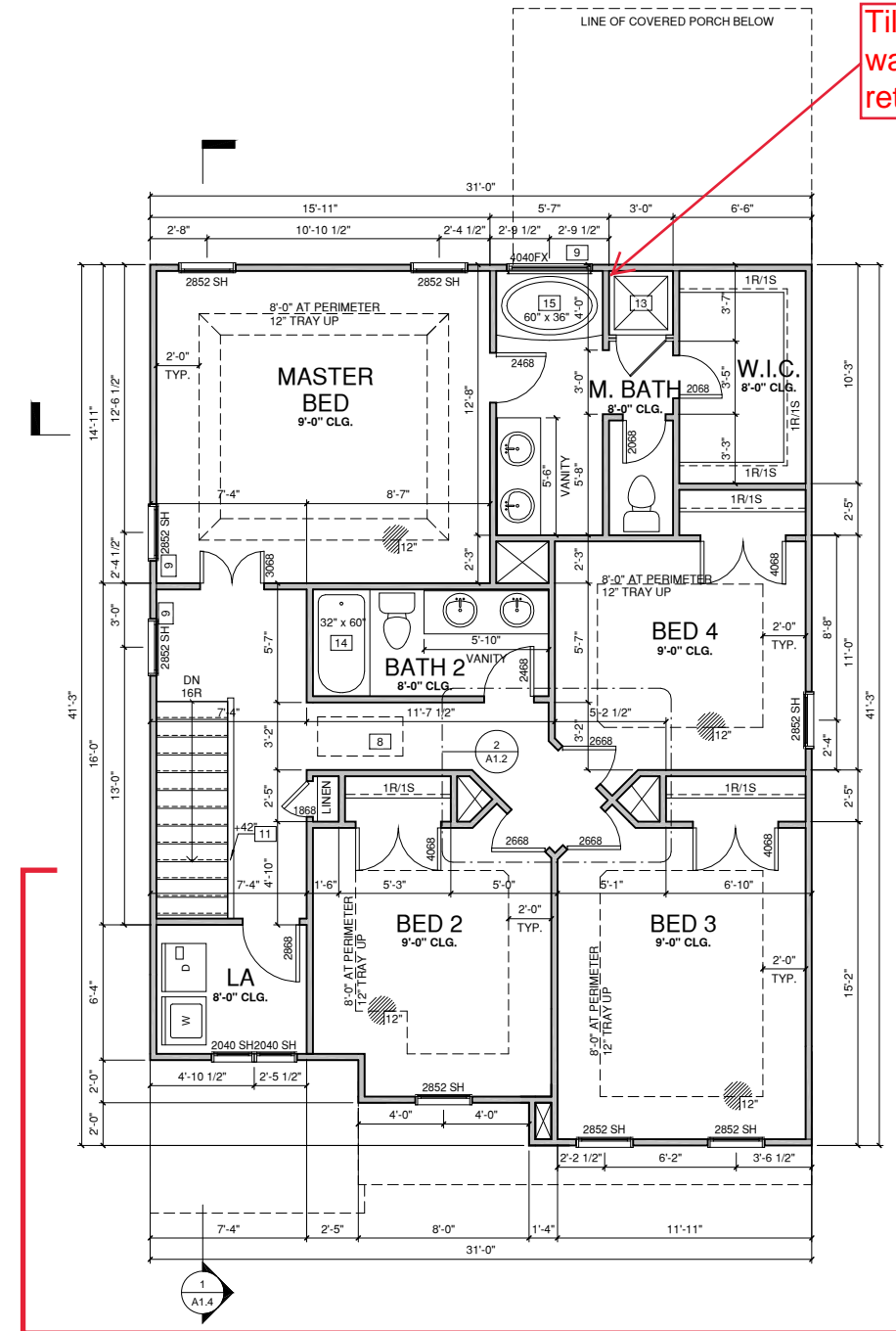
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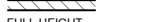




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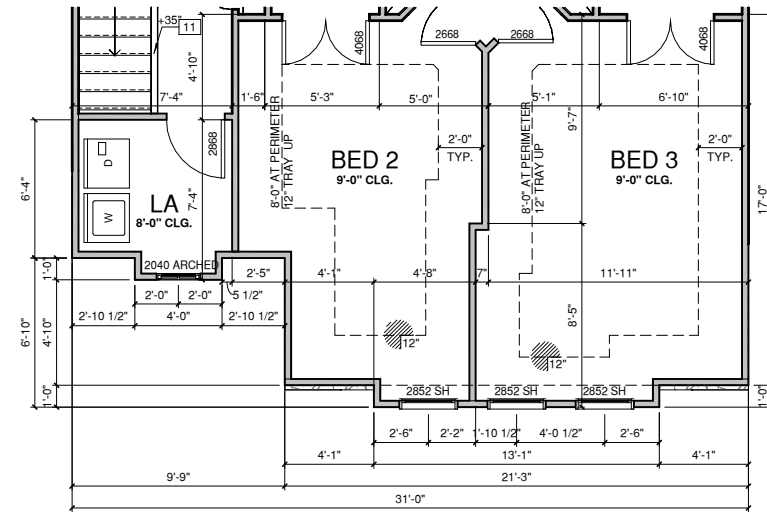
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SECOND FLOOR PLAN EUROPEAN

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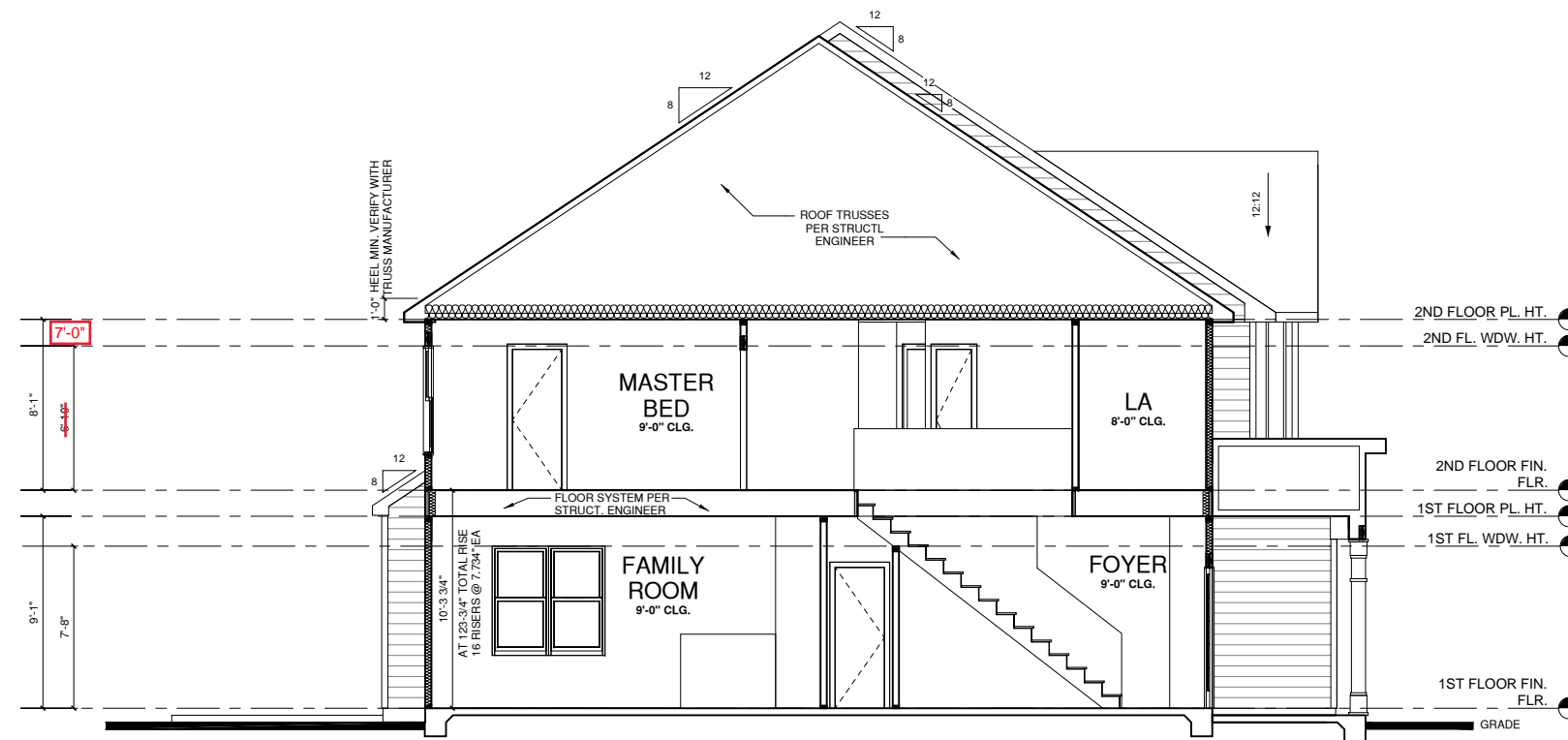
SHEET TITLE:

**BUILDING
SECTIONS**

PRINT DATE:
DECEMBER 19, 2016

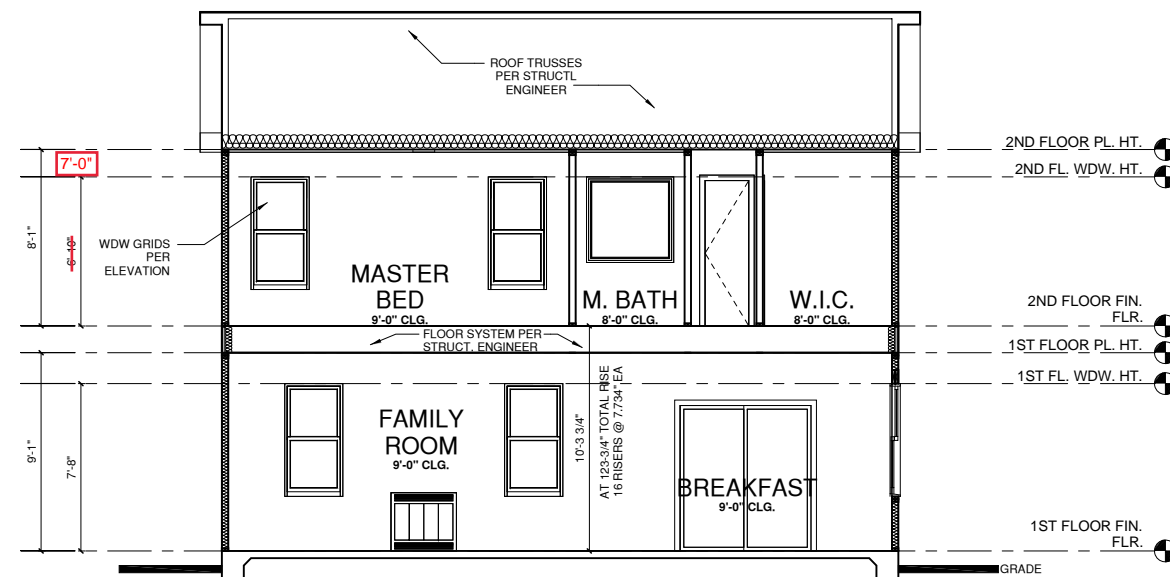
SHEET NO:

A1.4



BUILDING SECTION 1

1/4" = 1'-0" AT 22'X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



BUILDING SECTION 2

1/4" = 1'-0" AT 22'X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

FLOOR PLAN KEYNOTE LEGEND

1	HOUSE TO GARAGE FIRE SEPARATION, GARAGE/HOUSE SEPARATION AT VERTICAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 1/2" GYPSUM BOARD. GARAGE/HOUSE SEPARATION AT HORIZONTAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 5/8" TYPE "X" GYPSUM BOARD.
2	HOUSE TO GARAGE DOOR SEPARATION, PROVIDE 1 3/8" SOLID CORE DOOR OR APPROVED 20 MINUTE RATED DOOR.
3	BENEATH STAIRS AND LANDINGS, 1/2" GYPSUM BOARD ON WALLS AND CEILING OF ENCLOSED ACCESSIBLE AREAS.
7	PRE-FABRICATED METAL FIREPLACE, INSTALL PER MANUFACTURER WRITTEN INSTRUCTIONS.
8	ATTIC ACCESS LARGE ENOUGH TO REMOVE LARGEST PIECE OF EQUIPMENT BUT NOT LESS THAN 30"X22". FIRE RATED ACCESS AS NOTED. ATTIC ACCESS LADDER, VERIFY LOCATION AND SIZE WITH TRUSSES (25 1/2"X54" SIZE).
9	TEMPERED SAFETY GLASS.
11	HALF WALL, HEIGHT AS NOTED.
12	INTERIOR SOFFITS: FFL = 8'-1" U.N.O. SFL = 7'-6" U.N.O.
13	SHOWER, TEMPERED GLASS ENCLOSURE.
14	TUB-SHOWER COMBO.
15	ACRYLIC TUB W/ PLATFORM, SIZE AS NOTED.
17	GAS COOKTOP AND HOOD, VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

ALL WINDOWS WHOSE OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND WHOSE OPENING IS GREATER THAN 72" ABOVE THE OUTSIDE WALKING SURFACE MUST HAVE WINDOW OPENING LIMITING DEVICES COMPLYING WITH THE 2012 IRC SECTION R312.2.

NOTES:

GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.

WINDOW HEAD HEIGHTS:
1ST FLOOR = 8'-0" U.N.O. ON ELEVATIONS
2ND FLOOR = 7'-0" U.N.O. ON ELEVATIONS
3RD FLOOR = 7'-0" U.N.O. ON ELEVATIONS.

ROOFING: PITCHED SHINGLES PER BUILDER.

WINDOWS: MANUFACTURER PER BUILDER, DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS.

ENTRY DOOR: AS SELECTED BY BUILDER.

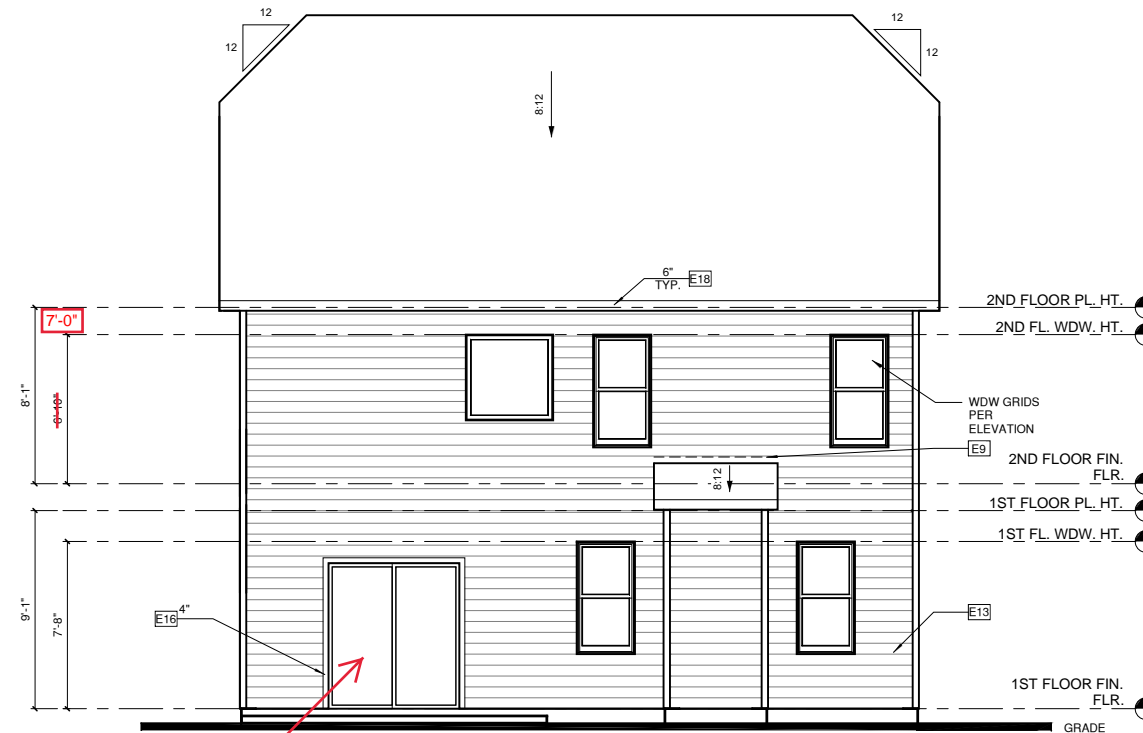
CHIMNEY AS OCCURS: TOP OF CHIMNEYS TO BE A MINIMUM OF 24" ABOVE ANY ROOF WITHIN 10'-0" OF CHIMNEY.

ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.



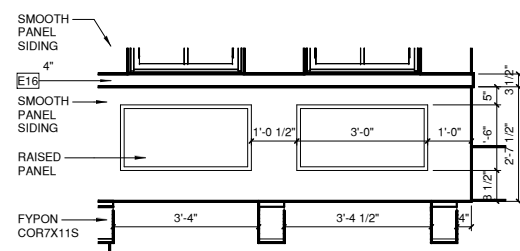
EUROPEAN FRONT ELEVATION

1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



EUROPEAN REAR ELEVATION

1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



EUROPEAN BOX BAY DETAIL

1/2" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

Covered rear porch
See pg A1.8.2



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NORTH CAROLINA OFFICE
102 FOUNTAIN BROOK CIRCLE
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NO. DATE REVISION:

PROFESSIONAL SEAL:

PROJECT TITLE:

THE SULLIVAN

CONSTRUCTION SET

CLIENTS NAME:



PROJECT NO:
GMD15022RAL

SHEET TITLE:

EUROPEAN ELEVATIONS

PRINT DATE:
DECEMBER 19, 2016

SHEET NO:
A1.8.0

FLOOR PLAN KEYNOTE LEGEND	
1	HOUSE TO GARAGE FIRE SEPARATION. GARAGE/HOUSE SEPARATION AT VERTICAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 1/2" GYPSUM BOARD. GARAGE/HOUSE SEPARATION AT HORIZONTAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 5/8" TYPE "X" GYPSUM BOARD
2	HOUSE TO GARAGE DOOR SEPARATION. PROVIDE 1 3/8" SOLID CORE DOOR OR APPROVED 20 MINUTE RATED DOOR
3	BENEATH STAIRS AND LANDINGS. 1/2" GYPSUM BOARD ON WALLS AND CEILING OF ENCLOSED ACCESSIBLE AREAS
7	PRE-FABRICATED METAL FIREPLACE. INSTALL PER MANUFACTURER WRITTEN INSTRUCTIONS
8	ATTIC ACCESS LARGE ENOUGH TO REMOVE LARGEST PIECE OF EQUIPMENT BUT NOT LESS THAN 30"X22". FIRE RATED ACCESS AS NOTED. ATTIC ACCESS LADDER. VERIFY LOCATION AND SIZE WITH TRUSSES (25 1/2"X54" SIZE)
9	TEMPERED SAFETY GLASS
11	HALF WALL, HEIGHT AS NOTED
12	INTERIOR SOFFITS: FFL = 8'-1" U.N.O. SFL = 7'-6" U.N.O.
13	SHOWER, TEMPERED GLASS ENCLOSURE
14	TUB-SHOWER COMBO
15	ACRYLIC TUB W/ PLATFORM, SIZE AS NOTED
17	GAS COOKTOP AND HOOD, VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS

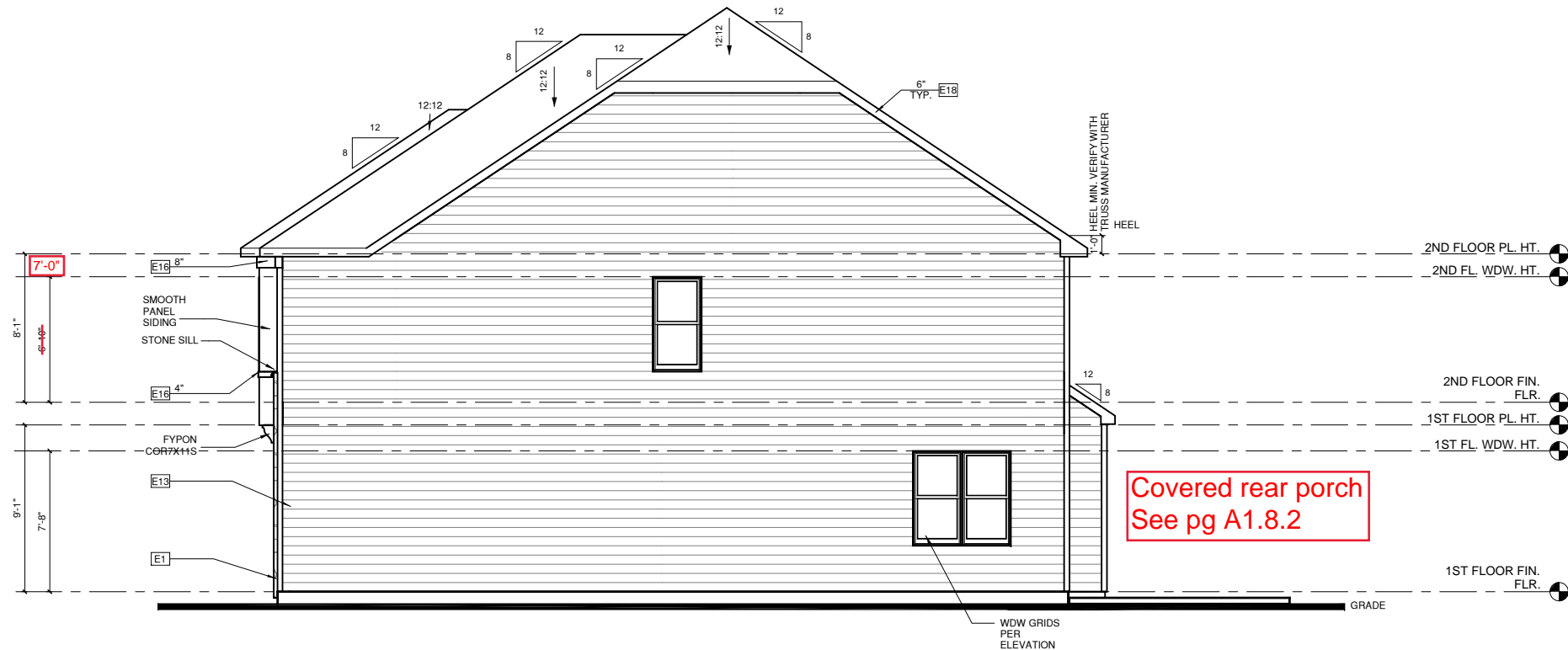
ALL WINDOWS WHOSE OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND WHOSE OPENING IS GREATER THAN 72" ABOVE THE OUTSIDE WALKING SURFACE MUST HAVE WINDOW OPENING LIMITING DEVICES COMPLYING WITH THE 2012 IRC SECTION R312.2.

NOTES:

- GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.
- WINDOW HEAD HEIGHTS:
1ST FLOOR = 8'-0" U.N.O. ON ELEVATIONS
2ND FLOOR = 7'-0" U.N.O. ON ELEVATIONS
3RD FLOOR = 7'-0" U.N.O. ON ELEVATIONS.
- ROOFING: PITCHED SHINGLES PER BUILDER.
- WINDOWS: MANUFACTURER PER BUILDER. DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS
- ENTRY DOOR: AS SELECTED BY BUILDER
- CHIMNEY AS OCCURS: TOP OF CHIMNEYS TO BE A MINIMUM OF 24" ABOVE ANY ROOF WITHIN 10'-0" OF CHIMNEY.
- ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.



EUROPEAN LEFT ELEVATION
 1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



EUROPEAN RIGHT ELEVATION
 1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



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THE SULLIVAN

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CLIENTS NAME:



PROJECT NO:
 GMD15022RAL

SHEET TITLE:
EUROPEAN ELEVATIONS

PRINT DATE:
 DECEMBER 19, 2016

SHEET NO:
A1.8.1

FLOOR PLAN KEYNOTE LEGEND	
1	HOUSE TO GARAGE FIRE SEPARATION, GARAGE/HOUSE SEPARATION AT VERTICAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 1/2" GYPSUM BOARD, GARAGE/HOUSE SEPARATION AT HORIZONTAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 5/8" TYPE "X" GYPSUM BOARD
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1ST FLOOR = 8'-0" U.N.O. ON ELEVATIONS
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3RD FLOOR = 7'-0" U.N.O. ON ELEVATIONS.

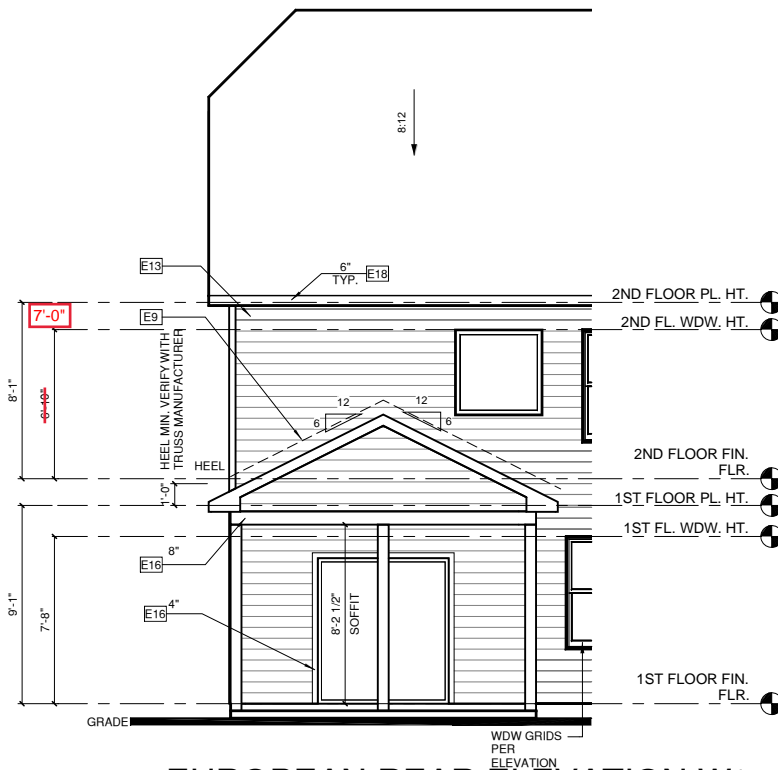
-ROOFING: PITCHED SHINGLES PER BUILDER.

-WINDOWS: MANUFACTURER PER BUILDER. DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS

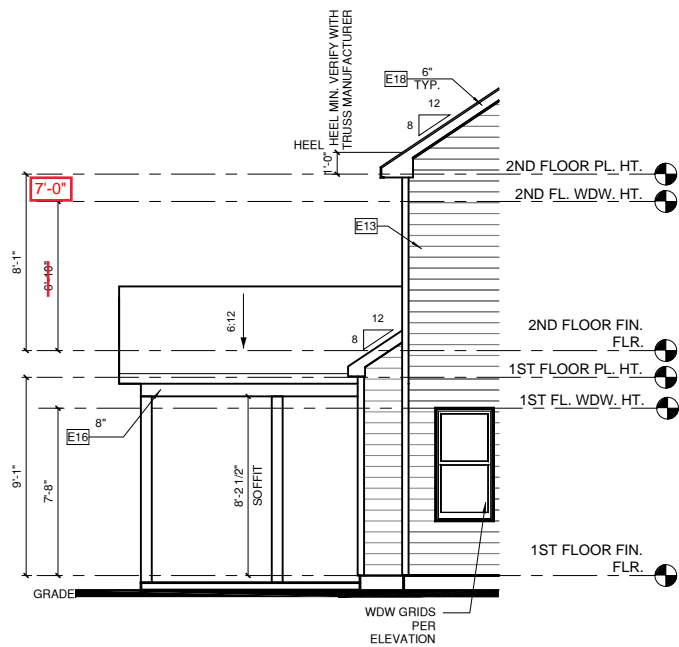
-ENTRY DOOR: AS SELECTED BY BUILDER

-CHIMNEY AS OCCURS: TOP OF CHIMNEYS TO BE A MINIMUM OF 24" ABOVE ANY ROOF WITHIN 10'-0" OF CHIMNEY.

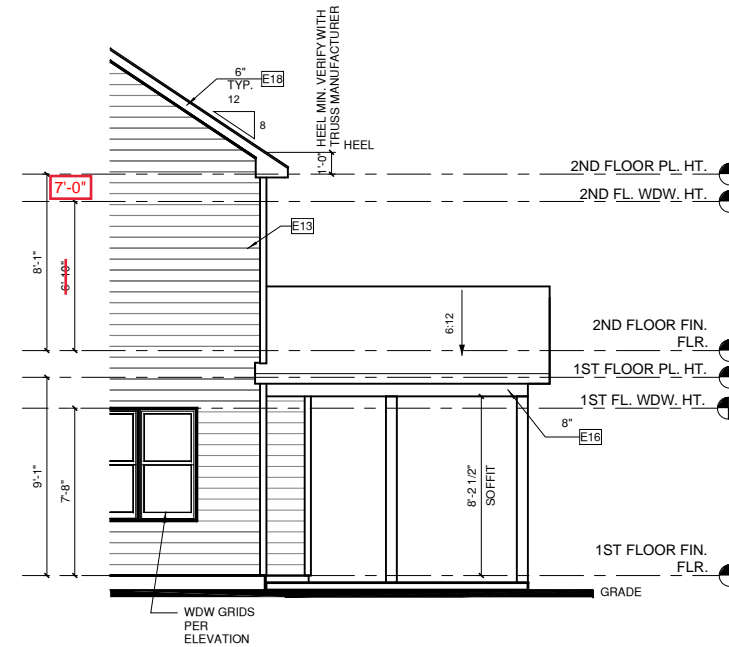
-ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.



EUROPEAN REAR ELEVATION W/ OPT. COVERED PORCH
 1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



EUROPEAN LEFT ELEVATION W/ OPT. COVERED PORCH
 1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



EUROPEAN RIGHT ELEVATION W/ OPT. COVERED PORCH
 1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



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CLIENTS NAME:



PROJECT NO:
GMD15022RAL

SHEET TITLE:

EUROPEAN ELEVATION OPTIONS

PRINT DATE:
DECEMBER 19, 2016

SHEET NO:

A1.8.2

1/150 RATIO:

GENERAL CONTRACTOR SHALL VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED BY OWNER. VERIFY WITH MANUFACTURER OF HIGH AND LOW VENTS TO BE USED FOR MINIMUM CALCULATED VENTS REQUIRED. THE REQUIRED VENTILATION SHALL BE MAINTAINED. PROVIDE INSULATION STOP SUCH THAT INSULATION DOES NOT OBSTRUCT FREE AIR MOVEMENT AS REQUIRED BY THE BUILDING OFFICIAL.

ALL OVERLAP FRAMED ROOF AREAS SHALL HAVE OPENINGS BETWEEN THE ADJACENT ATTICS IN THE ROOF SHEATHING (AS ALLOWED BY THE STRUCTURAL ENGINEER) TO ALLOW PASSAGE AND ATTIC VENTILATION BETWEEN THE TWO OR ISOLATED ATTIC SPACES SHALL BE VENTED INDEPENDENTLY TO CBC REQUIREMENTS.

PER DEVELOPER, AT ALL CANTILEVERED FLOORS, CANTILEVERED ARCHITECTURAL POP-OUTS, AND ANY DOUBLE FRAMING PROJECTIONS THAT ARE SEPARATED FROM THE VENTING CALCULATIONS SHOWN ABOVE, PROVIDE A CONTINUOUS 2" CORROSION RESISTANT SOFFIT VENT AT UNDERSIDE OF FRAMED ELEMENT.

1/300 RATIO:

AS AN ALTERNATE TO THE 1/150 RATIO LISTED, THE NET FREE CROSS-VENTILATION AREA MAY BE REDUCED TO 1/300 WHEN A VAPOR BARRIER IS HAVING A TRANSMISSION RATE NOT EXCEEDING I-PERM INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING.

GENERAL CONTRACTOR SHALL VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED BY OWNER. VERIFY WITH MANUFACTURER OF HIGH AND LOW VENTS TO BE USED FOR MINIMUM CALCULATED VENTS REQUIRED. THE REQUIRED VENTILATION SHALL BE MAINTAINED. PROVIDE INSULATION STOP SUCH THAT INSULATION DOES NOT OBSTRUCT FREE AIR MOVEMENT AS REQUIRED BY THE BUILDING OFFICIAL.

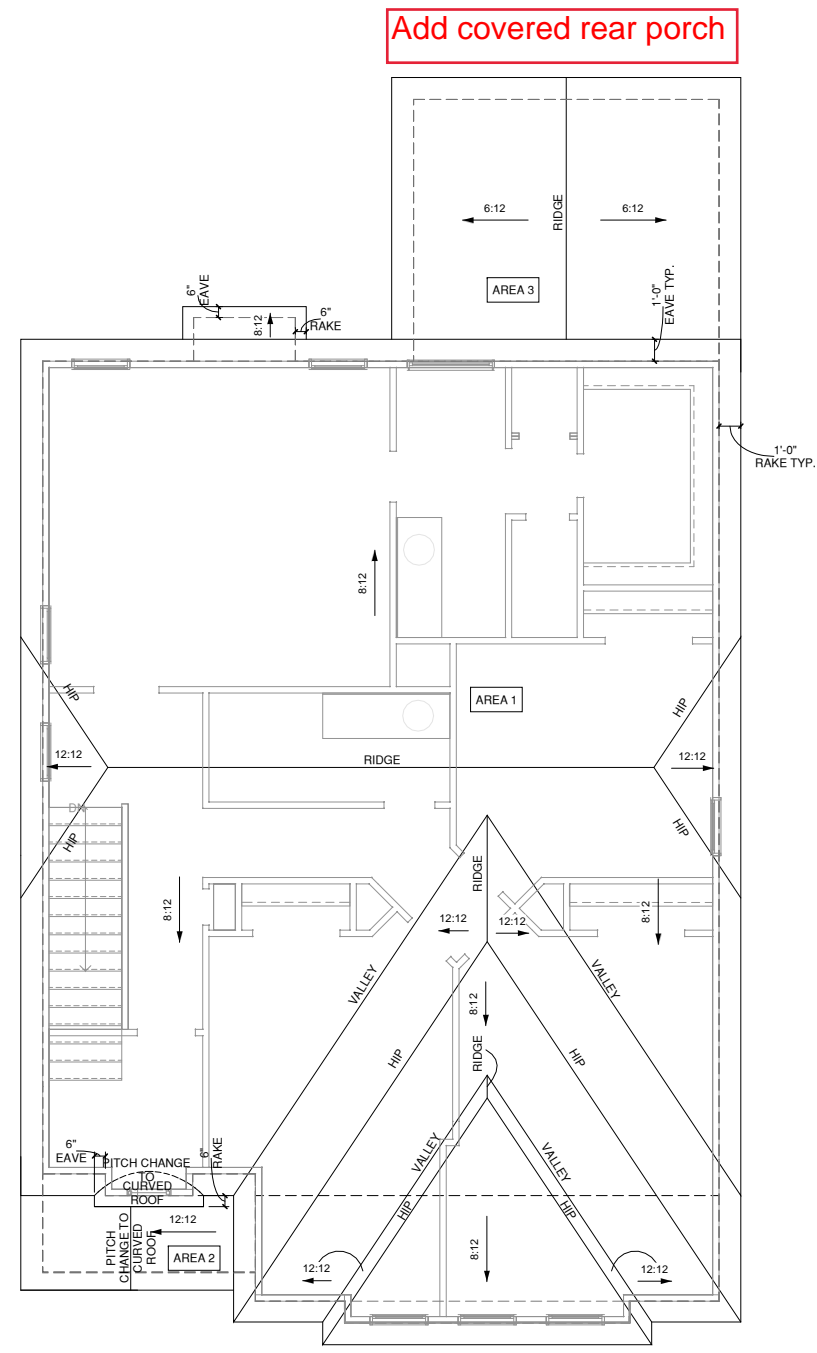
ALL OVERLAP FRAMED ROOF AREAS SHALL HAVE OPENINGS BETWEEN THE ADJACENT ATTICS IN THE ROOF SHEATHING (AS ALLOWED BY THE STRUCTURAL ENGINEER) TO ALLOW PASSAGE AND ATTIC VENTILATION BETWEEN THE TWO OR ISOLATED ATTIC SPACES SHALL BE VENTED INDEPENDENTLY TO CBC REQUIREMENTS.

PER DEVELOPER, AT ALL CANTILEVERED FLOORS, CANTILEVERED ARCHITECTURAL POP-OUTS, AND ANY DOUBLE FRAMING PROJECTIONS THAT ARE SEPARATED FROM THE VENTING CALCULATIONS SHOWN ABOVE, PROVIDE A CONTINUOUS 2" CORROSION RESISTANT SOFFIT VENT AT UNDERSIDE OF FRAMED ELEMENT.

- NOTES:**
- ALL ROOF DRAINAGE SHALL BE PIPED TO STREET OR APPROVED DRAINAGE FACILITY. DASHED LINES INDICATE WALL BELOW.
 - LOCATE GUTTER AND DOWNSPOUTS PER BUILDER.
 - PITCHED ROOFS AS NOTED.
 - TRUSS MANUFACTURER SHALL SUBMIT STRUCTURAL CALCS AND SHOP DRAWING TO THE BUILDER'S GENERAL CONTRACTOR AND BUILDING DEPARTMENT FOR REVIEW PRIOR TO FABRICATIONS.
 - ALL PLUMBING VENTS SHALL BE COMBINED INTO A MINIMUM AMOUNT OF ROOF PENETRATIONS. ALL ROOF PENETRATIONS SHALL OCCUR TO THE REAR OF THE MAIN RIDGE.

EUROPEAN ROOF VENT CALC.

Name	Area	1/300 RATIO AT HIGH & LOW	1/150 RATIO AT HIGH & LOW
AREA 1	1277 SF	306.57 in ²	613.14 in ²
AREA 2	42 SF	10.14 in ²	20.28 in ²
OPT. AREA 3	168 SF	40.32 in ²	80.64 in ²



1 ROOF PLAN EUROPEAN
 1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



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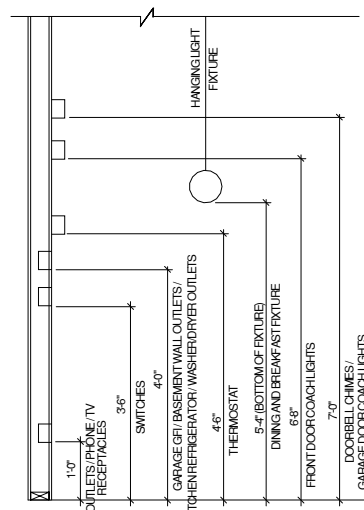
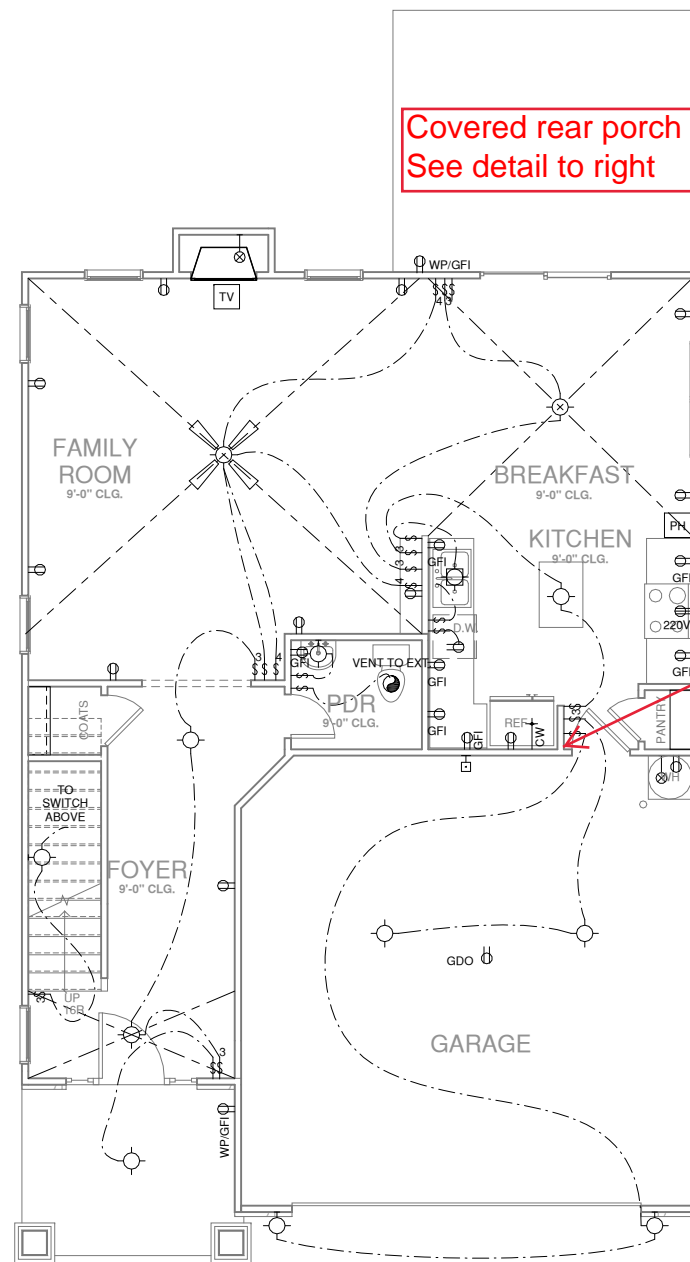


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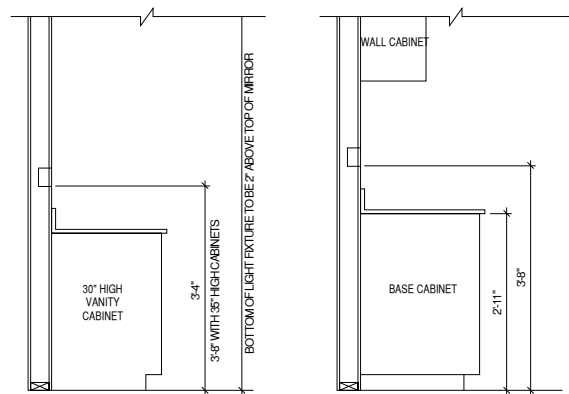
SHEET TITLE:
EUROPEAN ROOF PLAN

PRINT DATE:
 DECEMBER 19, 2016

SHEET NO:
A1.8.3



STANDARD ELECTRICAL BOX HEIGHTS



SWITCH AND RECEPTACLE BOXES
OVER BATH CABINETS

SWITCH AND RECEPTACLE BOXES
OVER KITCHEN CABINETS

**FIRST FLOOR UTILITY PLAN
BASIC**

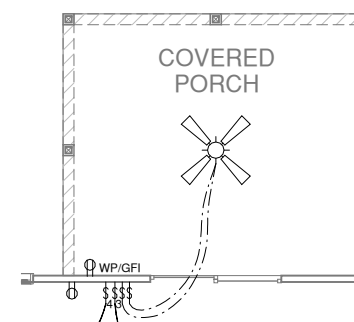
1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

NOTES:

- PROVIDE GROUNDING ELECTRICAL ROD PER LOCAL CODES.
- PROVIDE AND INSTALL ARC FAULT CIRCUIT-INTERRUPTERS (AFCI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- ALL EXHAUST FANS SHALL HAVE BACKDRAFT DAMPERS.
- FANLIGHTS IN WET/DAMP LOCATIONS SHALL BE LABELED "SUITABLE FOR WET OR DAMP LOCATIONS."
- ELECTRICAL SYSTEMS ARE SHOWN FOR INTENT ONLY. THESE SYSTEMS SHALL BE ENGINEERED BY OTHERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND PLACEMENT.
- PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AND CO2 DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- PROVIDE AND INSTALL GROUND FAULT CIRCUIT-INTERRUPTERS (GFI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- ELECTRICAL CONTRACTOR TO PROVIDE REQUIRED DIRECT HOOK-UPS/CUTOFFS.
- HVAC CONTRACTOR TO VERIFY THERMOSTAT LOCATIONS.
- ALL ELECTRICAL AND MECHANICAL EQUIPMENT (FURNACES, A/C UNITS, ELECTRICAL PANELS, SANITARY SUMP PITS, DRAIN TILE SUMP, AND WATER HEATERS) ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS.
- PROVIDE POWER, LIGHT AND SWITCH AS REQUIRED FOR ATTIC FURNACE PER CODE AND MANUFACTURERS WRITTEN INSTRUCTIONS.

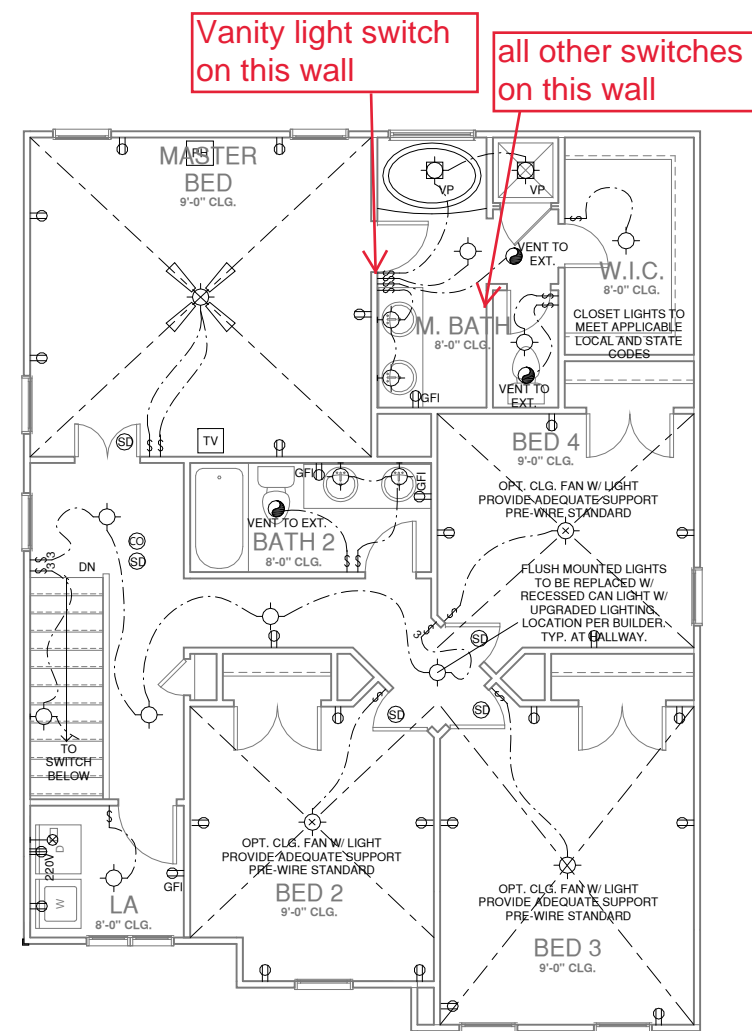
LEGEND:

⊕	DUPLEX OUTLET	☉	CEILING MOUNTED INCANDESCENT LIGHT FIXTURE	⊞	CHIMES	⊗	CEILING FAN (PROVIDE ADEQUATE SUPPORT)
⊕ WP/GFI	WEATHERPROOF GFI DUPLEX OUTLET	⊕	WALL MOUNTED INCANDESCENT LIGHT FIXTURE	⊞	PUSHBUTTON SWITCH	⊗	CEILING FAN WITH INCANDESCENT LIGHT FIXTURE (PROVIDE ADEQUATE SUPPORT)
⊕ GFI	GROUND-FAULT CIRCUIT-INTERRUPTER DUPLEX OUTLET	☉	RECESSED INCANDESCENT LIGHT FIXTURE (VP) = VAPOR PROOF	⊞	110V SMOKE DETECTOR W/ BATTERY BACKUP	⊞	CO2 DETECTOR
⊕	HALF-SWITCHED DUPLEX OUTLET	⊞	EXHAUST FAN (VENT TO EXTERIOR)	⊞	CO2 DETECTOR	⊞	THERMOSTAT
⊕ 220V	220 VOLT OUTLET	⊞	EXHAUST FANLIGHT COMBINATION (VENT TO EXTERIOR)	⊞	TELEPHONE	⊞	TELEVISION
⊞	REINFORCED JUNCTION BOX	⊞	FLUORESCENT LIGHT FIXTURE	⊞	ELECTRIC METER	⊞	ELECTRIC PANEL
⊞	WALL SWITCH	⊞	TECH HUB SYSTEM	⊞	DISCONNECT SWITCH	⊞	WALL SCONCE
⊞ 3	THREE-WAY SWITCH						
⊞ 4	FOUR-WAY SWITCH						



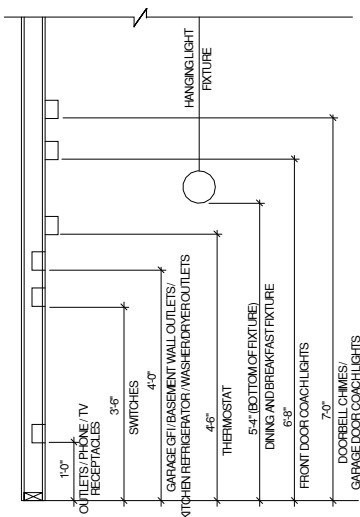
OPT. COVERED PORCH UTILITY PLAN

1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

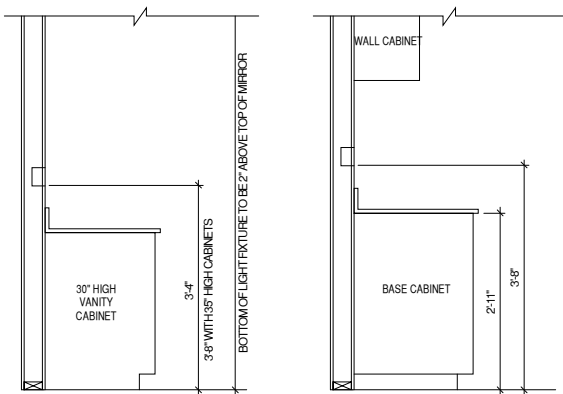


**SECOND FLOOR UTILITY PLAN
BASIC**

1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



STANDARD ELECTRICAL BOX HEIGHTS



SWITCH AND RECEPTACLE BOXES
OVER BATH CABINETS

SWITCH AND RECEPTACLE BOXES
OVER KITCHEN CABINETS

NOTES:

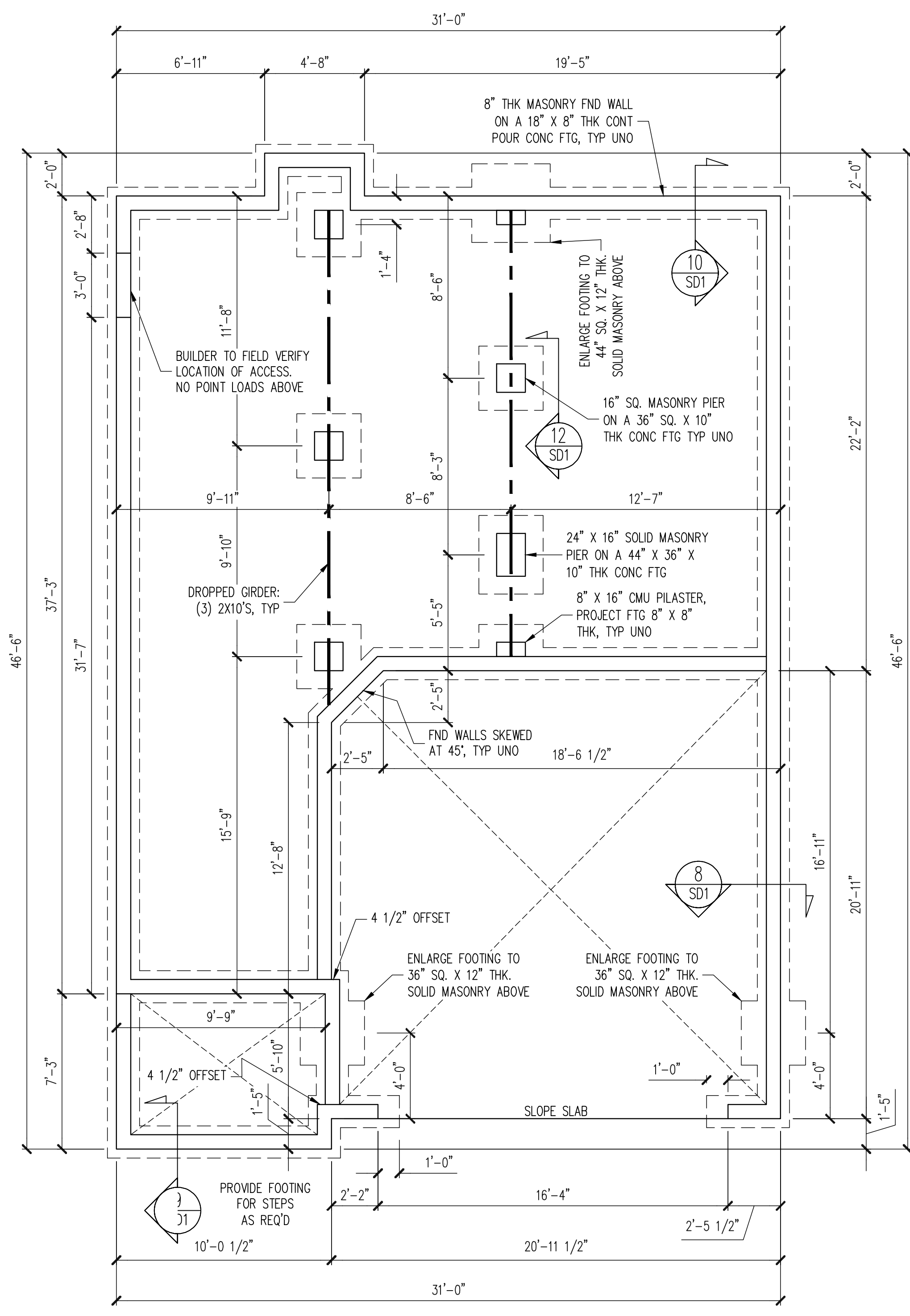
- PROVIDE GROUNDING ELECTRICAL ROD PER LOCAL CODES.
- PROVIDE AND INSTALL ARC FAULT CIRCUIT-INTERRUPTERS (AFCI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- ALL EXHAUST FANS SHALL HAVE BACKDRAFT DAMPERS.
- FANLIGHTS IN WET/DAMP LOCATIONS SHALL BE LABELED "SUITABLE FOR WET OR DAMP LOCATIONS."
- ELECTRICAL SYSTEMS ARE SHOWN FOR INTENT ONLY. THESE SYSTEMS SHALL BE ENGINEERED BY OTHERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND PLACEMENT.
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- PROVIDE AND INSTALL GROUND FAULT CIRCUIT-INTERRUPTERS (GFI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- ELECTRICAL CONTRACTOR TO PROVIDE REQUIRED DIRECT HOOK-UPS/CUTOFFS.
- HVAC CONTRACTOR TO VERIFY THERMOSTAT LOCATIONS.
- ALL ELECTRICAL AND MECHANICAL EQUIPMENT (FURNACES, A/C UNITS, ELECTRICAL PANELS, SANITARY SUMP PITS, DRAIN TILE SUMP, AND WATER HEATERS) ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS.
- PROVIDE POWER, LIGHT AND SWITCH AS REQUIRED FOR ATTIC FURNACE PER CODE AND MANUFACTURERS WRITTEN INSTRUCTIONS.

LEGEND:

⊕	DUPLEX OUTLET	☉	CEILING MOUNTED INCANDESCENT LIGHT FIXTURE	⊞	CHIMES	⊗	CEILING FAN (PROVIDE ADEQUATE SUPPORT)
⊕ W/GFI	WEATHERPROOF GFI DUPLEX OUTLET	⊙	WALL MOUNTED INCANDESCENT LIGHT FIXTURE	⊞	PUSHBUTTON SWITCH	⊗	CEILING FAN WITH INCANDESCENT LIGHT FIXTURE (PROVIDE ADEQUATE SUPPORT)
⊕ GFI	GROUND-FAULT CIRCUIT-INTERRUPTER DUPLEX OUTLET	☉	RECESSED INCANDESCENT LIGHT FIXTURE (VP) = VAPOR PROOF	⊙	110V SMOKE DETECTOR W/ BATTERY BACKUP	⊗	CEILING FAN WITH INCANDESCENT LIGHT FIXTURE (PROVIDE ADEQUATE SUPPORT)
⊕	HALF-SWITCHED DUPLEX OUTLET	⊙	EXHAUST FAN (VENT TO EXTERIOR)	⊙	CO2 DETECTOR	⊕	GAS SUPPLY WITH VALVE
⊕ 200V	220 VOLT OUTLET	⊙	EXHAUST FAN LIGHT COMBINATION (VENT TO EXTERIOR)	⊙	THERMOSTAT	⊕	HOSE BIBB
⊙	REINFORCED JUNCTION BOX	⊙	FLUORESCENT LIGHT FIXTURE	⊞	TELEPHONE	⊕	1/4" WATER STUB OUT
⊕	WALL SWITCH	⊙	TECH HUB SYSTEM	⊞	TELEVISION	⊕	WALL SCONCE
⊕ 3	THREE-WAY SWITCH	⊞		⊞	ELECTRIC METER		
⊕ 4	FOUR-WAY SWITCH	⊞		⊞	ELECTRIC PANEL		
		⊞		⊞	DISCONNECT SWITCH		

THIS ELEVATION NOT FOR CONSTRUCTION

Covered rear porch
See pg S13



Euro
See pg S7

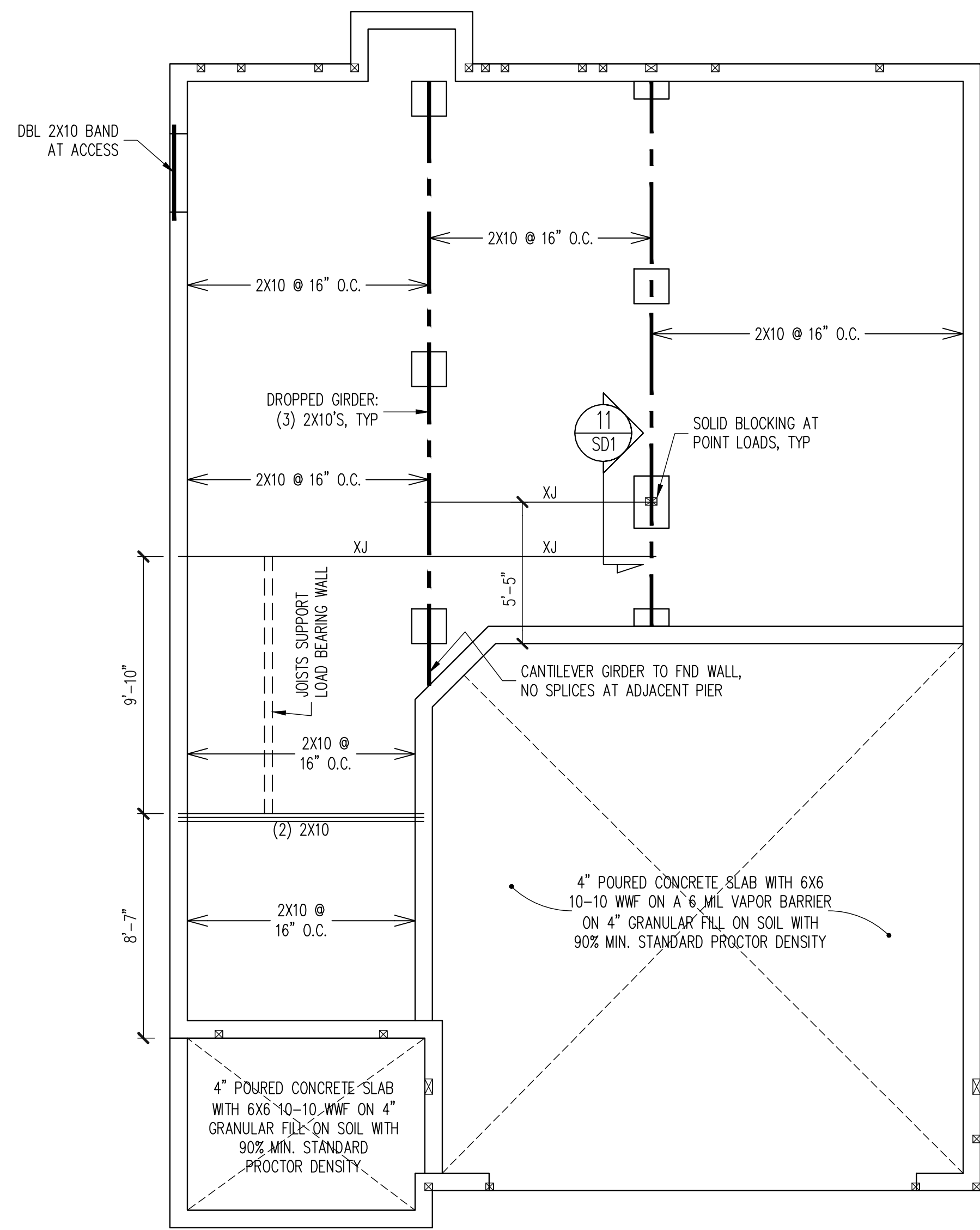
FOUNDATION PLAN
CRAWLSPACE OPTION
COASTAL ELEVATION
1/4" = 1'-0"

NOTES:

- HEIGHT AND BACKFILL LIMITATIONS FOR FOUNDATION WALLS ARE TO BE GOVERNED BY THE NCSBC, LATEST EDITION.
- FIBER MESH REINFORCED CONCRETE MAY BE USED IN LIEU OF WELDED WIRE FABRIC. SEE SECTION 6.01 OF THE CONSTRUCTION SPECIFICATIONS FOR ALLOWABLE SUBSTITUTION DETAILS.

THIS ELEVATION NOT FOR CONSTRUCTION

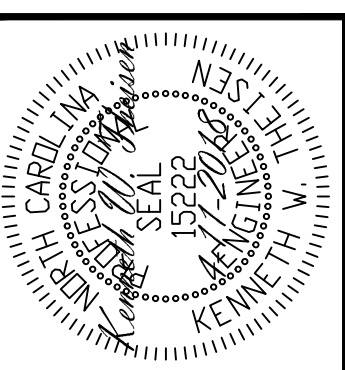
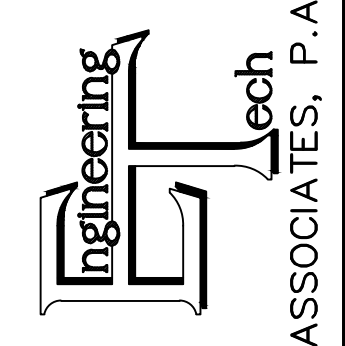
Covered rear porch
See pg S13



Euro
See pg S8

CRAWL SPACE FRAMING PLAN
COASTAL ELEVATION
1/4" = 1'-0"

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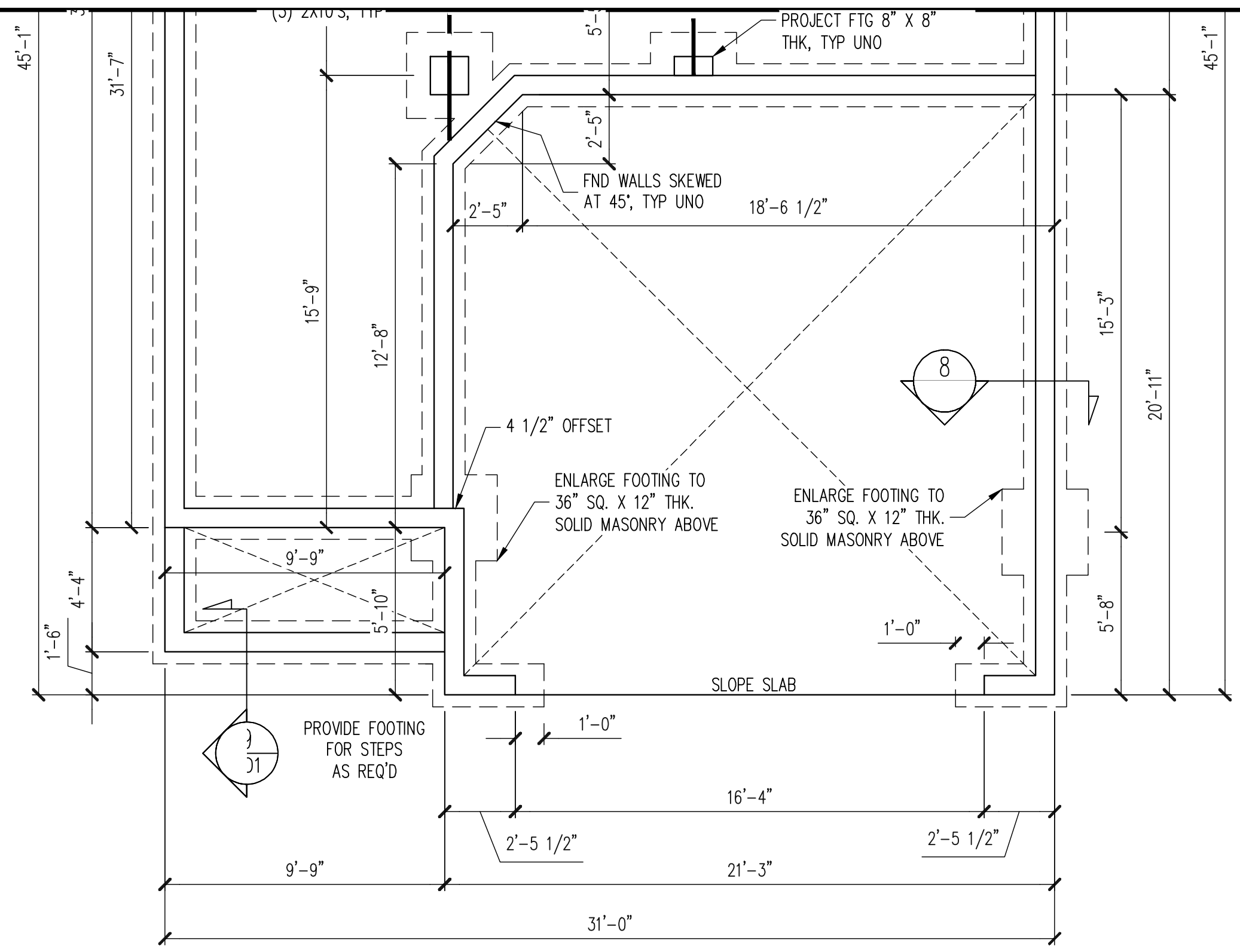
CLIENT:	MCKEE HOMES
SCOPE:	STRUCTURAL ADDENDUM
LOT #:	
ENG. KWT/DTN	
REV:	
DATE:	4-27-2018

PLAN NO.
SULLIVAN RH

PROJECT NO.
18-29-016R

SHEET NO.
S2

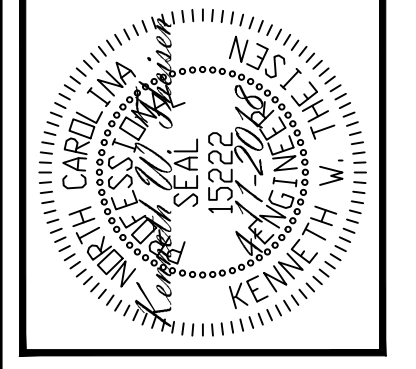
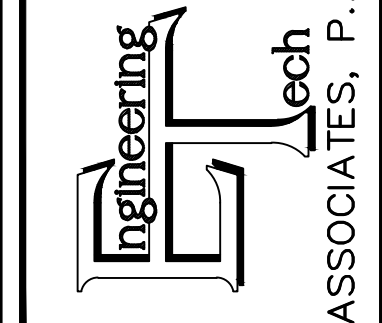
2 of 18



FOUNDATION PLAN
 CRAWLSPACE OPTION
 EURO ELEVATION
 1/4" = 1'-0"

REFER TO SHEET NO. S2
 FOR ALL STRUCTURAL
 NOTES AND SCHEDULES

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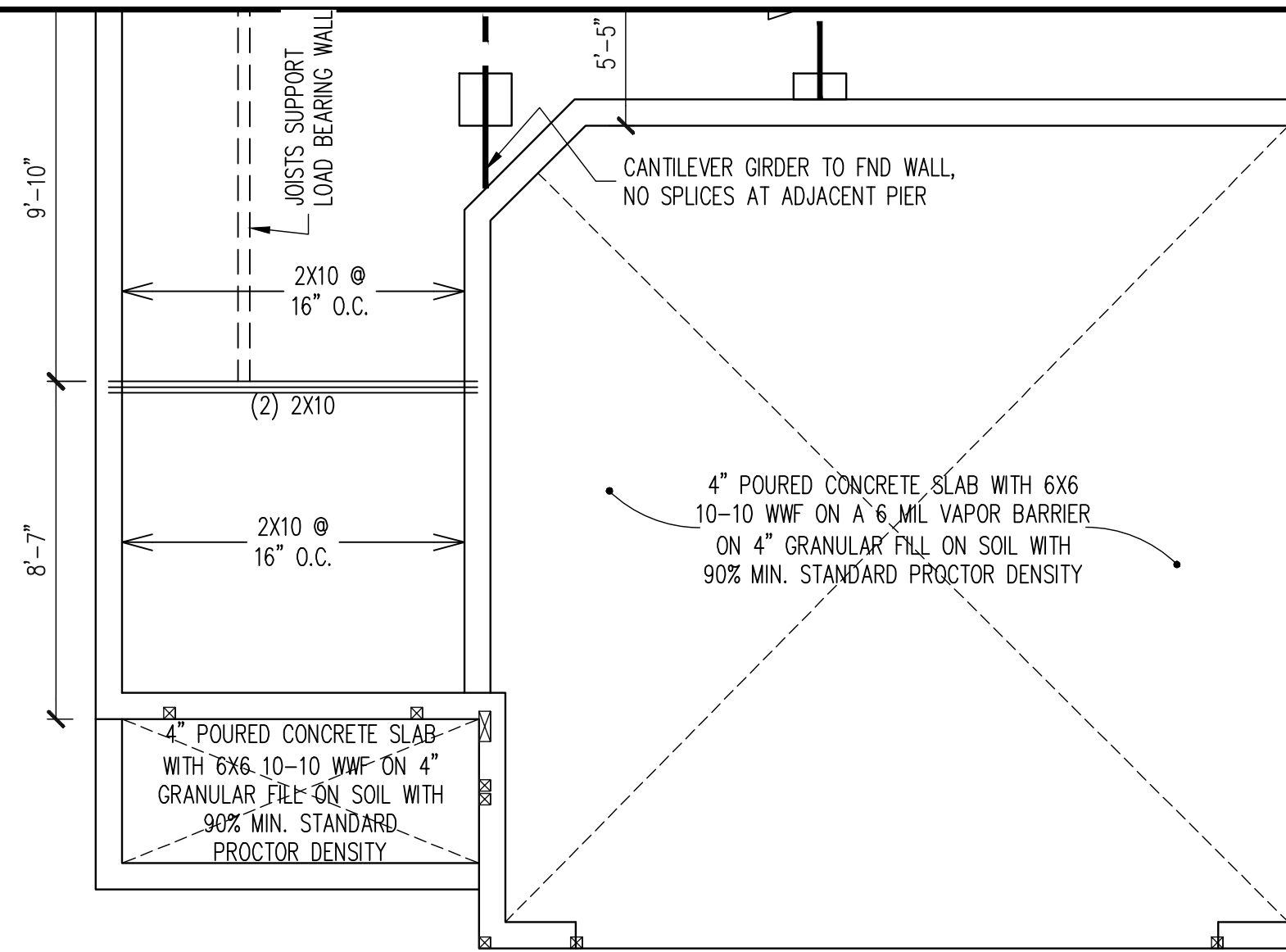
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SCOPE:	STRUCTURAL ADDENDUM
LOT #:	ENG: KWT/DTN REV: DATE: 4-27-2018

PLAN NO.
 SULLIVAN RH

PROJECT NO.
 18-29-016R

SHEET NO.
 S7

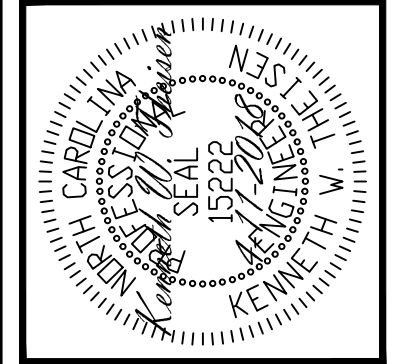


CRAWL SPACE FRAMING PLAN
EURO ELEVATION

1/4" = 1'-0"

REFER TO SHEET NO. S2
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NOTES AND SCHEDULES

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LOT #:	ENG: KWT/DTN REV: DATE: 4-27-2018

PLAN NO.
SULLIVAN RH

PROJECT NO.
18-29-016R

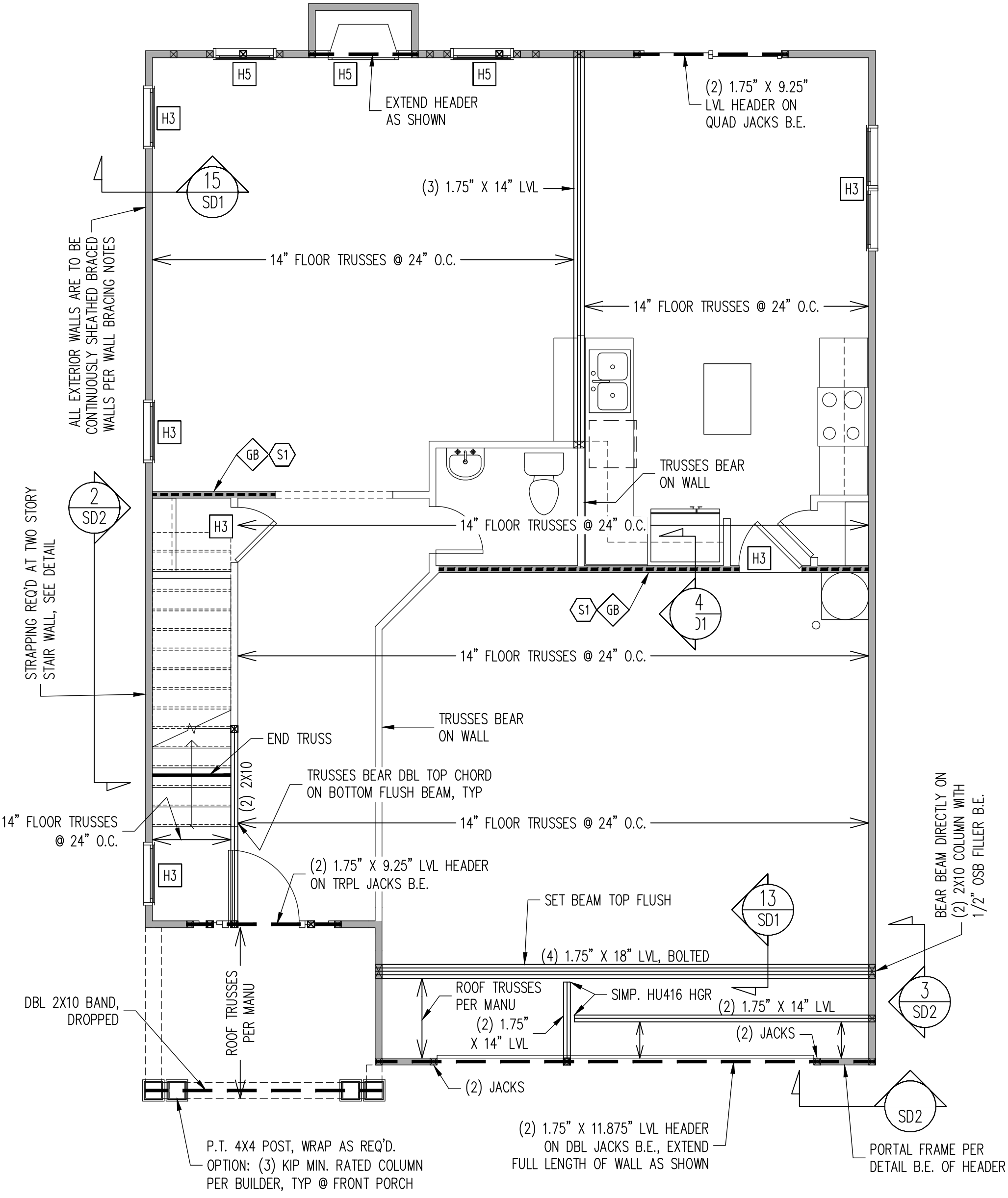
SHEET NO.
S8

8 of 18

THIS ELEVATION NOT FOR CONSTRUCTION

THIS ELEVATION NOT FOR CONSTRUCTION

Covered rear porch
See pg S13



Euro
See pg S9

1ST FLOOR FRAMING PLAN
COASTAL ELEVATION

WALLS AND CEILING
1/4" = 1'-0"

WALL BRACING

1ST FLOOR ONLY

ALL EXTERIOR STUD WALLS ARE TO BE CONTINUOUSLY SHEATHED WITH 7/16 APA RATED OSB NAILED TO STUDS WITH 8d NAILS @ 6" O.C. AT PANEL EDGES, 12" O.C. IN PANEL FIELD. BLOCKING AT HORIZONTAL JOINTS IN BRACED WALL LINES ONLY REQUIRED AT SHADED WALLS, UNO

SHADED WALLS:

GB - INTERIOR BRACED WALL WITH GYPSUM BOARD, 1/2" GB BOTH SIDES OF WALL ATTACHED TO PANEL EDGES, INCLUDING TOP AND BOTTOM PLATES, AT 7" O.C.

BUILDER PERMITTED TO SUBSTITUTE INTERIOR OSB SHEATHING WITH THERMO-PLY BLUE PROTECTIVE SHEATHING. REFERENCE TECHNICAL EVALUATION REPORT COL#P-1038 PROVIDED BY DRJ ENGINEERING, LLC AND SEALED BY RYAN DEXTER, P.E.

PROVIDED CONTINUOUS SHEATHING = 152' MIN. - WALL BRACING IS BY ENGINEERED DESIGN AND NOT PRESCRIPTIVE PER SECTION 602.10 OF THE 2012 NCR. CONTINUOUS SHEATHING HAS BEEN PROVIDED, ALONG WITH ALTERNATIVE METHODS TO INSURE THE MINIMUM INTENT OF SECTION 602.10 OF THE 2012 NCR HAS BEEN MET AND EXCEEDED.

FRAMING SCHEDULE

1ST FLOOR ONLY

S1 TRUSS OR 2X6 BLOCKING REQUIRED ABOVE ALL BRACED WALLS. NAIL SUBFLOOR ABOVE WALL TO TRUSS / BLOCKING WITH 8d NAILS @ 6" O.C. TOE NAIL TRUSS / BLOCKING ABOVE WALL TO TOP PLATE WITH 16d TOE NAILS @ 6" O.C. ATTACH SOLE PLATE OF BRACED WALL TO FOUNDATION BELOW PER TYPICAL BRACED WALL DETAILS

REQUIRED STUDS FOR BEAM SUPPORT

REFER TO SECTIONS 5.02 - 5.06 OF THE CONSTRUCTION SPECIFICATIONS FOR REQUIRED NUMBER OF STUDS FOR BEAM SUPPORT, TYP UNO.

HEADER SCHEDULE

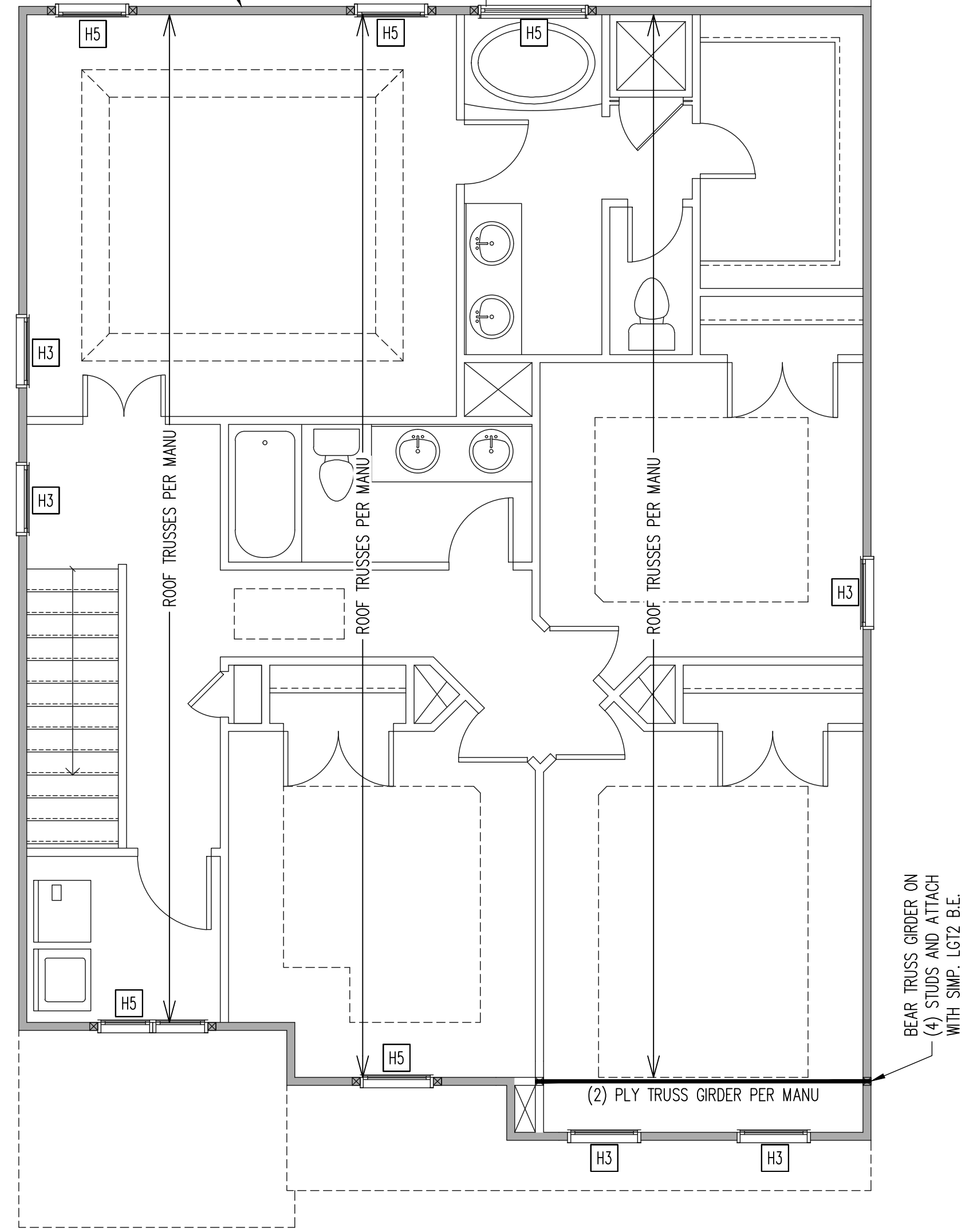
H1 SINGLE 2X4 TURNED FLAT (A)
H2 (2) 2X4'S ON SINGLE JACKS (B)
H3 (2) 2X10'S ON SINGLE JACKS (C)
H4 (2) 1.75" X 9.25" LVL'S ON DBL JACKS
H5 (2) 2X10'S ON DBL JACKS

(A) TYPICAL FOR INTERIOR NON LOAD BEARING WALLS ONLY, ROUGH OPENING 38" MAX.
(B) TYPICAL FOR INTERIOR NON LOAD BEARING WALLS ONLY, ROUGH OPNG 38" TO 74" MAX.
(C) TYPICAL FOR ALL CONDITIONS NOT LISTED IN (A) OR (B) UNO.

NOTES:
-HEADERS IN NON LOAD BEARING INTERIOR WALLS ARE NOT LABELED.

*REQUIRED NUMBER OF KING STUDS FOR EXTERIOR HEADERS DETERMINED BY NCRBC TABLE 602.3(5) UNLESS NOTED OTHERWISE ON PLAN.

ALL EXTERIOR WALLS ARE TO BE CONTINUOUSLY SHEATHED BRACED WALLS PER WALL BRACING NOTES



Euro
See pg S10

2ND FLOOR FRAMING PLAN
COASTAL ELEVATION

WALLS AND CEILING
1/4" = 1'-0"

WALL BRACING

2ND FLOOR ONLY

ALL EXTERIOR STUD WALLS ARE TO BE CONTINUOUSLY SHEATHED WITH 7/16 APA RATED OSB NAILED TO STUDS WITH 8d NAILS @ 6" O.C. AT PANEL EDGES, 12" O.C. IN PANEL FIELD.

TRUSS OR 2X6 BLOCKING REQUIRED ABOVE AND BELOW ALL BRACED WALLS. NAIL SHEATHING ABOVE WALL TO BLOCKING WITH 8d NAILS @ 6" O.C. TOE NAIL TRUSS / BLOCKING ABOVE WALL TO TOP PLATE WITH 8d TOE NAILS @ 6" O.C. NAIL SOLE PLATE OF BRACED WALL TO TRUSS / BLOCKING BELOW WALL WITH (3) 16d NAILS @ 16" O.C. BLOCKING AT HORIZONTAL JOINTS IN BRACED WALL LINES ONLY REQUIRED AT SHADED WALLS, UNO

SHADED WALLS:

-PROVIDED CONTINUOUS SHEATHING = 144' MIN. - WALL BRACING IS BY ENGINEERED DESIGN AND NOT PRESCRIPTIVE PER SECTION 602.10 OF THE 2012 NCR. CONTINUOUS SHEATHING HAS BEEN PROVIDED, ALONG WITH ALTERNATIVE METHODS TO INSURE THE MINIMUM INTENT OF SECTION 602.10 OF THE 2012 NCR HAS BEEN MET AND EXCEEDED.

REQUIRED STUDS FOR BEAM SUPPORT

REFER TO SECTIONS 5.02 - 5.06 OF THE CONSTRUCTION SPECIFICATIONS FOR REQUIRED NUMBER OF STUDS FOR BEAM SUPPORT, TYP UNO.

HEADER SCHEDULE

H1 SINGLE 2X4 TURNED FLAT (A)
H2 (2) 2X4'S ON SINGLE JACKS (B)
H3 (2) 2X10'S ON SINGLE JACKS (C)
H4 (2) 1.75" X 9.25" LVL'S ON DBL JACKS
H5 (2) 2X10'S ON DBL JACKS

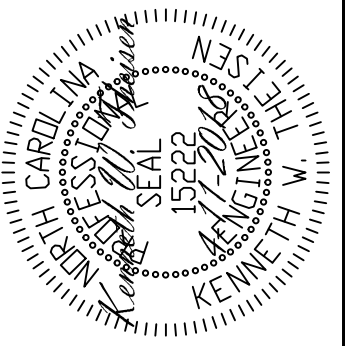
(A) TYPICAL FOR INTERIOR NON LOAD BEARING WALLS ONLY, ROUGH OPENING 38" MAX.
(B) TYPICAL FOR INTERIOR NON LOAD BEARING WALLS ONLY, ROUGH OPNG 38" TO 74" MAX.
(C) TYPICAL FOR ALL CONDITIONS NOT LISTED IN (A) OR (B) UNO.

NOTES:
-HEADERS IN NON LOAD BEARING INTERIOR WALLS ARE NOT LABELED.

*REQUIRED NUMBER OF KING STUDS FOR EXTERIOR HEADERS DETERMINED BY NCRBC TABLE 602.3(5) UNLESS NOTED OTHERWISE ON PLAN.

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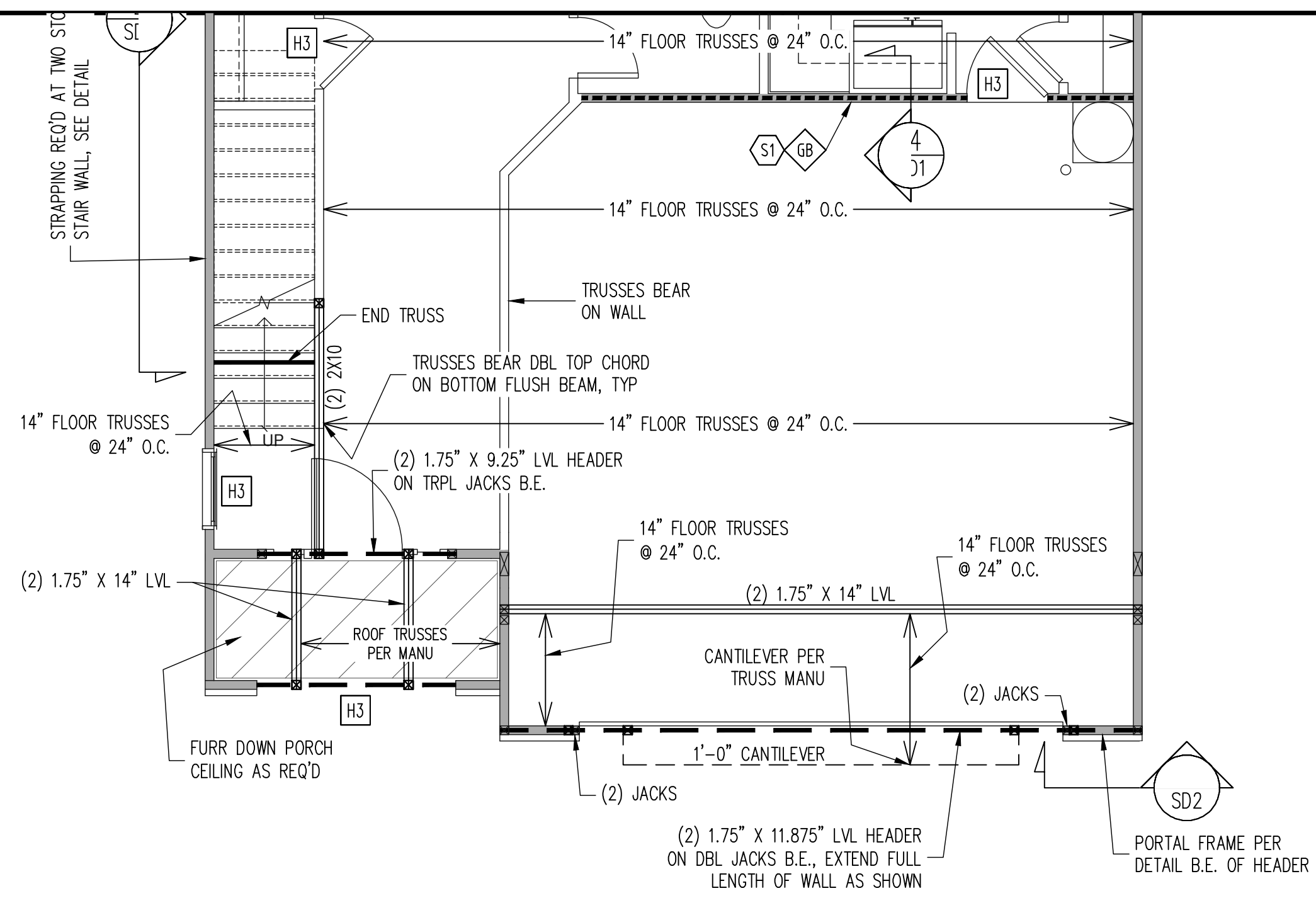
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SCOPE:	STRUCTURAL ADDENDUM
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ENG. KWT/DTN	
REV:	
DATE:	4-27-2018

PLAN NO.
SULLIVAN RH

PROJECT NO.
18-29-016R

SHEET NO.
S3

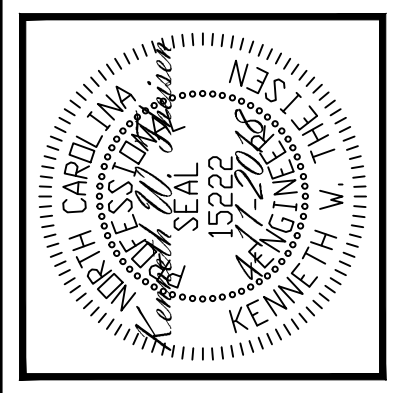
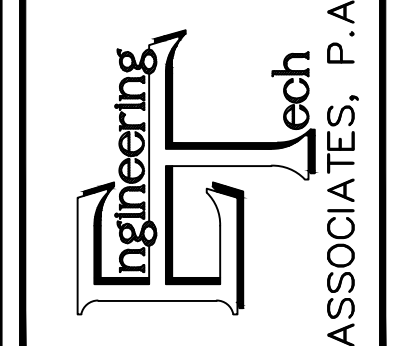


1ST FLOOR FRAMING PLAN
EURO ELEVATION

WALLS AND CEILING
1/4" = 1'-0"

REFER TO SHEET NO. S3
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NOTES AND SCHEDULES

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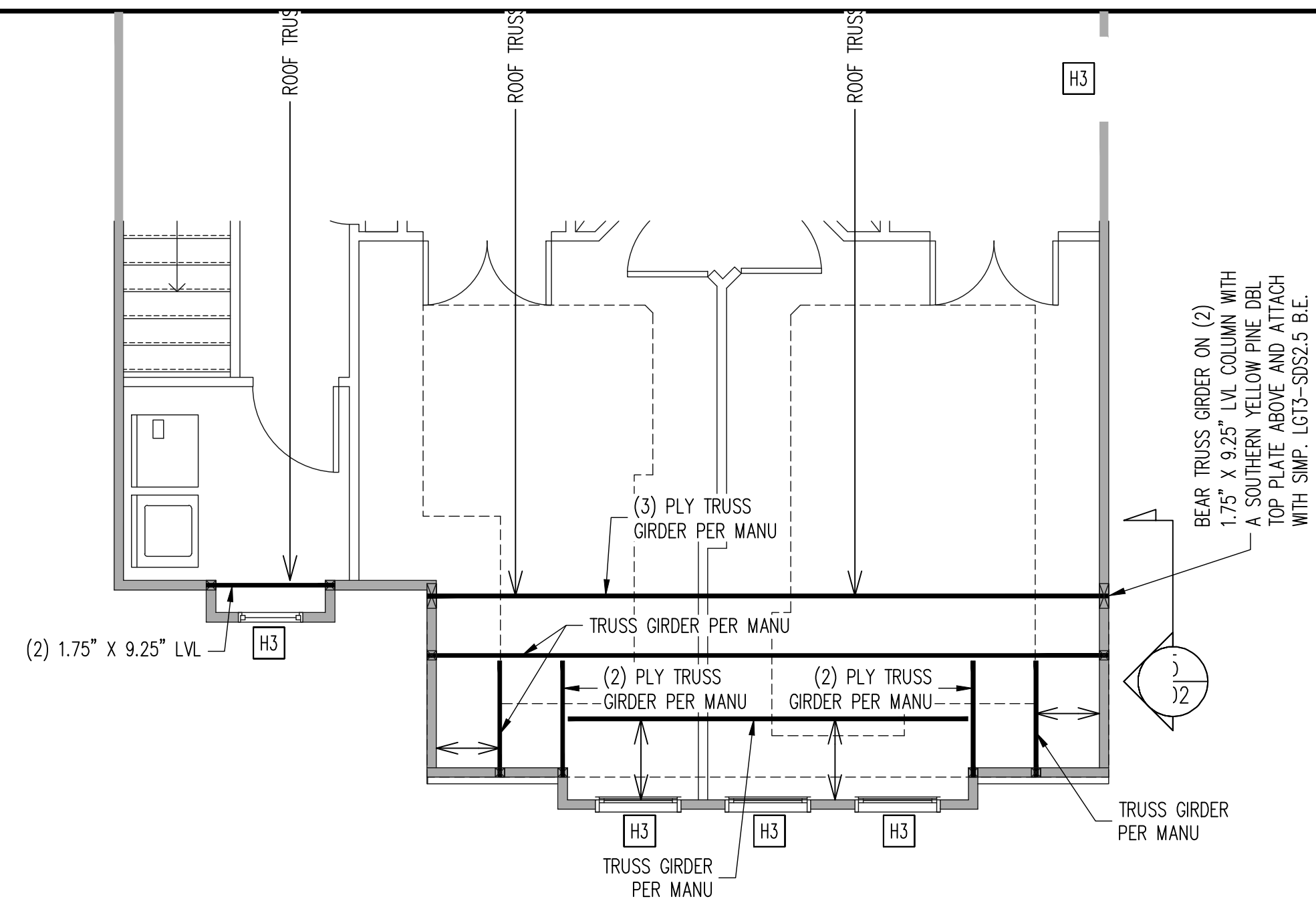
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SCOPE:	STRUCTURAL ADDENDUM
LOT #:	ENG: KWT/DTN REV: DATE: 4-27-2018

PLAN NO.
SULLIVAN RH

PROJECT NO.
18-29-016R

SHEET NO.
S9

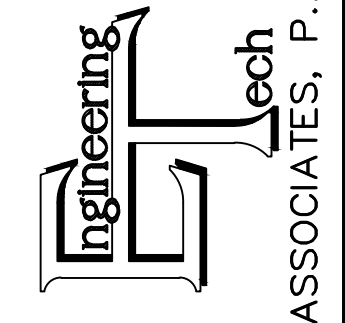
9 of 18

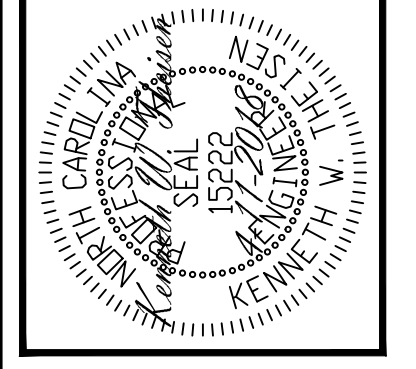


**2ND FLOOR FRAMING PLAN
EURO ELEVATION**

WALLS AND CEILING
1/4" = 1'-0"

REFER TO SHEET NO. S3
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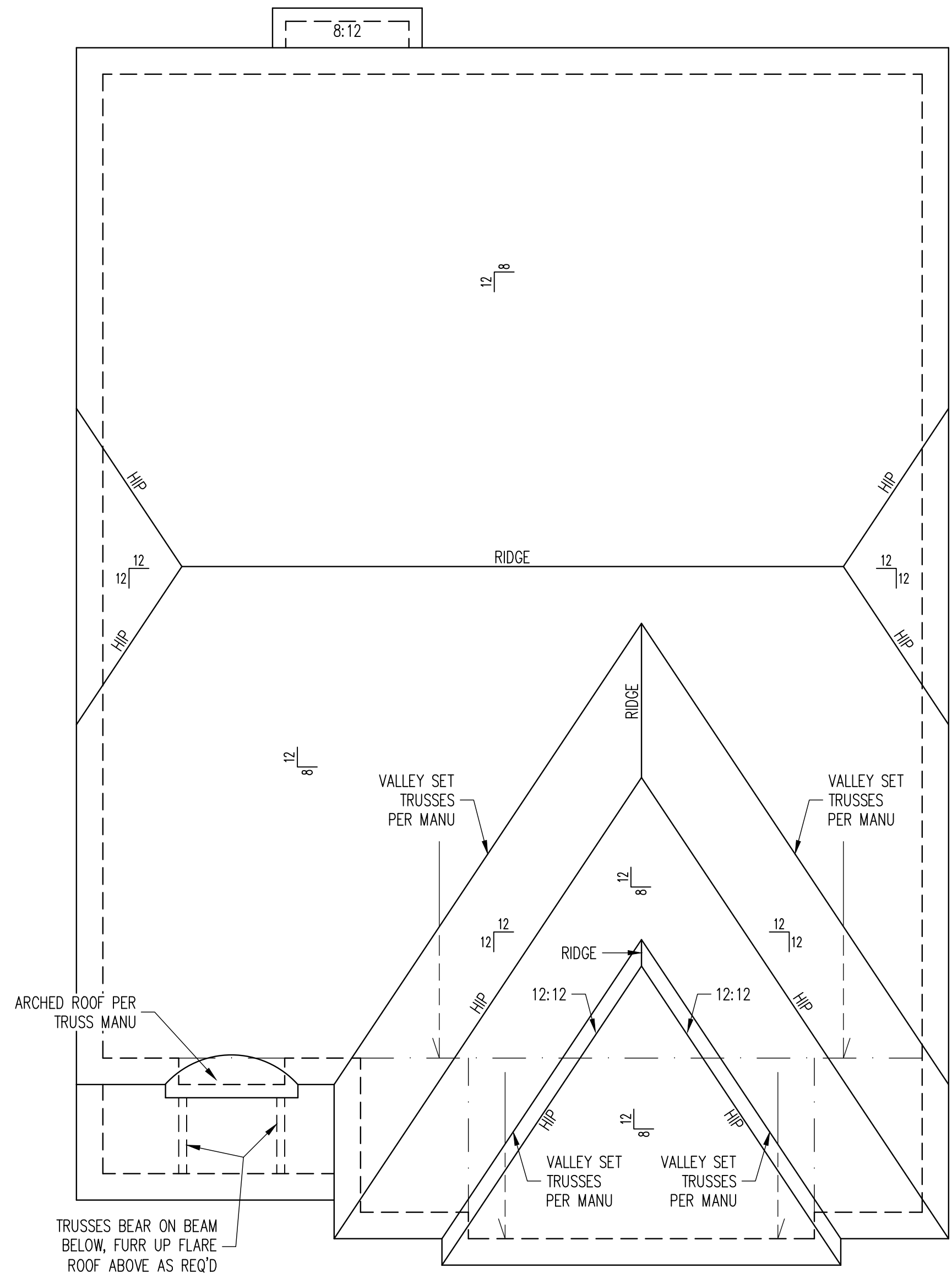
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SCOPE:	STRUCTURAL ADDENDUM
LOT #:	
ENG:	KWT/DTN
REV:	
DATE:	4-27-2018

PLAN NO.
SULLIVAN RH

PROJECT NO.
18-29-016R

SHEET NO.
S10

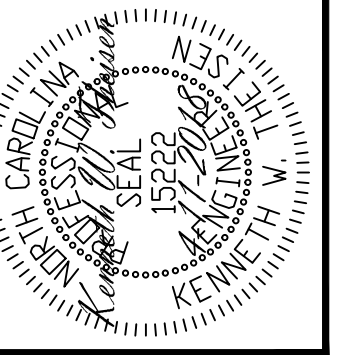
Covered rear porch
See pg S13



ROOF FRAMING PLAN
EURO ELEVATION
1/4" = 1'-0"

Framing Notes
 Roof only
 -Roof trusses per manu typical UNO
 -Verify all architectural overhangs, roof pitches, and kneewall heights prior to construction

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18-29-016R

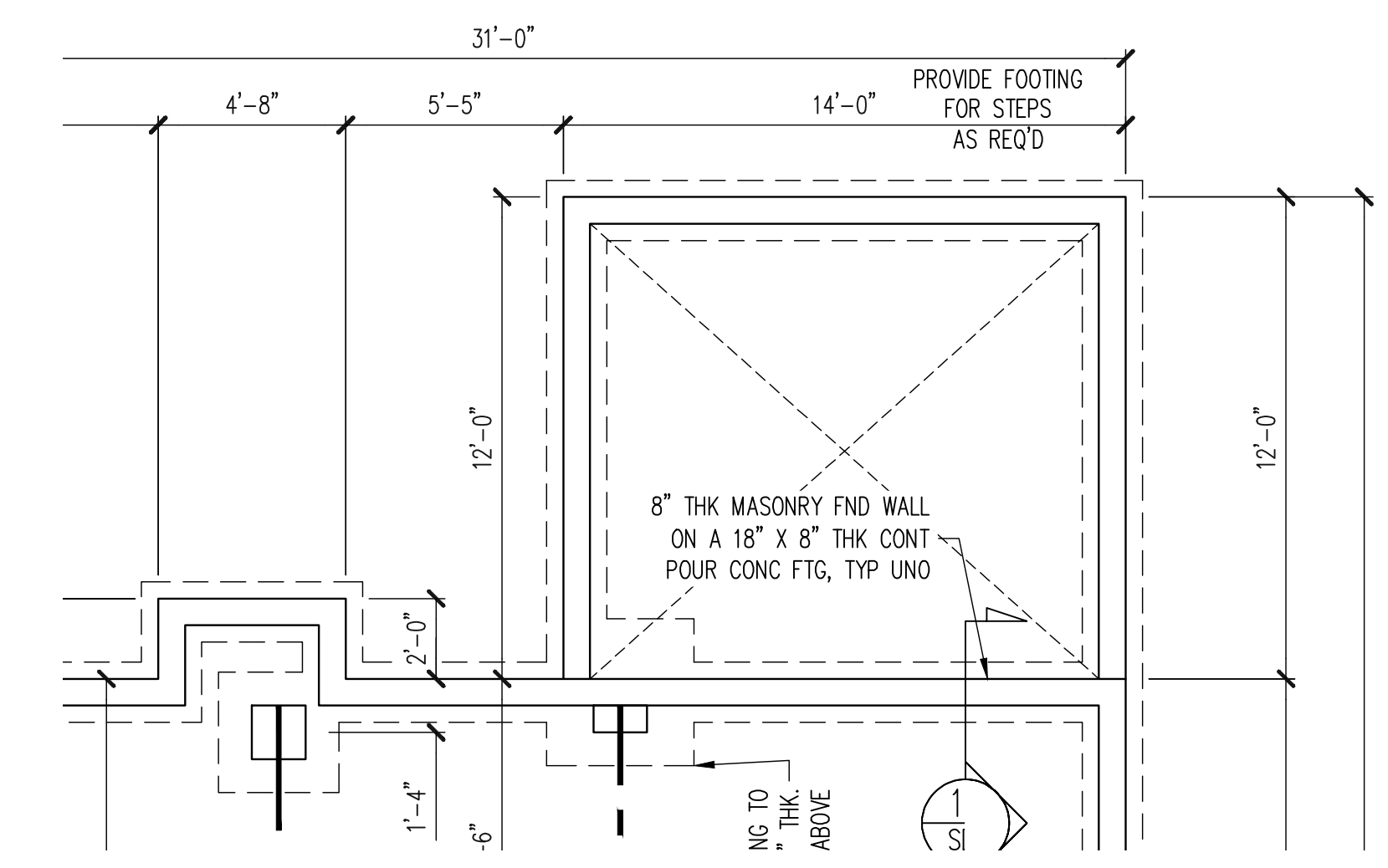
SHEET NO.
S11

11 of 18

FOUNDATION PLAN
CRAWLSPACE OPTION
COVERED PORCH OPTION
ALL ELEVATIONS

1/4" = 1'-0"

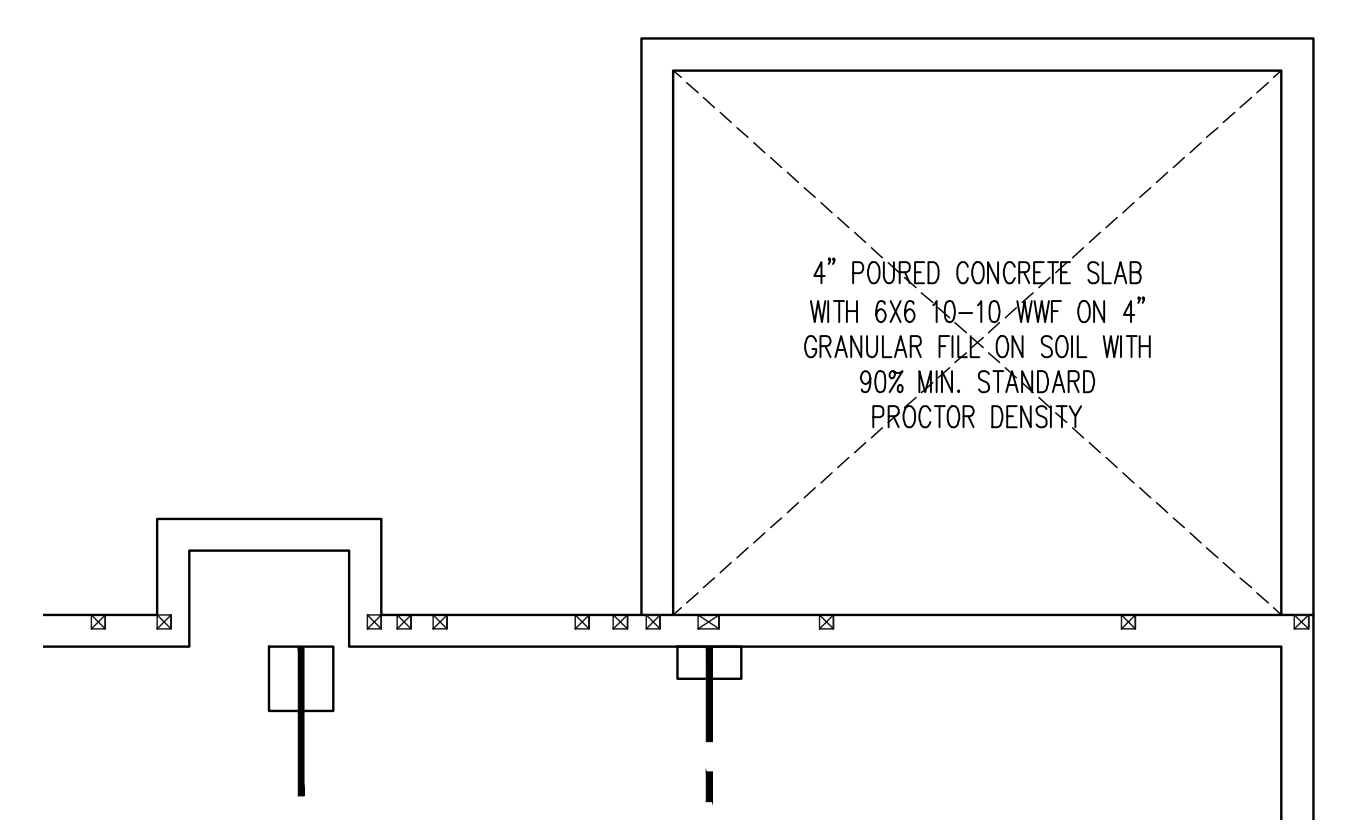
REFER TO SHEET NO. S2
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NOTES AND SCHEDULES



CRAWL SPACE FRAMING PLAN
COVERED PORCH OPTION
ALL ELEVATIONS

1/4" = 1'-0"

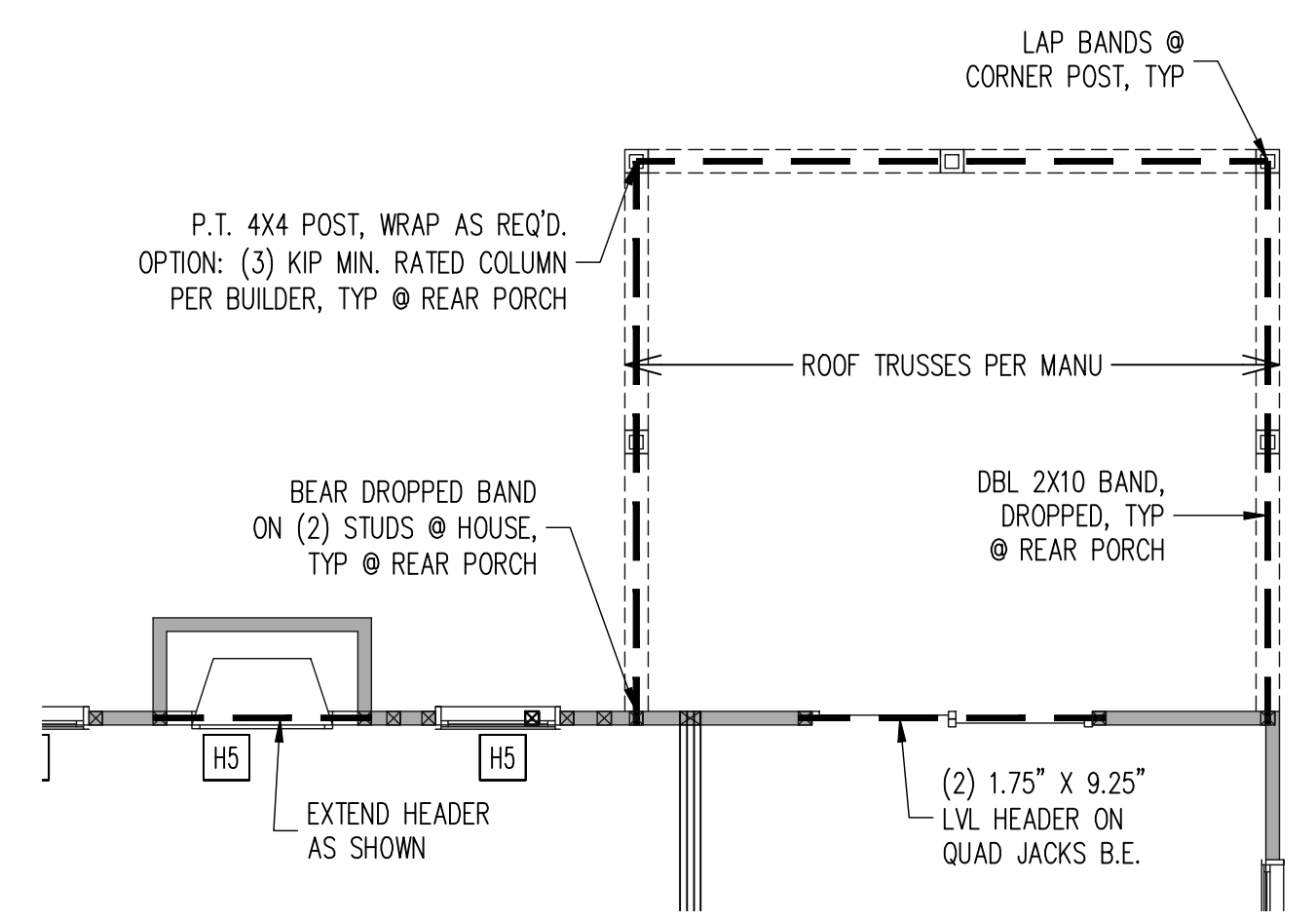
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NOTES AND SCHEDULES



1ST FLOOR FRAMING PLAN
COVERED PORCH OPTION
ALL ELEVATIONS

WALLS AND CEILING
1/4" = 1'-0"

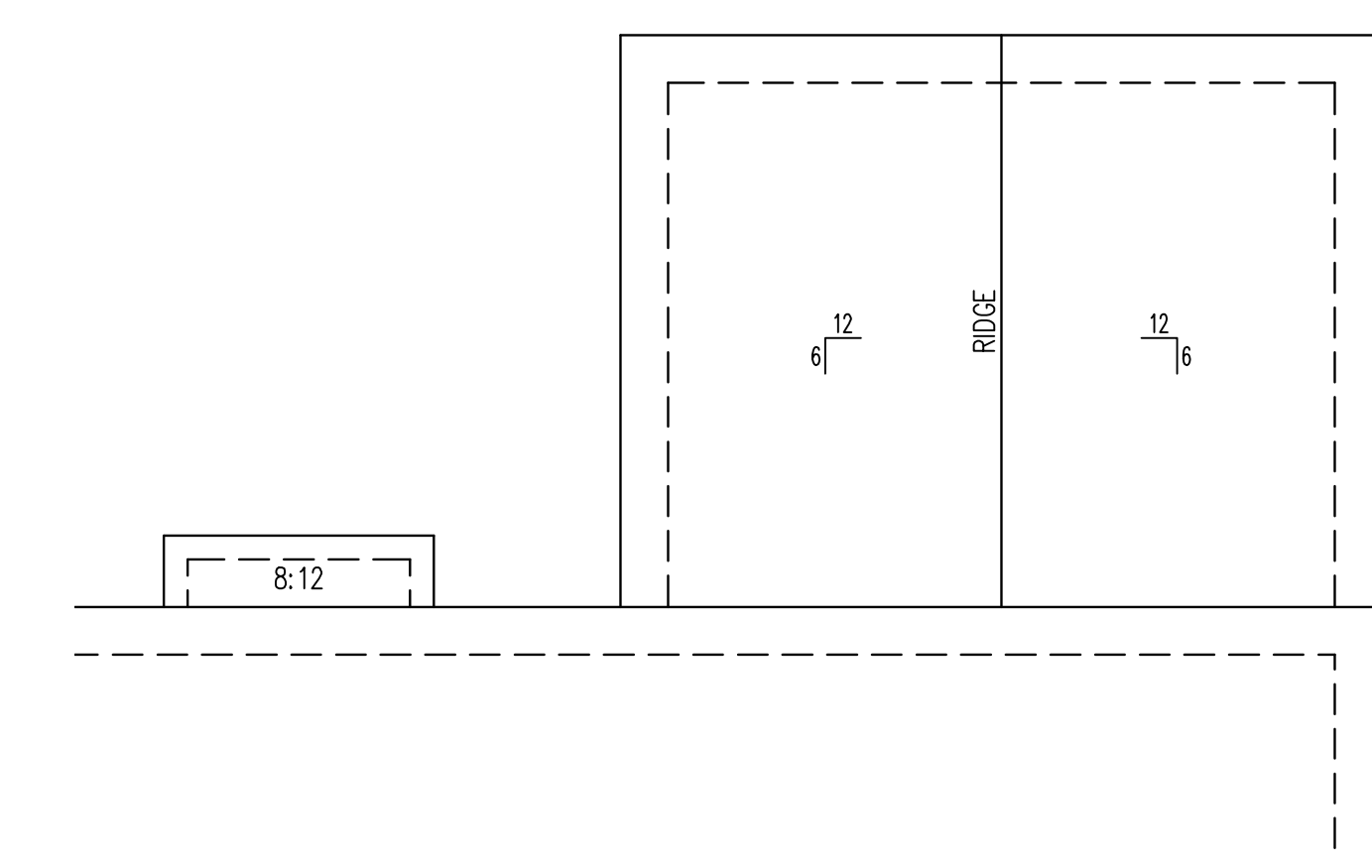
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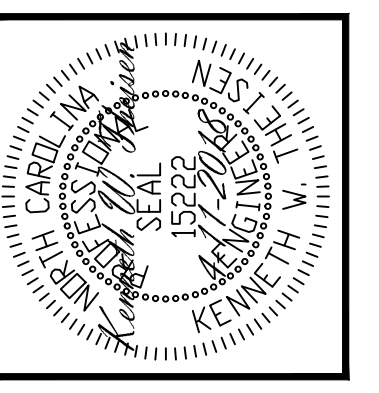
ROOF FRAMING PLAN
COVERED PORCH OPTION
ALL ELEVATIONS

1/4" = 1'-0"

REFER TO SHEET NO. S4
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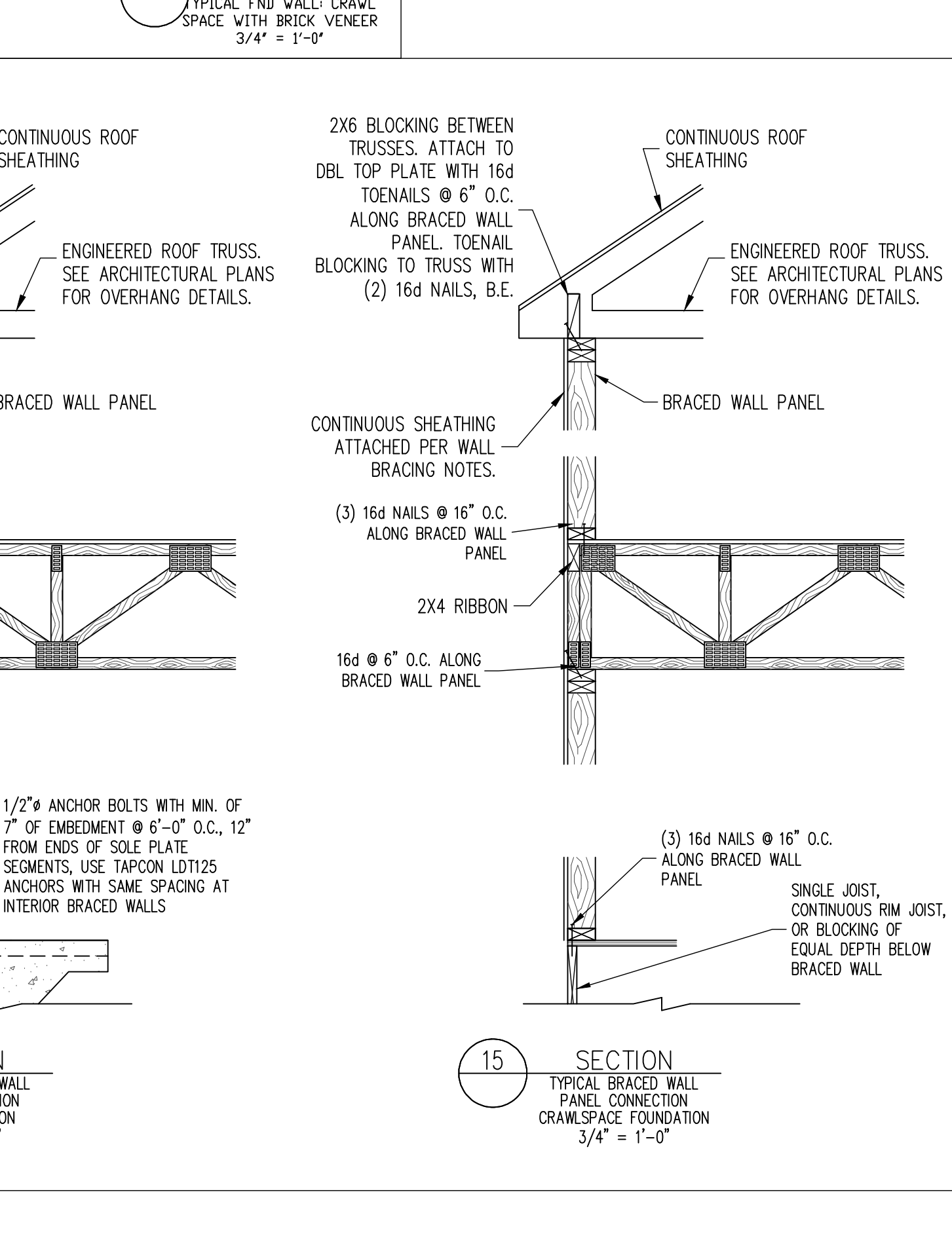
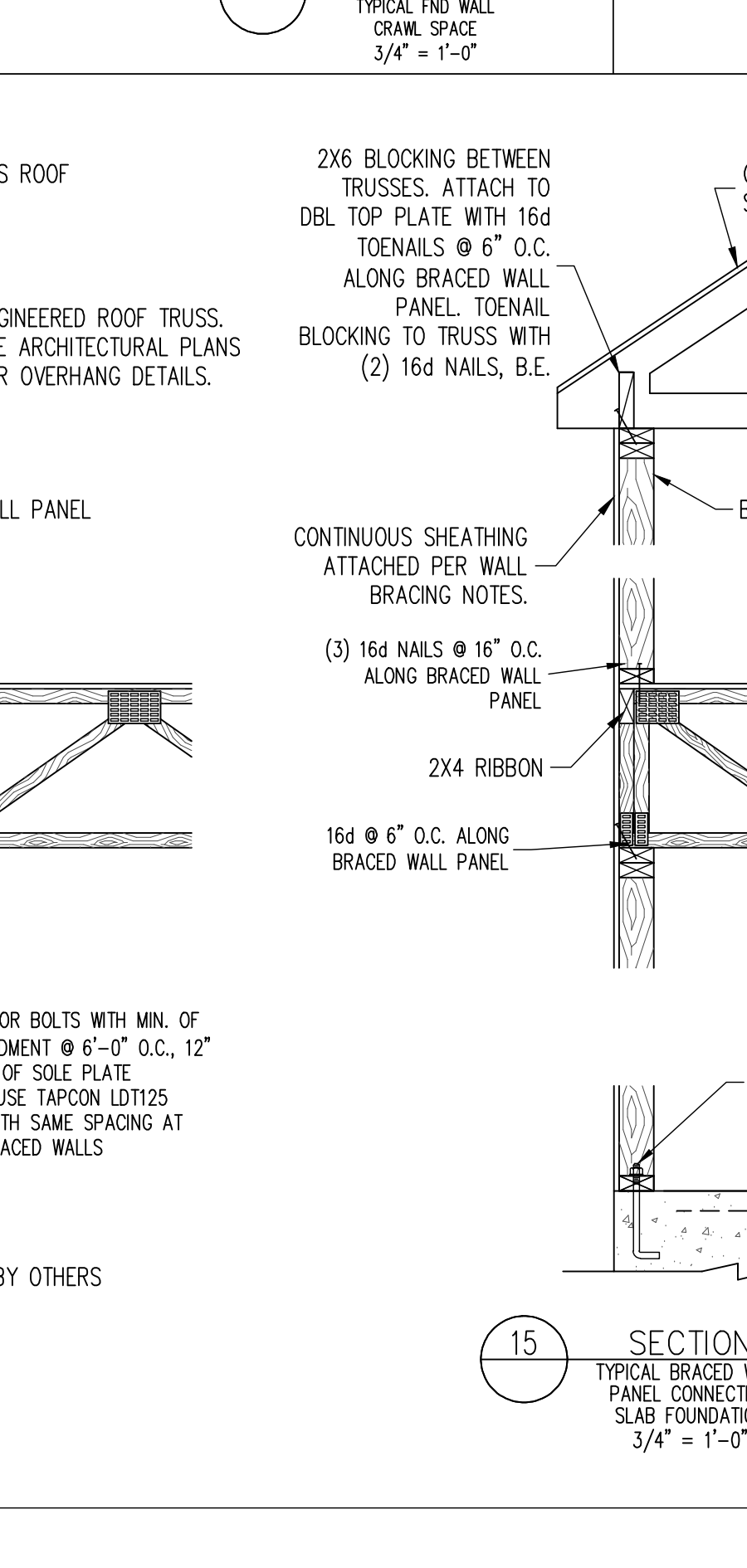
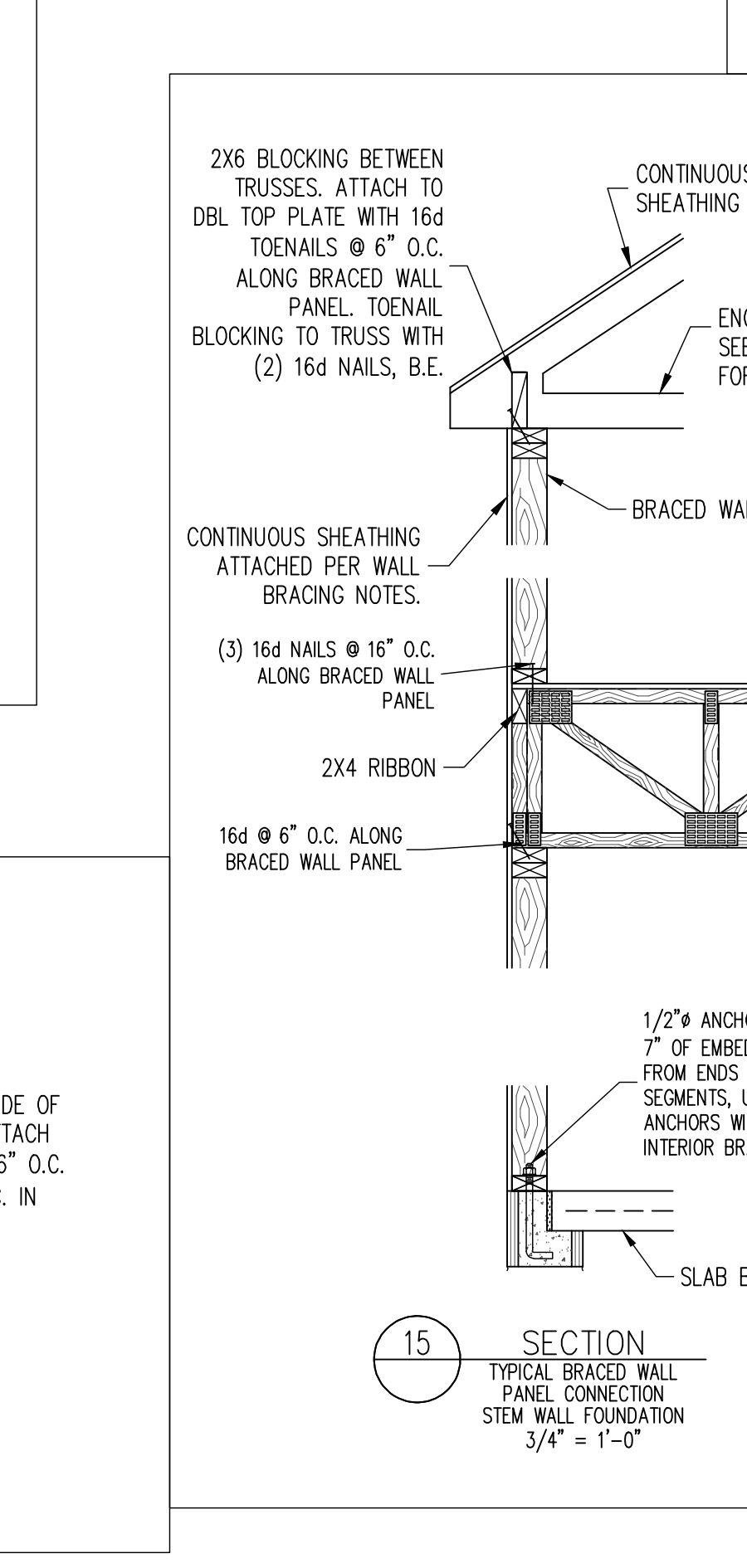
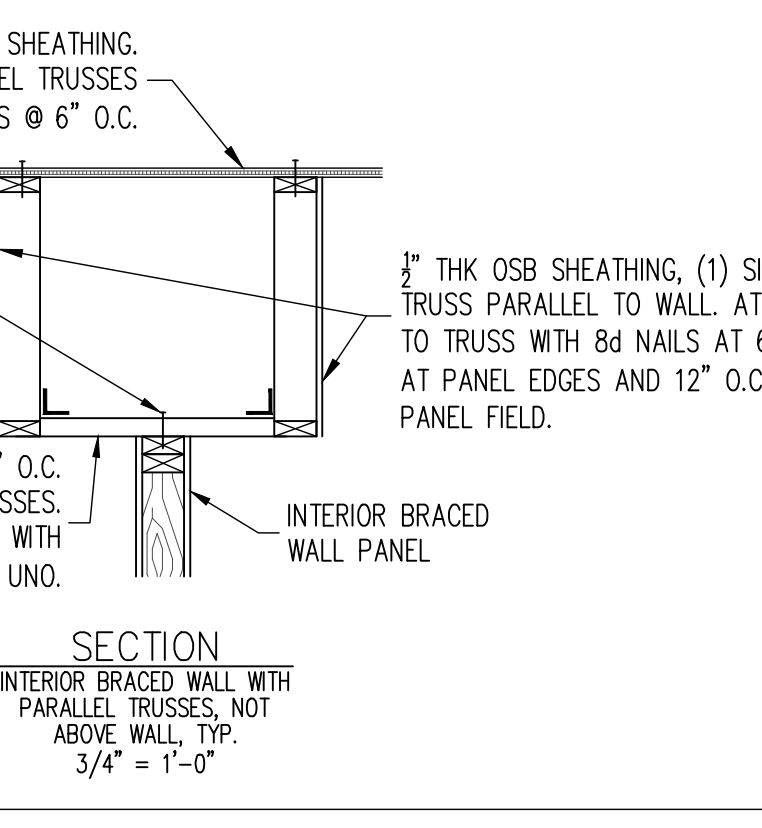
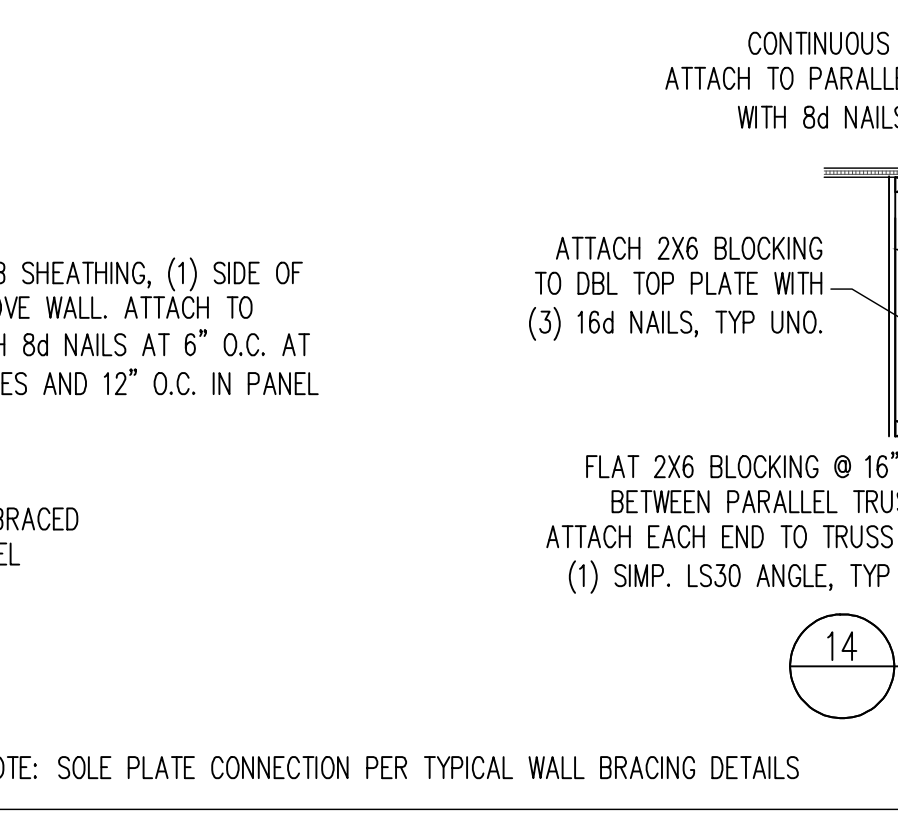
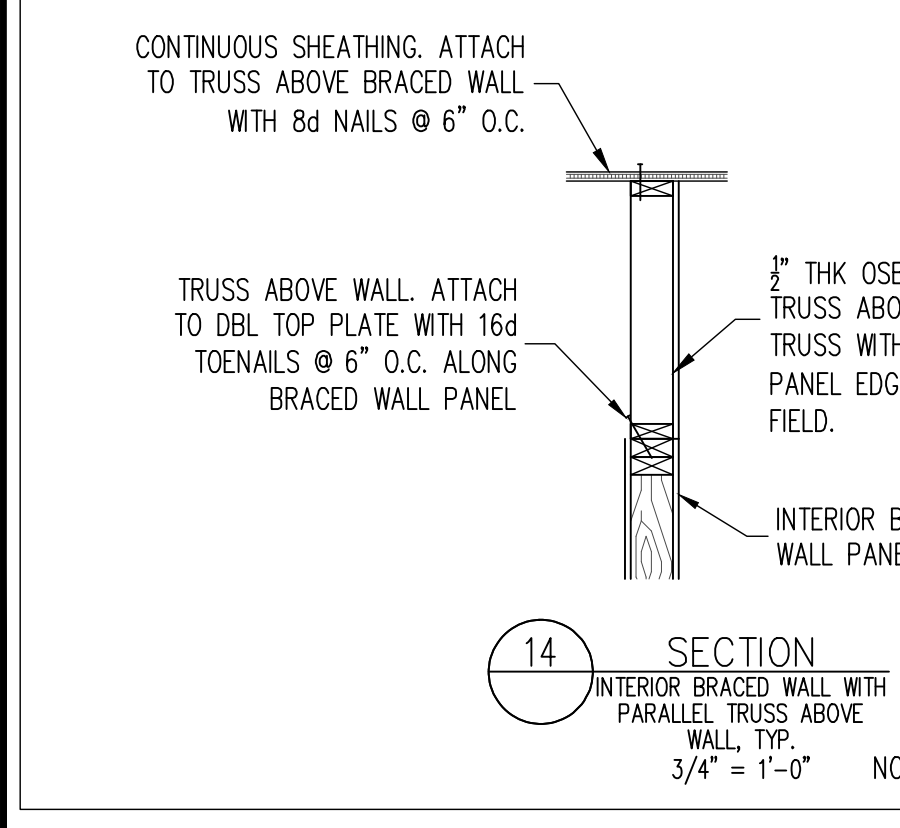
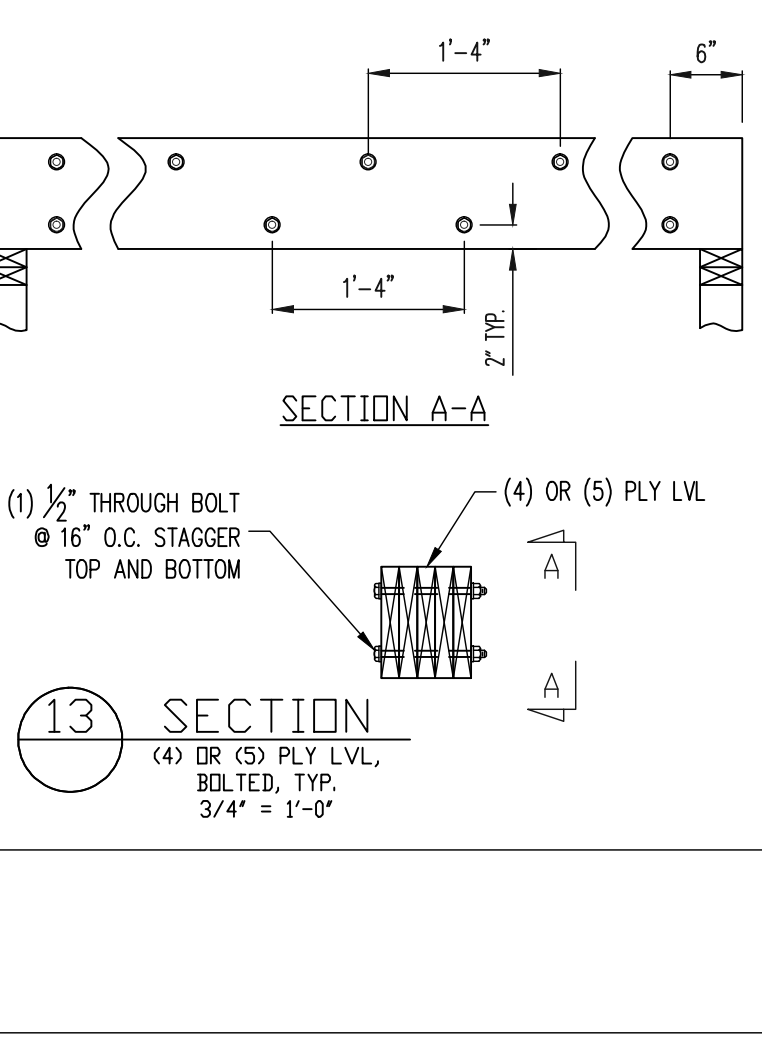
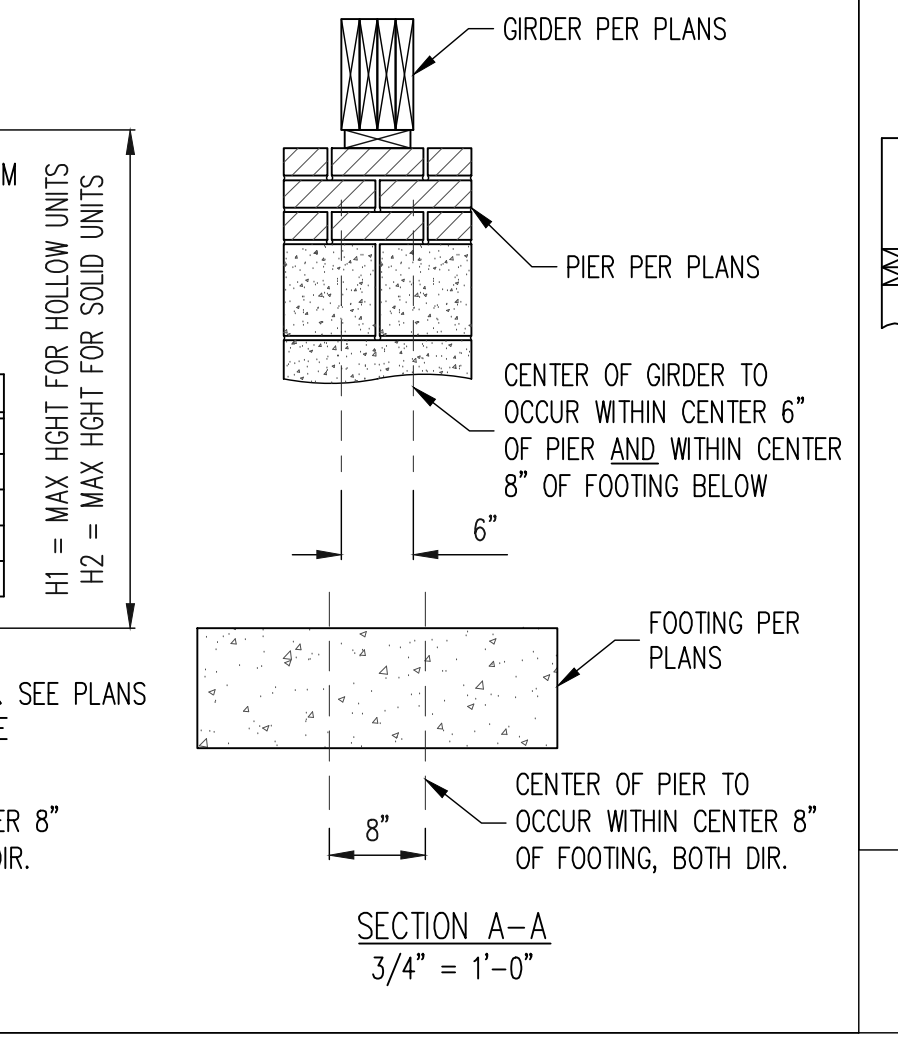
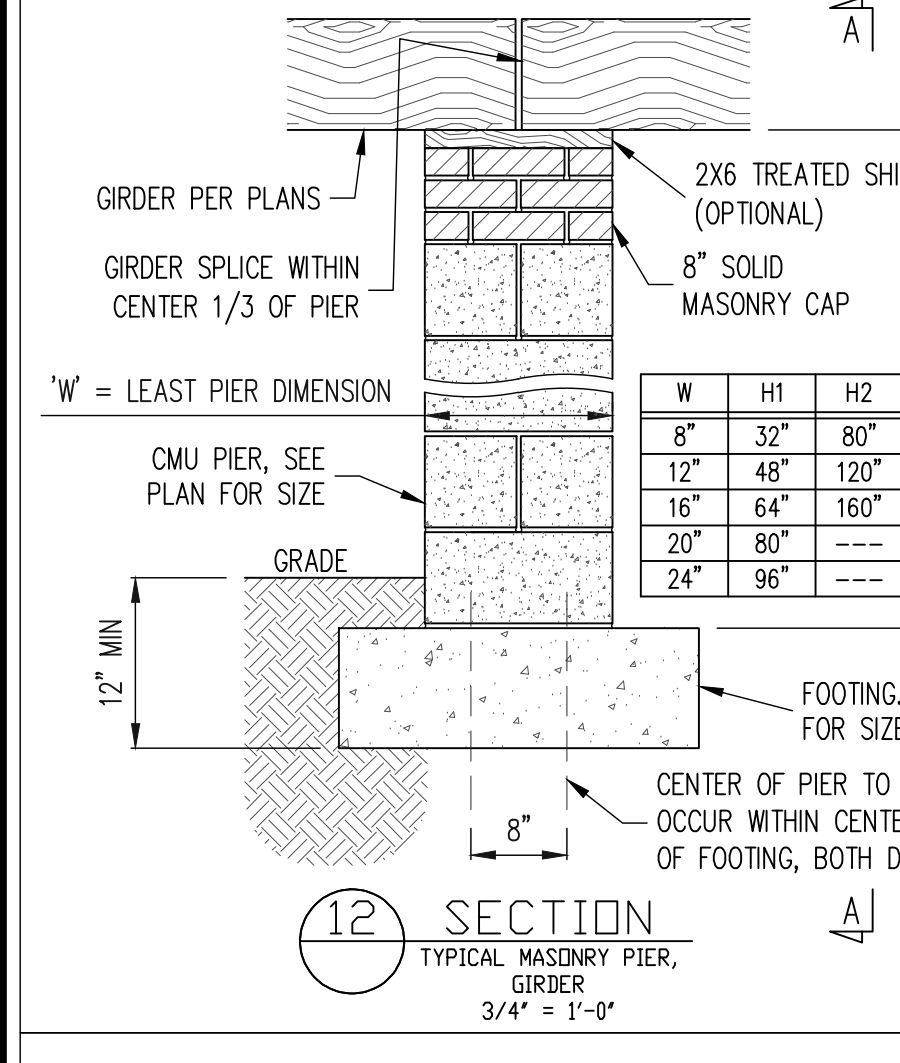
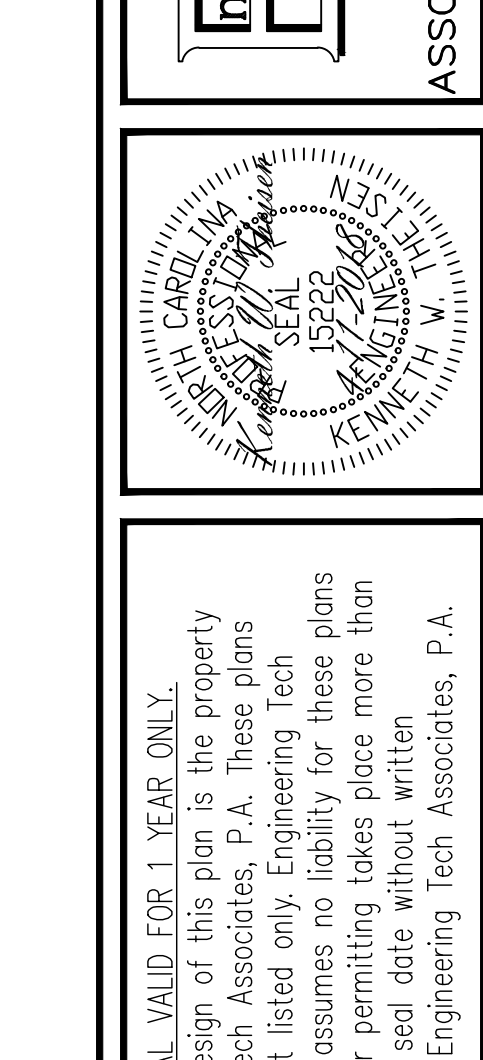
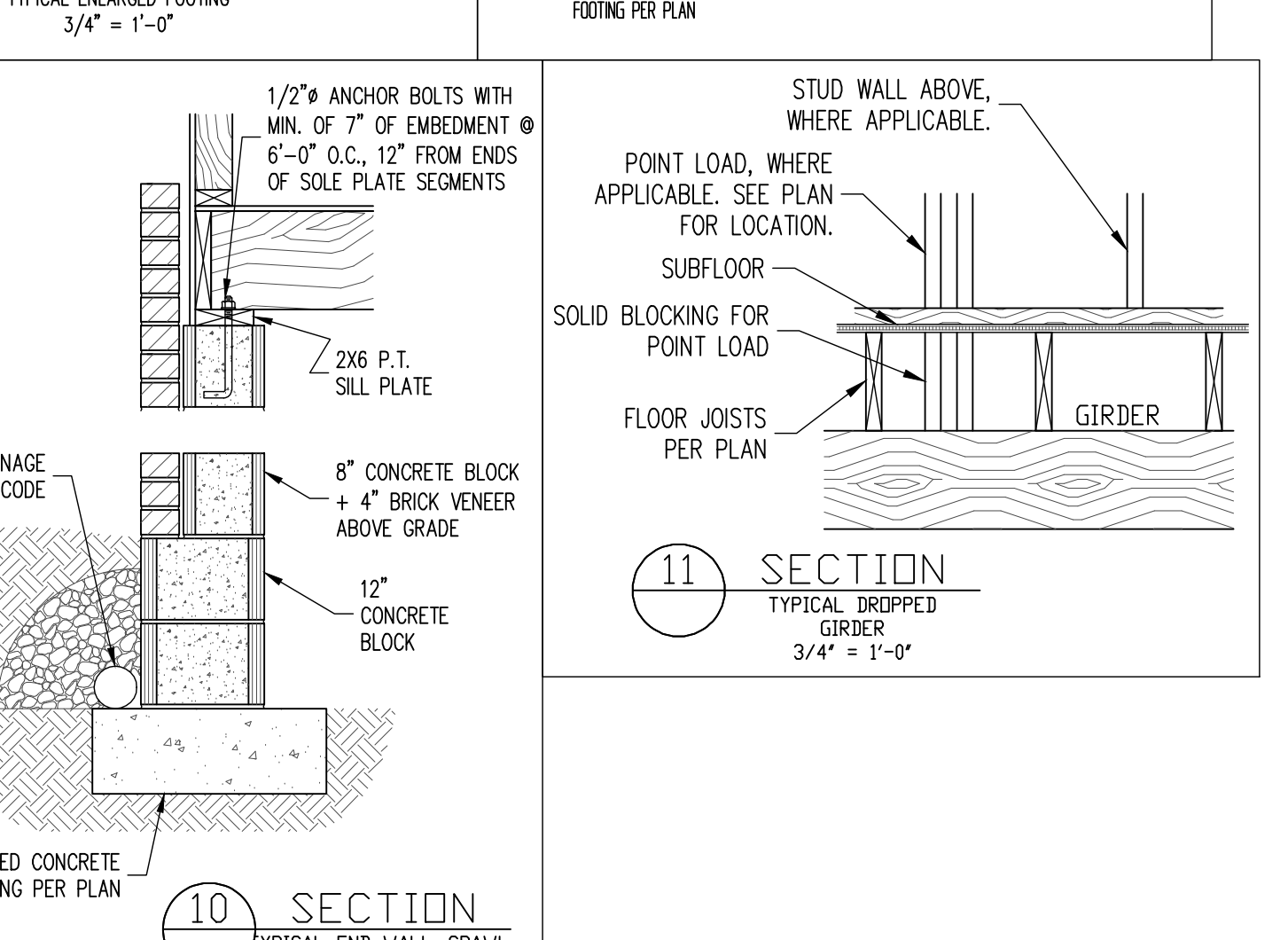
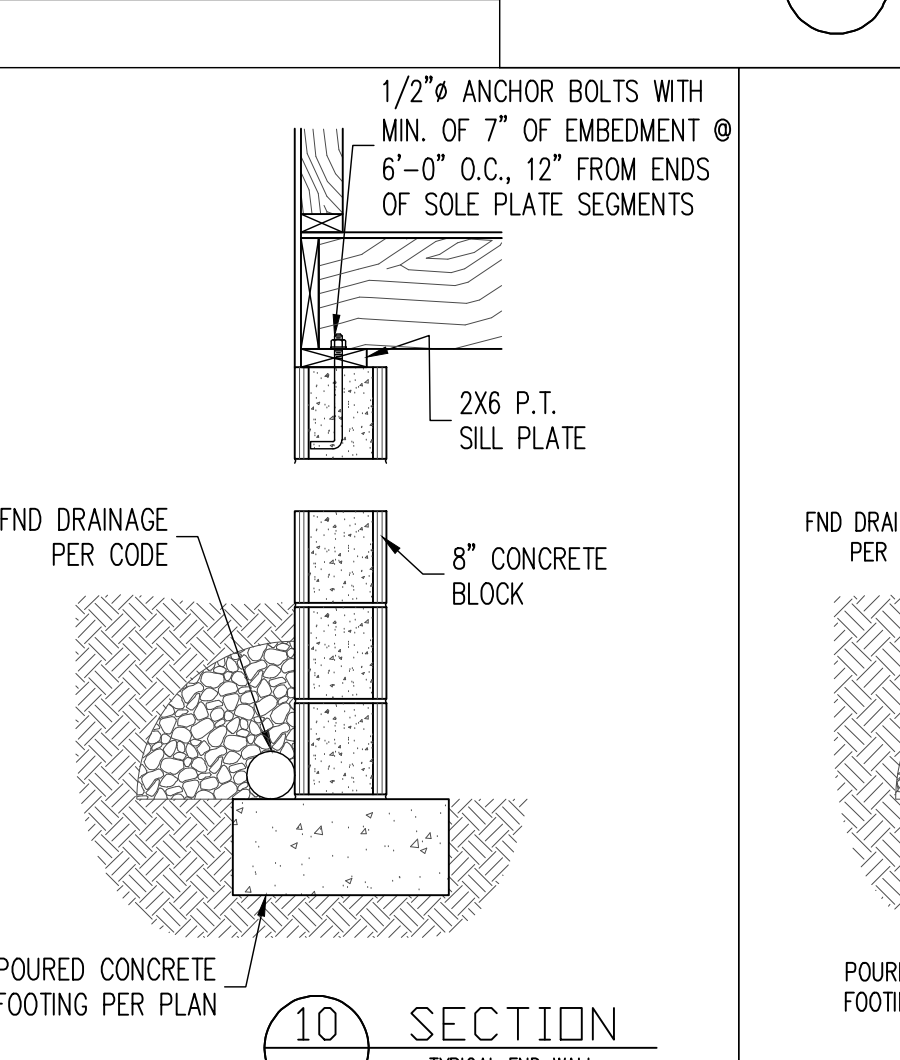
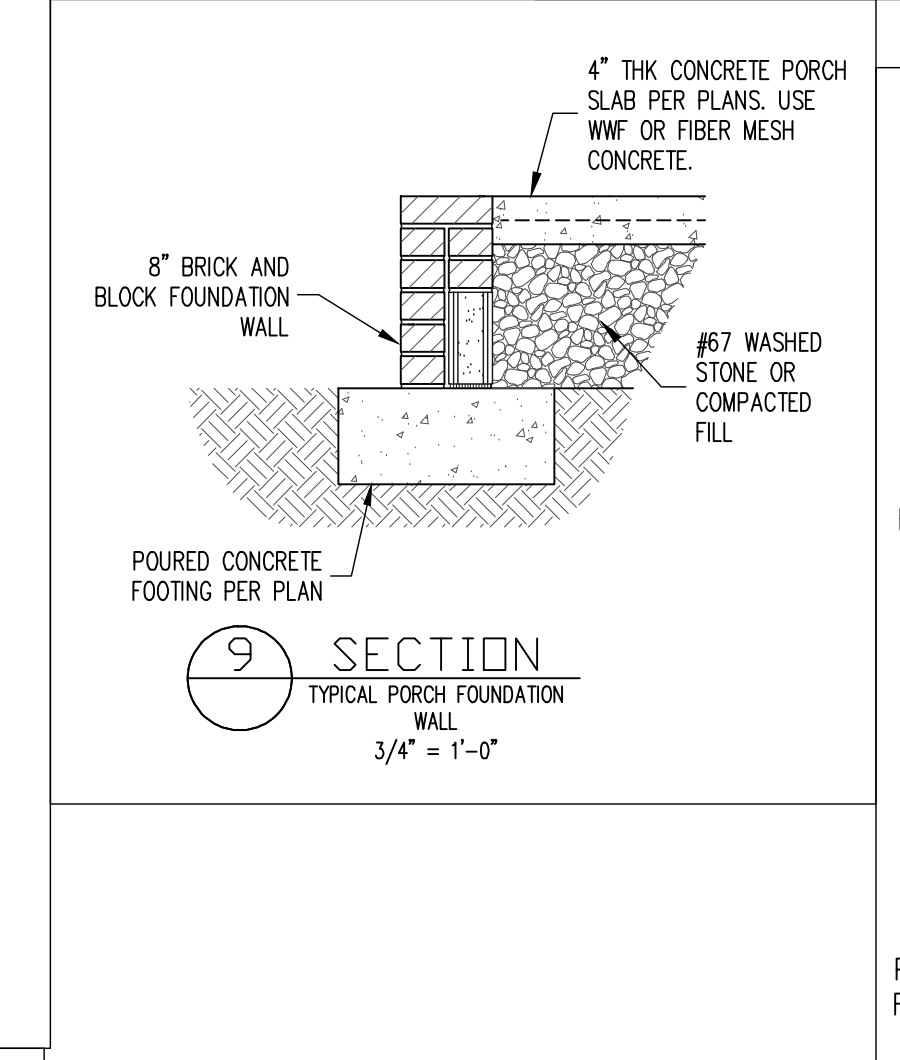
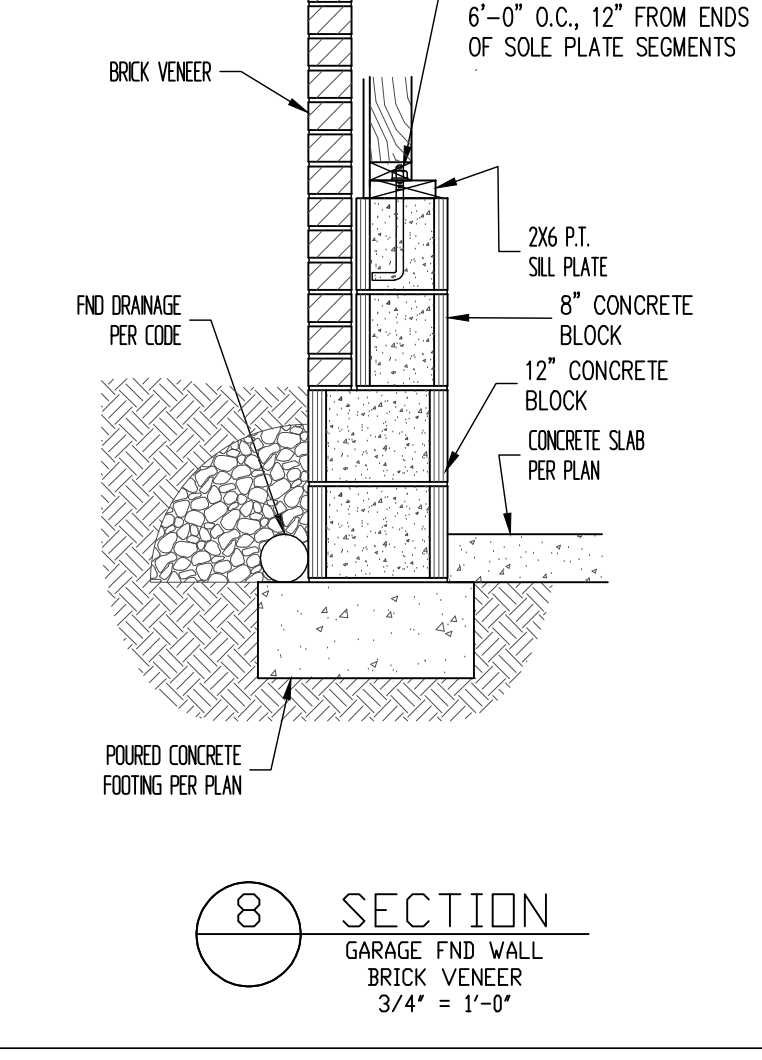
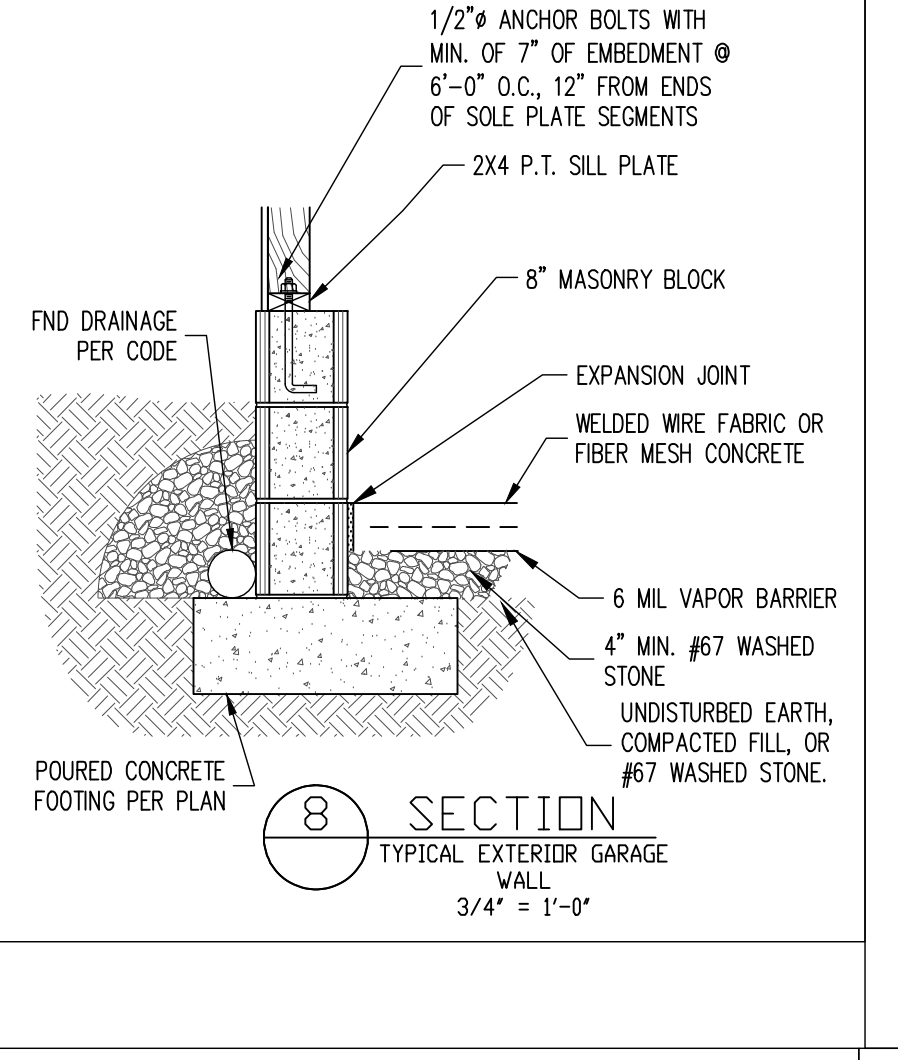
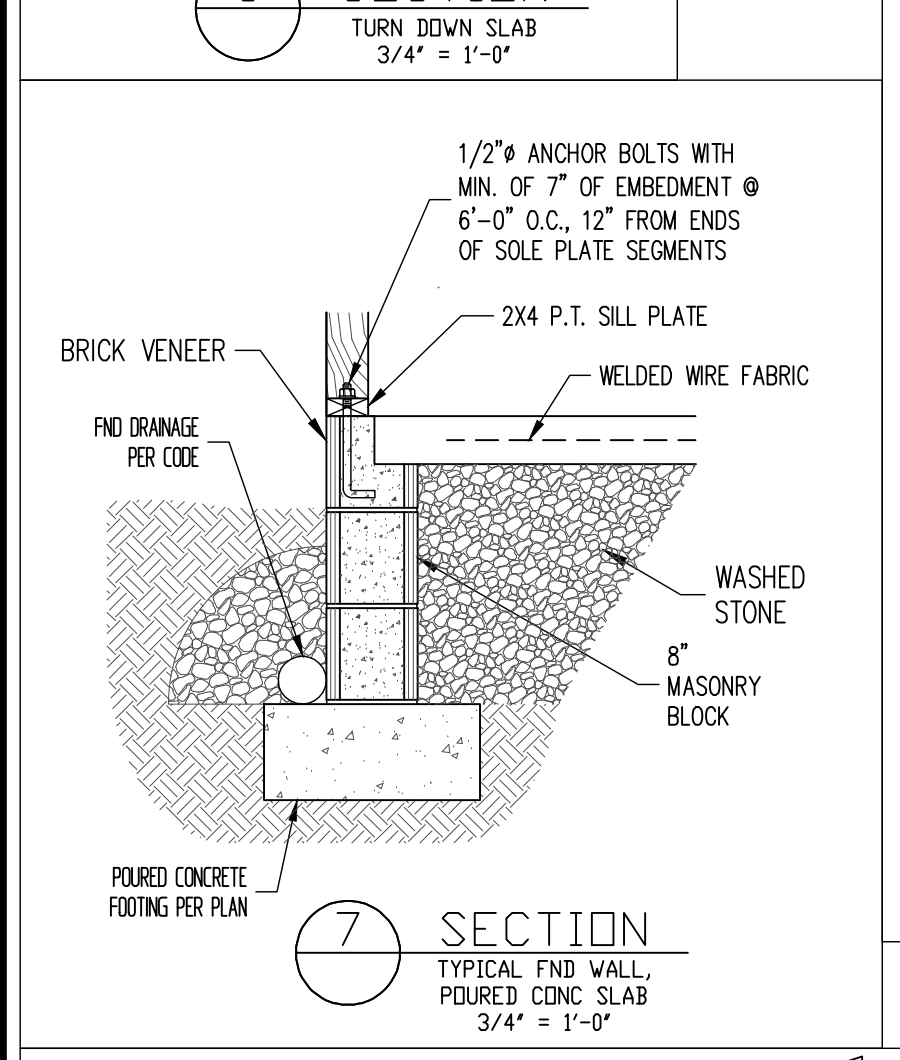
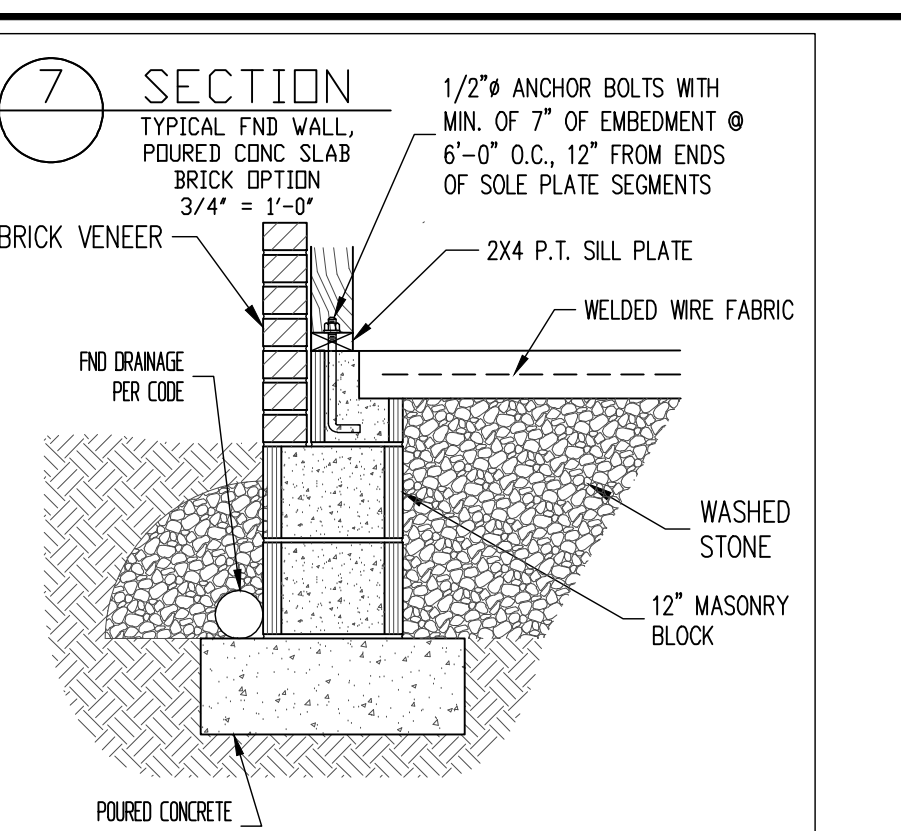
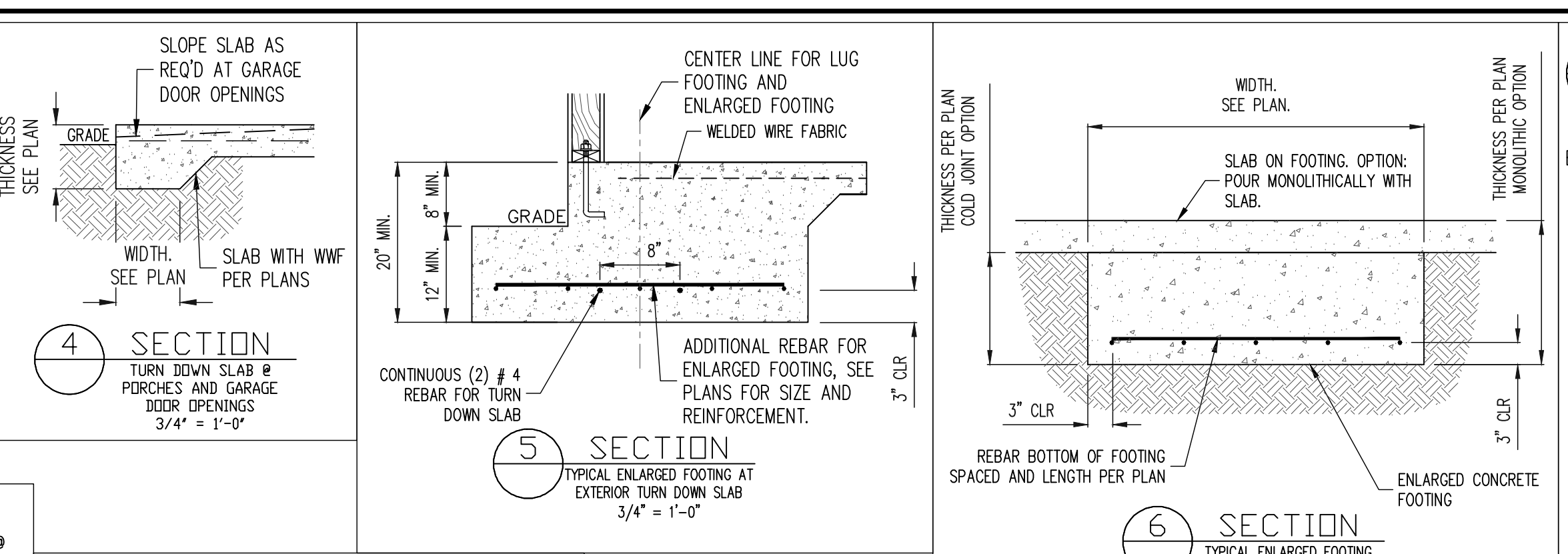
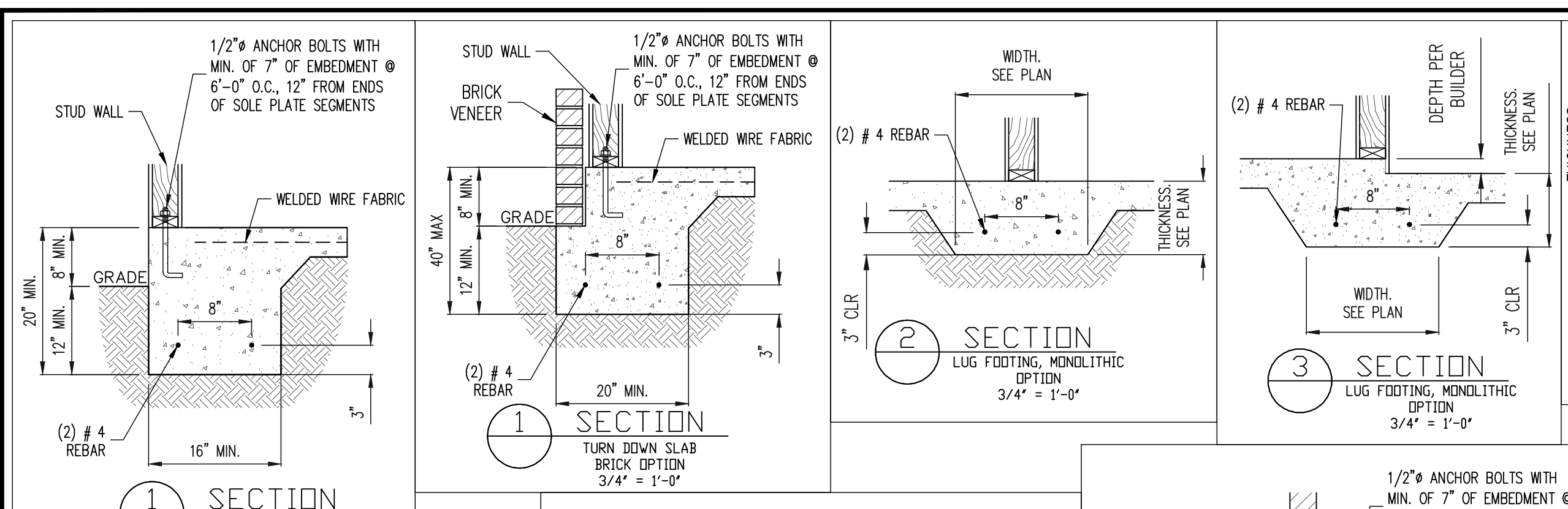
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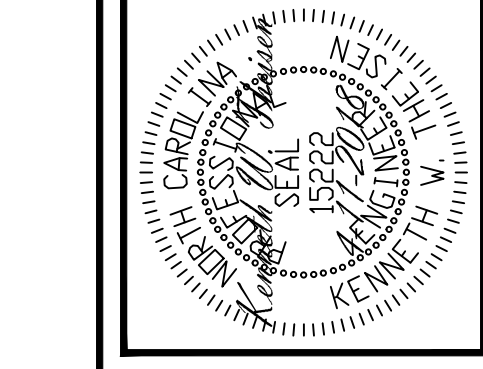
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CONSTRUCTION SPECIFICATIONS

PART 1: GENERAL

- 1.01 CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE NORTH CAROLINA RESIDENTIAL CODE, 2012 EDITION.
- 1.02 STRUCTURAL STEEL SHALL MEET THE REQUIREMENTS OF THE AISC SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS.
- 1.03 REINFORCED CAST IN PLACE CONCRETE SHALL BE PROPORTIONED, MIXED AND PLACED IN ACCORDANCE WITH THE SPECIFICATIONS OF ACI 318, LATEST EDITION.
- 1.04 MASONRY CONSTRUCTION SHALL CONFORM TO THE SPECIFICATIONS OF ACI 530-95, LATEST EDITION.
- 1.05 METHODS, PROCEDURES AND SEQUENCES OF CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO MAINTAIN AND INSURE THE INTEGRITY OF THE STRUCTURE AT ALL STAGES OF CONSTRUCTION.

PART 2: DIMENSIONS

- 2.01 DIMENSIONS SHOWN SHALL GOVERN OVER SCALE ON THESE DRAWINGS.

PART 3: DESIGN LOADS

- 3.01 DESIGN LOADS SHALL CONFORM WITH THE TABLE BELOW:

USE	LIVE LOAD (PSF)	DEAD LOAD (PSF)
BALCONIES, DECKS, ATTICS WITH FIXED STAIR ACCESS, DWELLING UNITS (INCLUDING SLEEPING ROOMS), ATTICS WITH FIXED STAIR ACCESS, STAIRS, FIRE ESCAPES	40	10
GARAGES (PASSENGER CARS ONLY)	50	---
ATTICS (NO STORAGE, LESS THAN 5' HEADROOM)	10	10
ATTICS (WITH STORAGE)	20	10
ROOF	20	10 (15 FOR VAULTS)

- NOTES:
- INDIVIDUAL STAIR TREADS ARE TO BE DESIGNED FOR THE UNIFORMLY DISTRIBUTED LIVE LOAD OR A 300 LB. CONCENTRATED LOAD ACTING OVER AN AREA OF 4 SQ. IN., WHICHEVER PRODUCES THE GREATER STRESS.
 - GUARD RAILS AND HAND RAILS ARE TO BE DESIGNED FOR A SINGLE CONCENTRATED LOAD OF 200 LB. APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP.
 - BUILDER TO VERIFY DEAD LOAD DOES NOT EXCEED 10 PSF WHEN HEAVY FLOOR OR ROOF FINISHES SUCH AS TILE OR SLATE ARE UTILIZED.

- 3.02 INTERIOR WALLS: 5 PSF LATERAL.
- 3.03 BASIC WIND DESIGN VELOCITY OF 100 MPH.
- 3.04 LOAD DURATION FACTOR FOR ROOF STRUCTURAL MEMBERS IS 1.15.
- 3.05 SOIL BEARING CAPACITY 2000 PSF (PRESUMPTIVE).

PART 4: MATERIALS

- 4.01 STRUCTURAL STEEL SQUARE AND RECTANGULAR TUBING SHALL CONFORM TO ASTM A500 GRADE B MINIMUM GRADE. ALL OTHER STRUCTURAL STEEL SHALL CONFORM TO ASTM A500 MINIMUM GRADE TYP. UNO.
- 4.02 REBAR SHALL BE DEFORMED STEEL CONFORMING TO ASTM A615 GRADE 60 TYP. UNO.
- 4.03 SOLID SAWN WOOD FRAMING DESIGN IS BASED ON NO. 2 SPRUCE PINE FIR FOR JOISTS, RAFTERS, WOOD GIRDERS/BEAMS, STUDS, ETC. ALLOWANCE HAS BEEN MADE FOR SYP #2 SUBSTITUTION TYP. UNO.
- 4.04 LVL OR PSL MINIMUM ALLOWABLE DESIGN STRESSES ARE AS FOLLOWS:
E = 1.9 X 10⁶ PSI, F_b = 2800 PSI, F_v = 285 PSI, F_c = 750 PSI
- 4.05 LVL MINIMUM ALLOWABLE DESIGN STRESSES ARE AS FOLLOWS:
E = 1.3 X 10⁶ PSI, F_b = 1700 PSI, F_v = 400 PSI, F_c = 680 PSI
- 4.06 BOLTS SHALL CONFORM TO ASTM A307 MINIMUM GRADE TYP. UNO.
- 4.07 WELDING ELECTRODES SHALL BE E70XX
- 4.08 LUMBER IN CONTACT WITH THE GROUND, CONCRETE OR MASONRY SHALL BE PRESSURE TREATED IN ACCORDANCE WITH ANPA STANDARD C-15. ALL OTHER EXPOSED LUMBER SHALL BE TREATED IN ACCORDANCE WITH ANPA STANDARD C-2 OR BY ANY METHOD GIVING EQUAL PROTECTION. THE BUILDING CODE OFFICE MAY ALSO APPROVE A NATURAL DECAY RESISTANT WOOD PER SECTION 19-6(A).

- 4.09 EAST IN PLACE CONCRETE SHALL BE OF NORMAL WEIGHT AND SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS TYP. UNO.
- 4.10 CONCRETE MASONRY UNITS SHALL CONFORM TO ASTM C 90 OR ASTM C 55.
- 4.11 MORTAR SHALL BE TYPE S CONFORMING TO ASTM C 476.
- 4.12 NAILS SHALL BE COMMON WIRE NAILS TYP. UNO.
- 4.13 LAG SCREWS SHALL CONFORM TO ANSI/ASME STANDARD B18.2.1-1981.

PART 5: CONSTRUCTION

- 5.01 FLITCH PLATE BEAMS SHALL CONSIST OF A CONTINUOUS STEEL PLATE BOLTED BETWEEN TWO PIECES OF CONTINUOUS LUMBER AS SIZED ON THE PLANS. BOLT PICES TOGETHER USING 1/2" Ø BOLTS SPACED AT 24" O.C. STAGGERED TOP TO BOTTOM OF THE BEAM. MAINTAIN A 2" EDGE DISTANCE. PLACE TWO BOLTS, ONE ABOVE THE OTHER, 6" FROM EACH END OF THE BEAM.
- 5.02 STEEL, LVL, AND FLITCH PLATE BEAMS BEARING ON A STUD WALL PERPENDICULAR TO THE BEAM SHALL BEAR FULL WIDTH ON THE SUPPORTING WALL INDICATED AND SHALL BE SUPPORTED BY A MINIMUM OF THREE GANGED STUDS, OR A GANGED STUD COLUMN WITH A NUMBER OF STUDS SUCH THAT THE STUD COLUMN IS AT LEAST AS WIDE AS THE BEAM BEING SUPPORTED, WHICHEVER IS GREATER, TYP. UNO.
- 5.03 STEEL, LVL, AND FLITCH PLATE BEAMS BEARING ON TO THE END OF A STUD WALL PARALLEL TO THE BEAM SHALL BEAR A MINIMUM OF 4 1/2" ONTO THE WALL AND BE SUPPORTED BY A TRIP STUD GANGED COLUMN TYP. UNO.
- 5.04 SOLID SAWN LUMBER GANGED BEAMS BEARING ON A STUD WALL PERPENDICULAR TO THE BEAM SHALL BEAR FULL WIDTH ON THE SUPPORTING WALL INDICATED (LESS 1 1/2" TO ALLOW FOR A CONTINUOUS RM JOIST) AND SHALL BE SUPPORTED BY A GANGED STUD COLUMN THE SAME WIDTH AS THE BEAM TYP. UNO.
- 5.05 SOLID SAWN LUMBER GANGED BEAMS BEARING ON TO THE END OF A STUD WALL PARALLEL TO THE BEAM SHALL BEAR A MINIMUM OF 4 1/2" ONTO THE WALL AND BE SUPPORTED BY A DBL STUD GANGED COLUMN TYP. UNO.
- 5.06 EXTRA JOISTS OR SINGLE LVL MEMBERS OF 1.75" OR LESS WIDTH BEARING ON A STUD WALL PERPENDICULAR TO THE BEAM SHALL BEAR ON THE WALL A MINIMUM OF 2" AND SHALL BE SUPPORTED BY ONE ADDITIONAL STUD.
- 5.07 SOLID SAWN LUMBER JOISTS THAT ARE GANGED TO FORM A BEAM SHALL HAVE ADJACENT MEMBERS IN THE BEAM NAILED TOGETHER WITH THREE ROWS OF 10d NAILS @ 16" O.C.
- 5.08 LVL MEMBERS THAT ARE GANGED TO FORM A BEAM SHALL HAVE ADJACENT MEMBERS IN THE BEAM FASTENED TOGETHER PER MANUFACTURERS RECOMMENDATIONS, TYP. UNO.
- 5.09 STUDS THAT ARE GANGED TO FORM A COLUMN SHALL HAVE ADJACENT STUDS WITHIN THE COLUMN NAILED TOGETHER WITH ONE ROW OF 10d NAILS AT 8" O.C. (TWO ROWS OF 10d NAILS @ 8" O.C., 3" APART, FOR 200 OR 240 STUDS) ALL COLUMNS SHALL BE CONTINUOUS DOWN TO THE FOUNDATION OR OTHER PROPERLY DESIGNED STRUCTURAL ELEMENT SUCH AS A BEAM. COLUMNS TRANSFERRING LOADS THROUGH FLOOR LEVELS SHALL BE SOLIDLY BLOCKED FOR THE FULL WIDTH OF THE STUD COLUMN WITHIN THE CAVITY FORMED BY THE FLOOR JOISTS.
- 5.10 STUD WALLS SHALL CONSIST OF 2X4 STUDS SPACED AT 16" O.C. UNO. STUDS SHALL BE CONTINUOUS FROM SOLE PLATE AT FLOOR TO DOUBLE TOP PLATE AT THE CEILING OR ROOF. NO INTERMEDIATE BANDS OR PLATES SHALL CAUSE DISCONTINUITIES IN A STUD WALL EXCEPT AS REQUIRED FOR DOOR OR WINDOW OPENINGS. THE KING STUDS FOR SUCH OPENINGS SHALL BE CONTINUOUS.
- 5.11 PILOT HOLES SHALL BE USED FOR LAG SCREW INSTALLATION AND SHALL BE BORED ACCORDING TO NDS SPECIFICATIONS.
- 5.12 ALL WELDING SHALL BE PERFORMED BY AN AWS CERTIFIED WELDER
- 5.13 ALL CONCRETE, INCLUDING CONCRETE FOR FOOTINGS, IS TO BE CAST IN PLACE, TYP. UNO.
- 5.14 BOLTS AND LAG SCREWS USED FOR BOLTING WOOD MEMBERS SHALL HAVE STANDARD WASHERS INSTALLED FOR THE NUTS AND BOLT / SCREW HEADS

PART 6: SUBSTITUTIONS

- 6.01 IN LIEU OF WELDED WIRE FABRIC IN SLABS, SYNTHETIC POLYPROPYLENE FIBRILLATED MICRO FIBERS, FIBER LENGTH 1 1/2", DOSAGE RATE 1 1/2 LBS/CU YD.
- 6.02 OTHER MATERIAL OR MEMBER SIZE SUBSTITUTIONS REQUIRE THE WRITTEN AUTHORIZATION OF THE DESIGNERS. UNAUTHORIZED DEVIATIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

NOTES

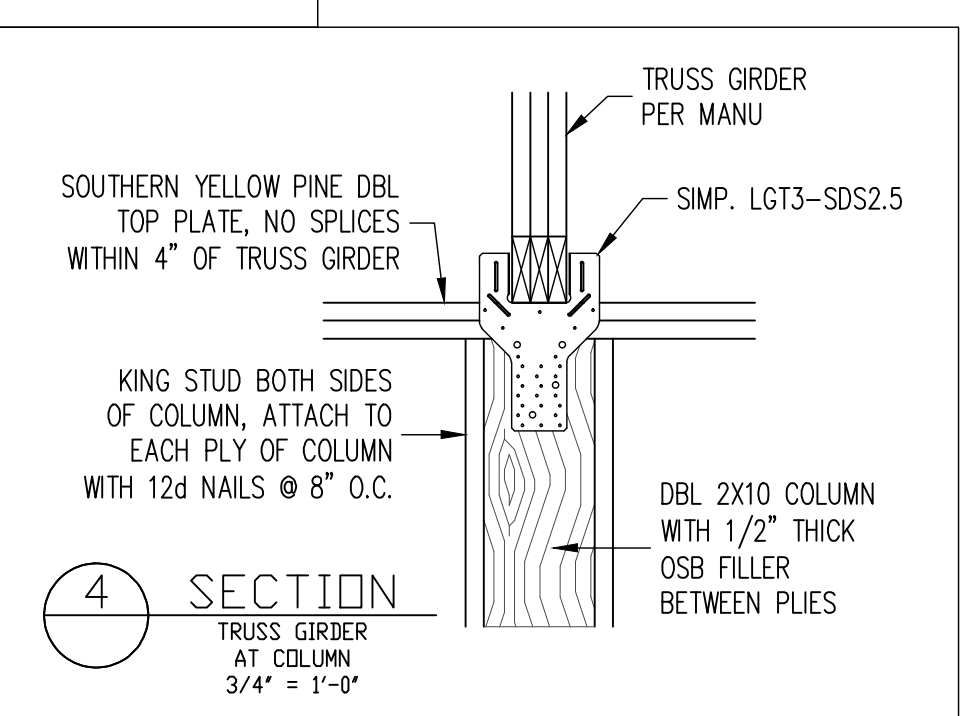
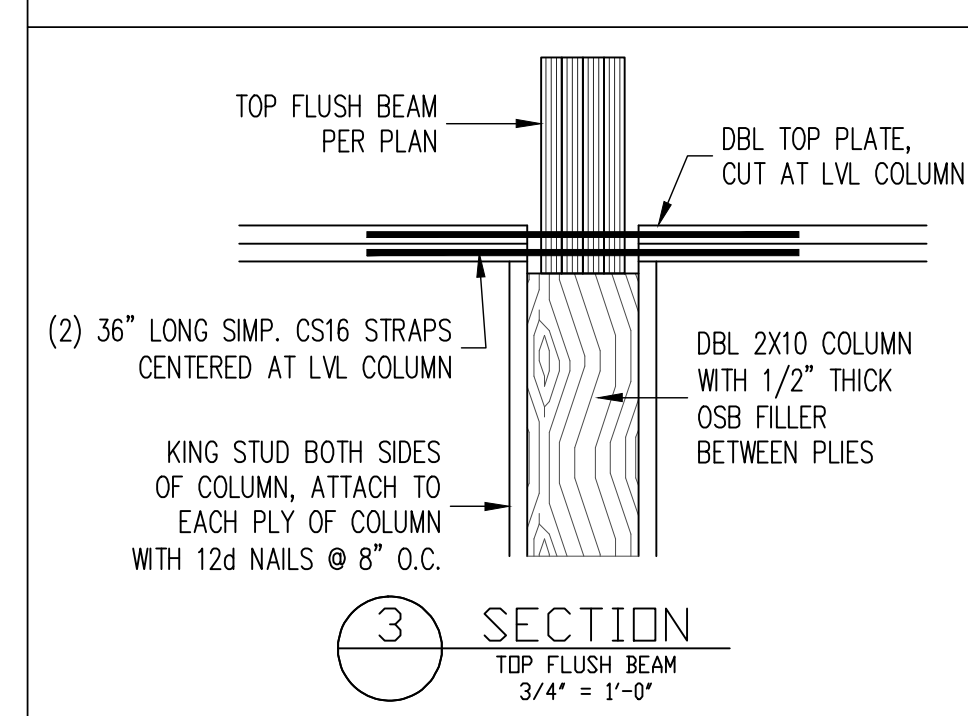
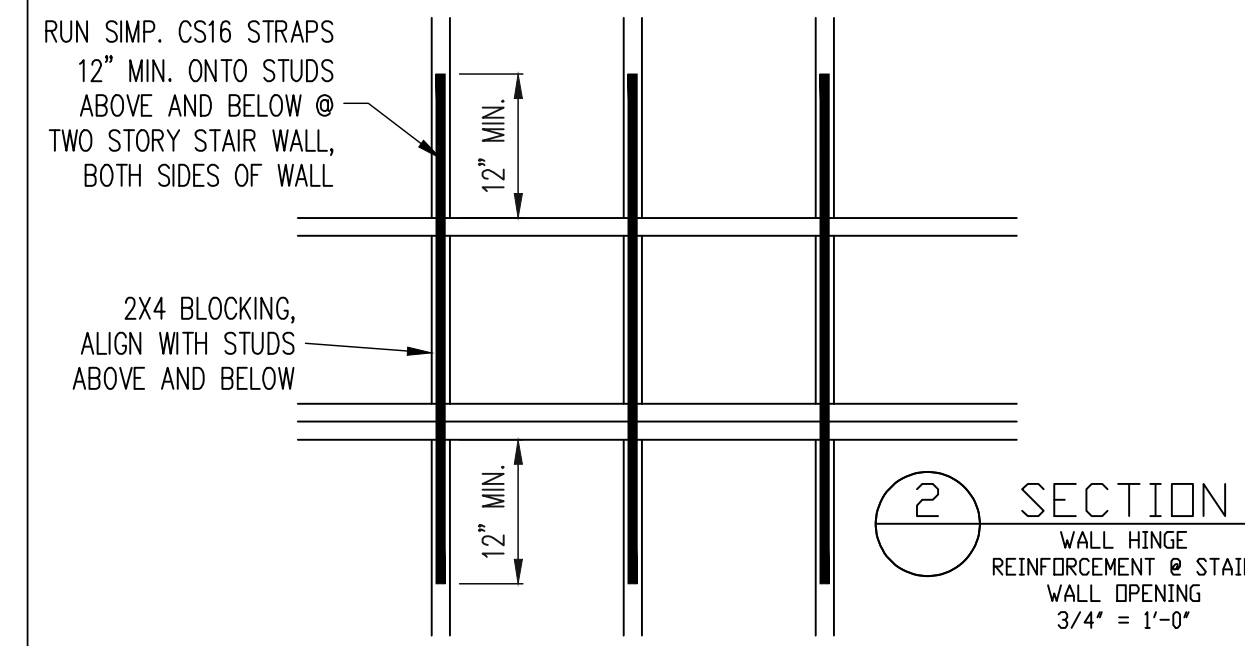
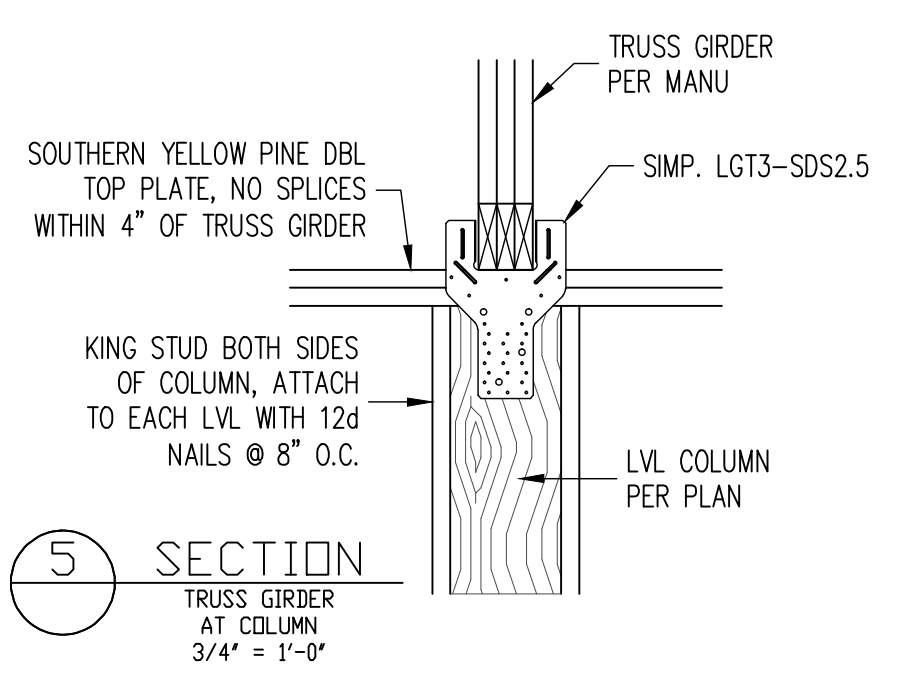
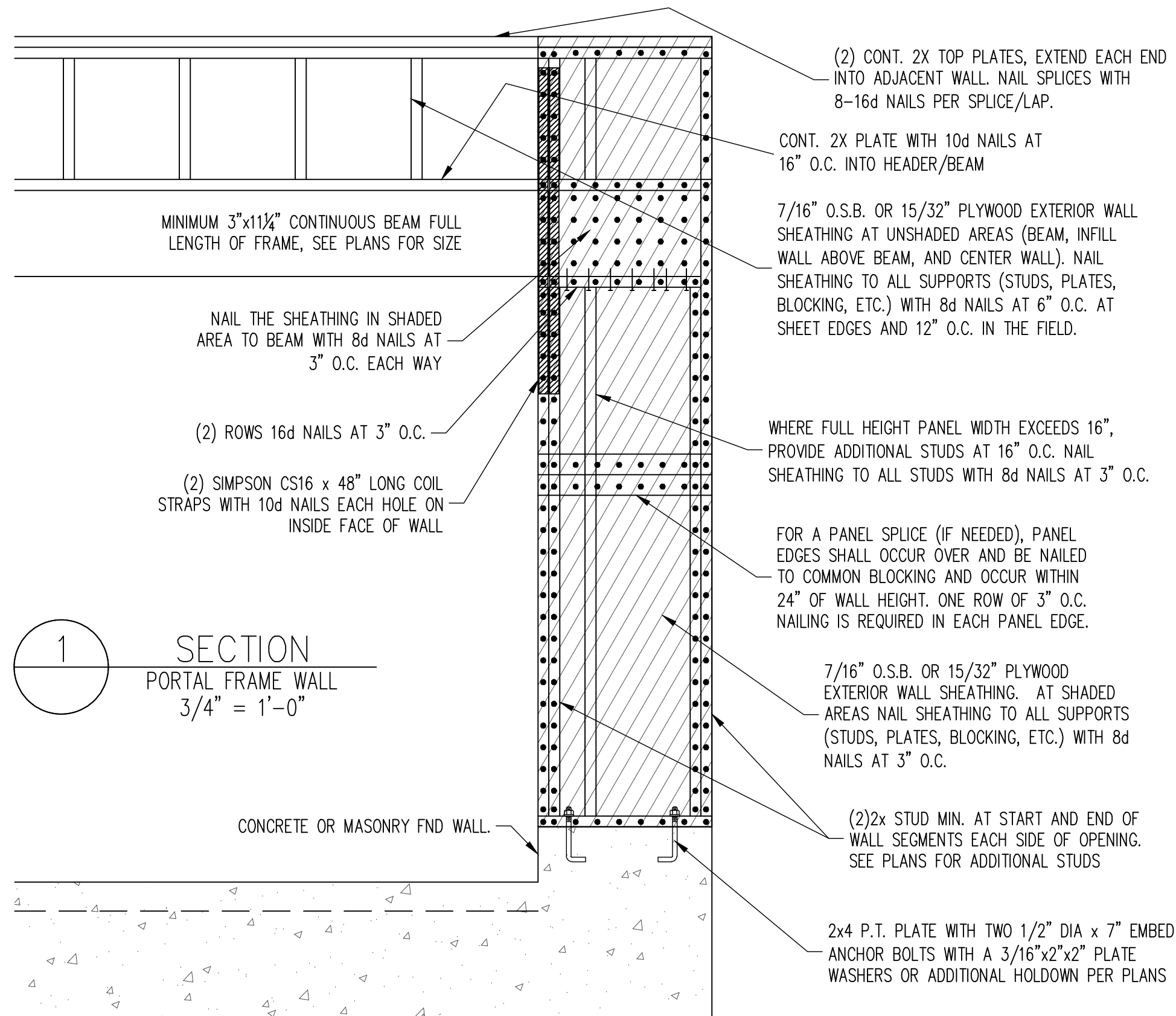
ALL WORK IS TO BE DONE IN STRICT ACCORDANCE WITH STATE AND LOCAL CODES. THE BUILDER IS RESPONSIBLE FOR REVIEWING PLANS PRIOR TO CONSTRUCTION. IF ENGINEERING SERVICES HAS BEEN PROVIDED THE BUILDER SHALL VERIFY THAT THE FOUNDATION AND STRUCTURAL PLANS HAVE BEEN SEALED BY AN ENGINEER REGISTERED BY THE STATE. IF THE PLANS HAVE NOT BEEN SIGNED AND SEALED, THE BUILDER SHALL IMMEDIATELY CONTACT ENGINEERING TECH BEFORE PROCEEDING FURTHER. ANY ERRORS DUE TO A FAILURE TO FOLLOW THE ABOVE PROCEDURES SHALL NOT BE THE RESPONSIBILITY OF ENGINEERING TECH. ALL FINAL SETS OF THE SAME PLAN ISSUED TO A BUILDER SHOULD BE REVIEWED FOR UNIFORMITY, ESPECIALLY IF PRIOR SETS OF PLANS HAVE BEEN ISSUED AS STUDY COPIES.

ENGINEERING TECH DOES NOT PERFORM PENETRATION, ROOF VENT, OR ATTIC CALCULATIONS OR ANY OTHER AREA CALCULATIONS THAT ARE NOT RELATED TO STRUCTURAL ENGINEERING.

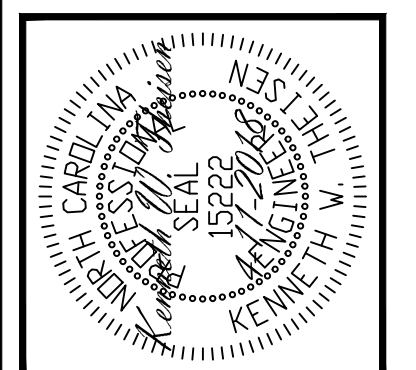
TRUSSES TO BE DESIGNED BY AN ENGINEER REGISTERED IN NORTH CAROLINA. FINAL TRUSS DRAWING SHOULD BE SUBMITTED TO ENGINEERING TECH ASSOCIATES, PA FOR REVIEW

ABBREVIATIONS

ABV ABOVE	FND FOUNDATION	TJ TRIPLE JOIST
B BOTH	FTG FOOTING	TYP TYPICAL
B.E. BOTH ENDS	HDG HOT DIPPED	TRPL TRIPLE
BTMN BETWEEN	GLV GALVANIZED	TSP TRIPLE STUD POCKET
CONC CONCRETE	HOR HANGER	UNO UNLESS NOTED
CS CONTINUOUS SHEATHING	LVL LAMINATED VENEER	OTHERWISE
DIA DIAMETER	LUMBER	XJ EXTRA JOIST
DBL DOUBLE	NTS NOT TO SCALE	
DJ DOUBLE JOIST	O.C. ON CENTER	
DSP DBL STUD POCKET	PSL PARALLEL STRAND LUMBER	
EQ EQUAL	PT PRESSURE TREATED	
EA EACH	QJ QUAD JOIST	
FLG FLANGE	SP STUD POCKET	
FL PL FLITCH PLATE	SQ SQUARE	
FLR FLOOR		



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