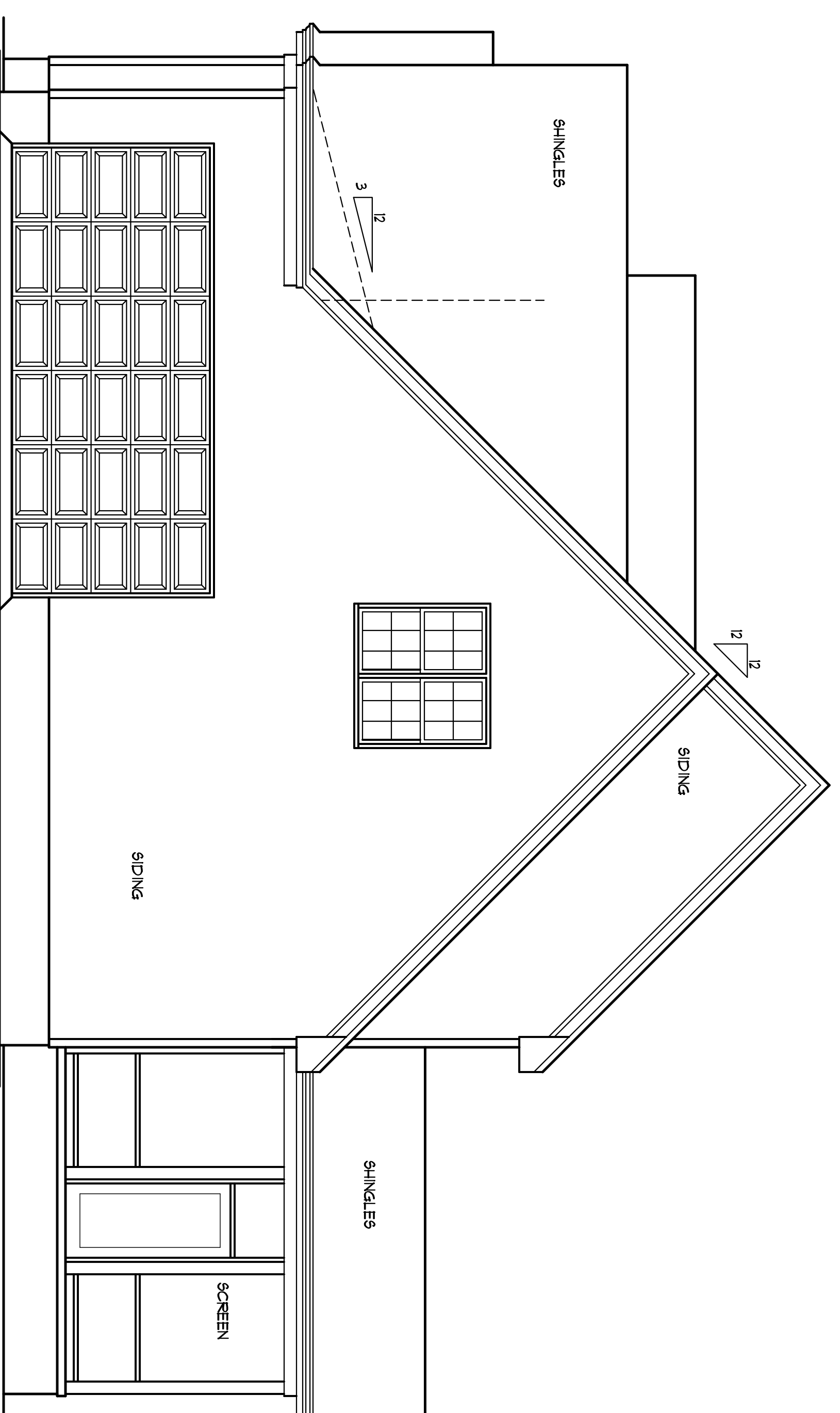


BUILDER SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT TIME OF CONSTRUCTION.  
 ALL CONSTRUCTION SHALL CONFORM TO THE 2018 EDITION OF THE NC STATE BUILDING CODE.  
 CODES GOVERN OVER DRAWINGS.  
 DIMENSIONS GOVERN OVER SCALE.  
 VERIFY ALL MECHANICAL REQUIREMENTS BEFORE FINISHING.  
 YUNCANNON DESIGNS DOES NOT ASSUME LIABILITY FOR ANY DEVIATION OF OR CONSTRUCTION METHODS OF THESE PLANS.



**RIGHT SIDE ELEV**  
 SCALE: 1/4" = 1'-0"



**FRONT ELEVATION**  
 SCALE: 1/4" = 1'-0"

MILTON BUILT HOMES

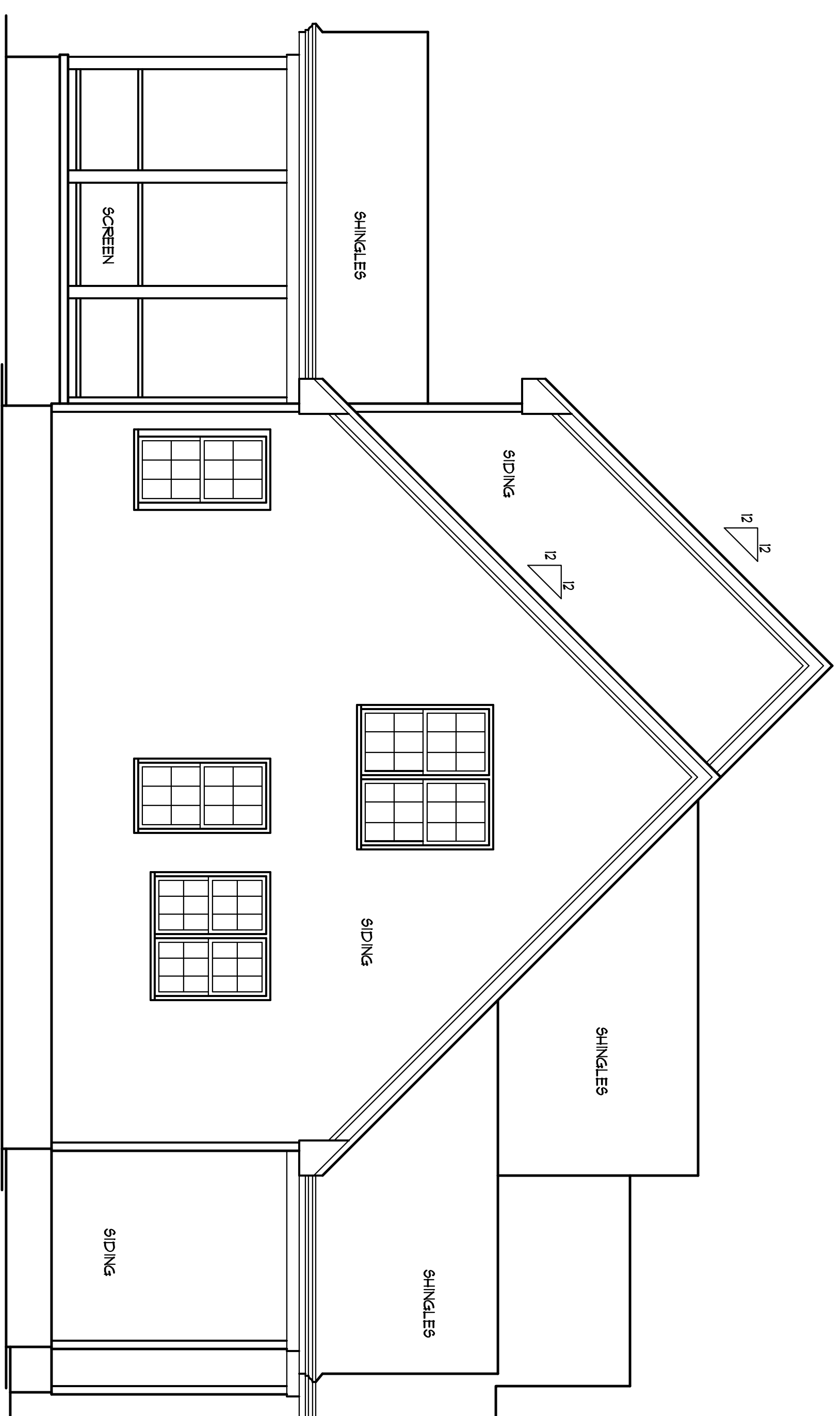
**YUNCANNON DESIGNS**  
 CUSTOM HOME PLANS  
 FUQUAY-VARINA, NC - (919) 421-1374

DRAWN BY : URY  
 CKD BY : URY  
 DATE : 02/05/19  
 REVISIONS :

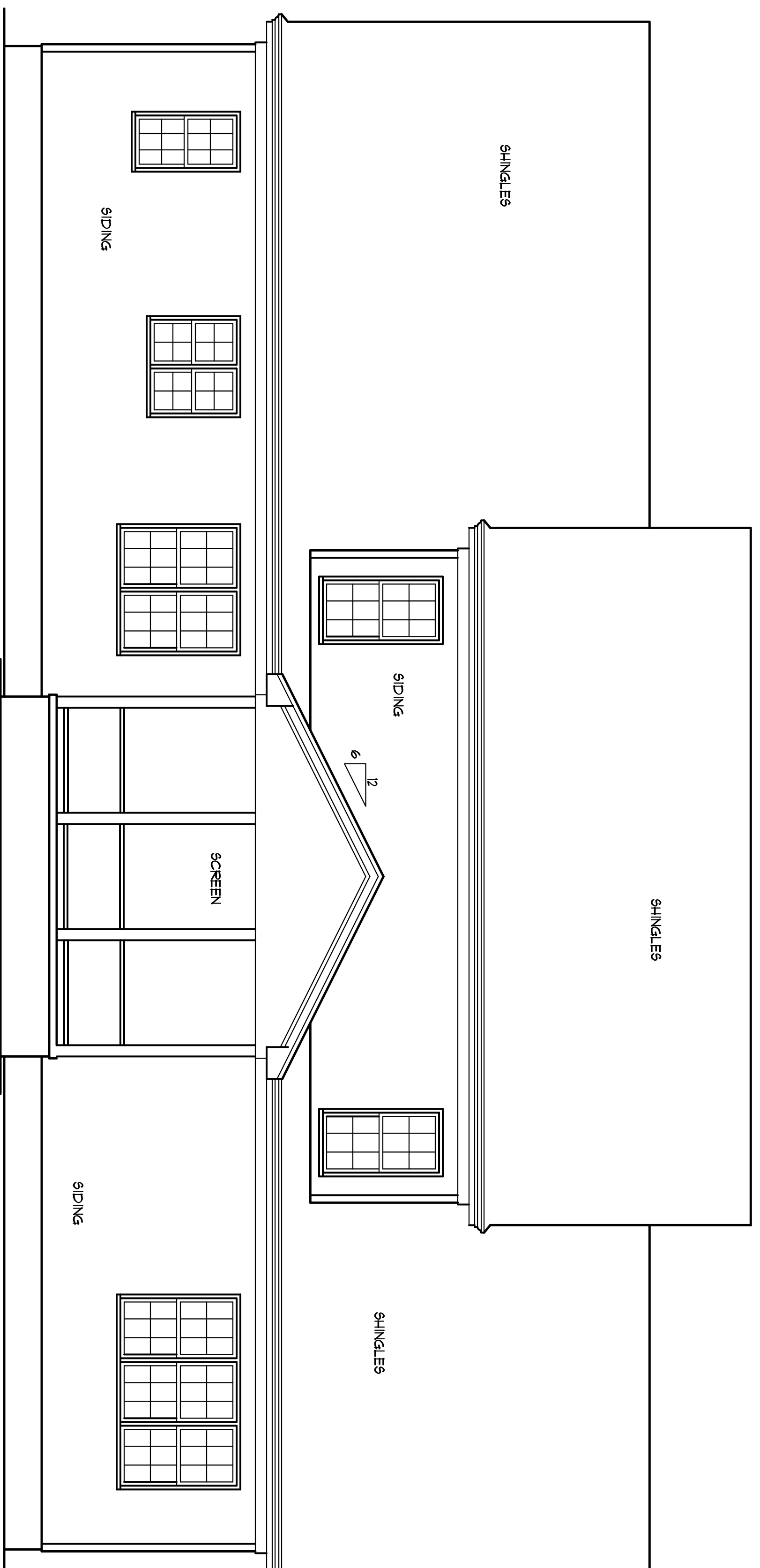
SHEET  
 A-1

Plan No. 2662-15

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LEFT SIDE ELEV  
 SCALE: 1/4" = 1'-0"



REAR ELEVATION  
 SCALE: 1/4" = 1'-0"

MILTON BUILT HOMES

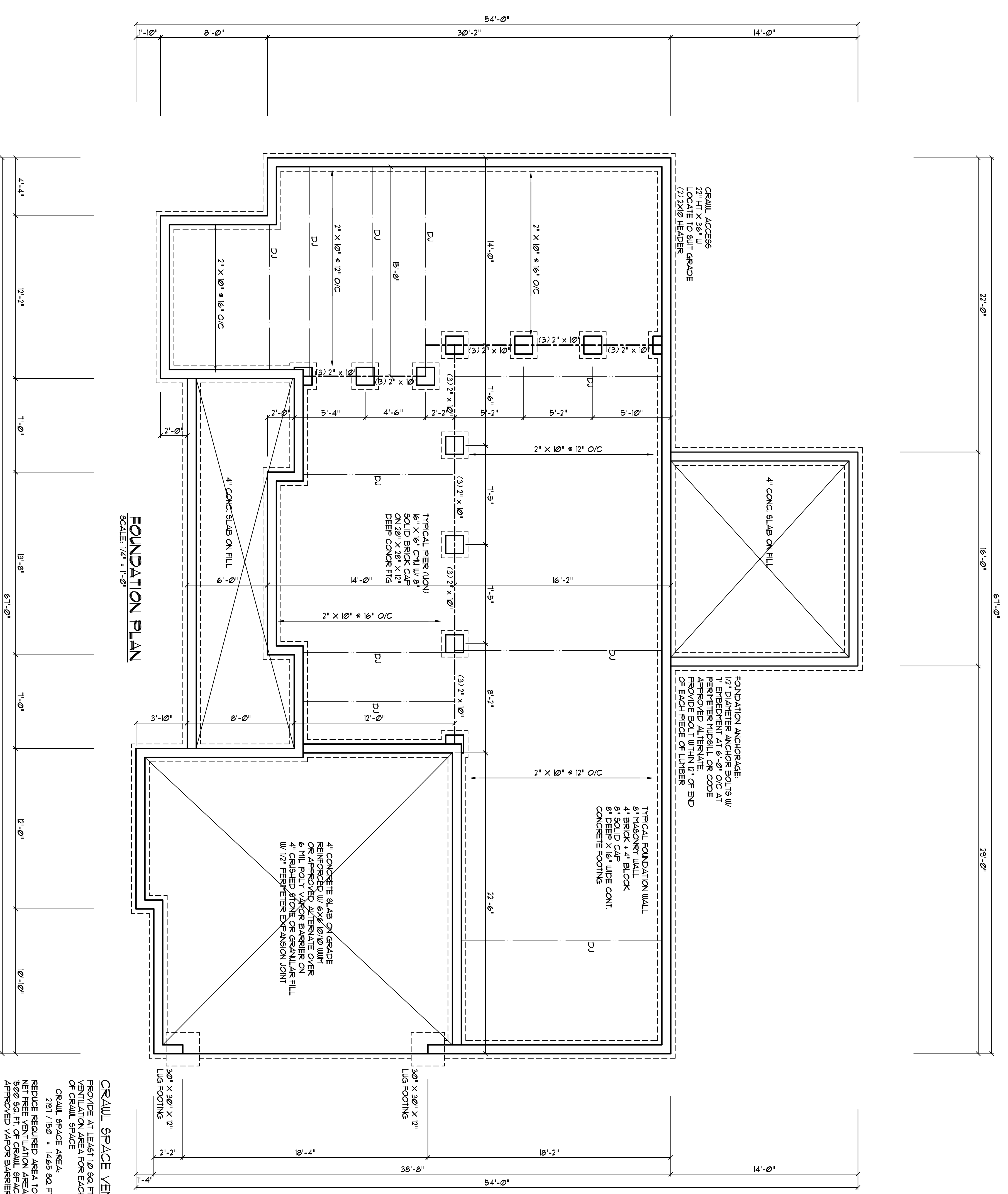
**YUNCANNON DESIGNS**  
 CUSTOM HOME PLANS  
 FUQUAY-VARINA, NC - (919) 421-1314

DRAWN BY : JRV  
 CKD BY : JRV  
 DATE : 02/05/19  
 REVISIONS :

Plan No. 2662-15

SHEET  
 A-2

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**FOUNDATION PLAN**  
 SCALE: 1/4" = 1'-0"

- FOUNDATION NOTES**
- 1) SPECIFIC NOTES ON THE PLANS TAKE PRECEDENCE OVER DIMENSIONS GOVERN OVER SCALE. PLAN DESIGNER AND CONTRACTOR ARE SOLELY RESPONSIBLE FOR DIMENSIONAL ACCURACY OF BUILDING CONSTRUCTION TO WITH CURRENT REVISIONS.
  - 2) STRUCTURAL CONCRETE TO BE FC-3000 PSI, PRE-STANDARD 318.
  - 3) FOOTINGS TO BEAR ON UNDISTURBED EARTH, A MIN OF 12" BELOW ADJACENT FINISHED GRADE, OR AS OTHERWISE DIRECTED BY THE LOCAL INSPECTOR.
  - 4) BEARING CAPACITY OF 2000 PSF. CONTRACTOR TO VERIFY SOIL CONDITIONS FOR FOOTINGS AT THE TIME OF CONSTRUCTION.
  - 5) FOOTINGS AND PIERS SHALL BE CENTERED UNDER THEIR RESPECTIVE FRAMES. PROVIDE 3" MIN. FOOTING PROJECTION FROM FACE OF MASONRY.
  - 6) MAXIMUM DEPTH OF UNBALANCED FILL AGAINST MASONRY WALLS TO BE AS SPECIFIED IN VOLUME VII, SECTION R-502.4.3 OF THE NC STATE CODE.
  - 7) PLASTER TO BE BONDED TO PERIMETER FOUNDATION WALL.
  - 8) PROVIDE FOUNDATION WATERPROOFING AND DRAIN WITH POSITIVE SLOPE TO OUTLET AS REQUIRED BY SITE CONDITIONS.
  - 9) PROVIDE PERIMETER INSULATION WITH BASEMENT SLABS.
  - 10) CORREL FOUNDATION WALL AS REQUIRED TO ACCEPT DATE BRICK VENEER.
  - 11) CRAWL SPACE TO BE GRADED LEVEL AND CLEAR OF ALL DEBRIS.

SIZE	HOLLOW	SOLID
8"x16"	2'-0"	5'-0"
12"x16"	4'-0"	8'-0"
16"x16"	5'-4"	12'-0"
24"x24"	8'-0"	

FOOTINGS 30"x30"x10" MINIMUM UNLESS NOTED OTHERWISE

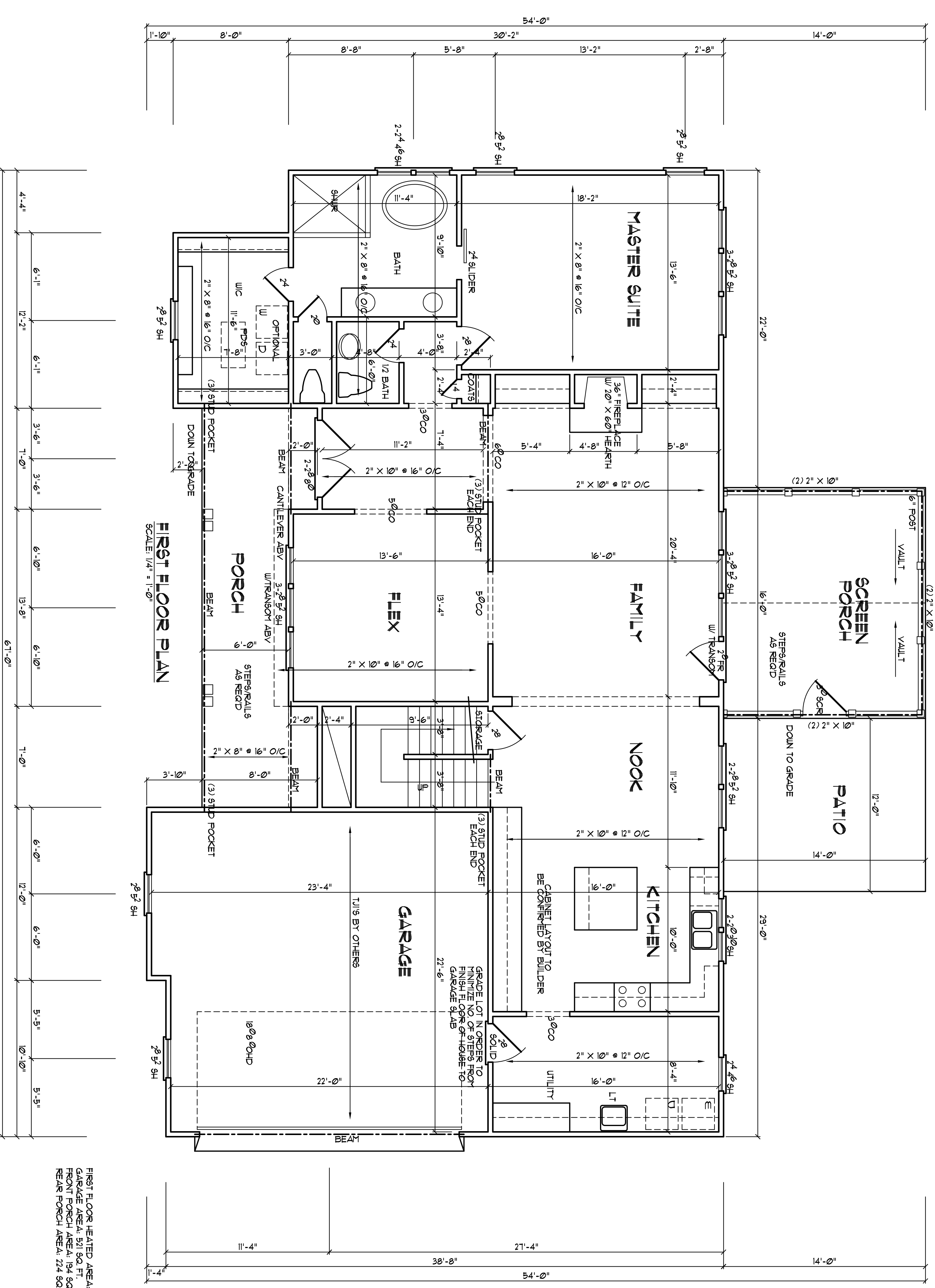
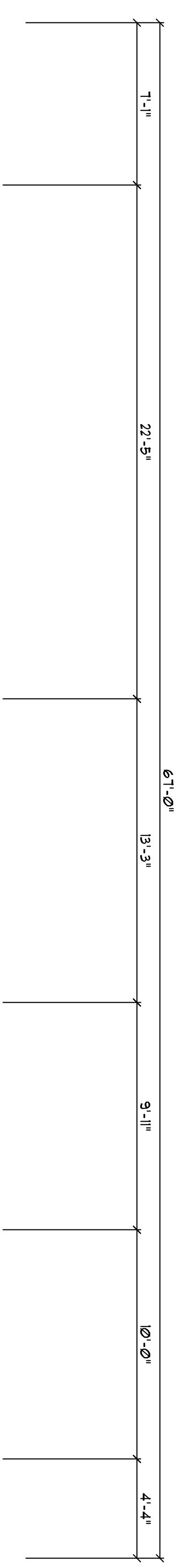
- NOTE**
- 1) USE 2X10 @ 16" O.C. @ 9" P.F. MINIMUM SPECIFIED (U.O.N.)
  - 2) JOIST'S DIRECTION DESIGNATED BY ARROWS ABOVE.
  - 3) DOUBLE ALL JOIST PARALLEL TO WALLS ABOVE.
  - 4) GIRDERS TO BE (3)2X10'S @ 9" P.F. MINIMUM (U.O.N.)
  - 5) MINIMUM CRAWL SPACE ACCESS TO BE 27" HEIGHT X 36" WIDTH.
  - 6) FOUNDATION WALL AND PIER CAPS TO BE MINIMUM 8" SOLID.
  - 7) FOOTING UNDER MASONRY FINISH SURFACE TO BE 1/2" THICK AND EXTEND 12" BEYOND.

**CRAWL SPACE VENTILATION**

PROVIDE AT LEAST 10 SQ. FT. NET FREE VENTILATION AREA FOR EACH 150 SQ. FT. OF CRAWL SPACE.  
 CRAWL SPACE AREA:  
 2181 / 150 = 14.55 SQ. FT. REQ'D.  
 NET FREE VENTILATION AREA FOR EACH 1500 SQ. FT. OF CRAWL SPACE WITH APPROVED VAPOR BARRIER  
 PROVIDE (1) VENT WITHIN 3'-0" OF EACH CORNER  
 REFER TO MANUFACTURER SPECIFICATIONS FOR VENT SIZES AND DETERMINE NUMBER OF VENTS REQUIRED

Plan No. 2662-15

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 DIMENSIONS GOVERN OVER SCALE.  
 VERIFY ALL MECHANICAL REQUIREMENTS BEFORE FRAMING.  
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FIRST FLOOR PLAN  
 SCALE: 1/4" = 1'-0"

FIRST FLOOR HEATED AREA: 1119 SQ. FT.  
 GARAGE AREA: 511 SQ. FT.  
 REAR PORCH AREA: 134 SQ. FT.  
 REAR PATIO AREA: 124 SQ. FT.

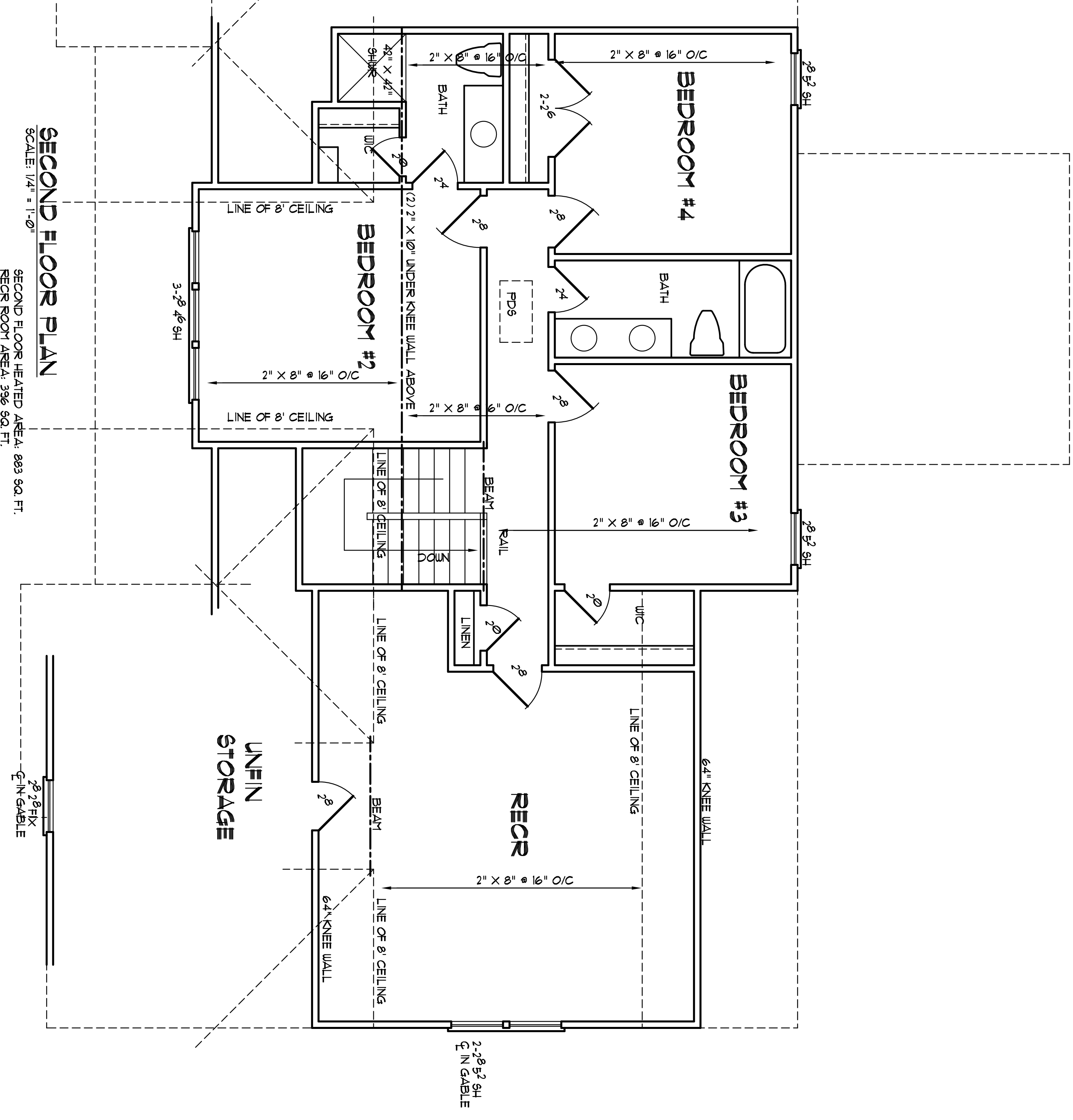
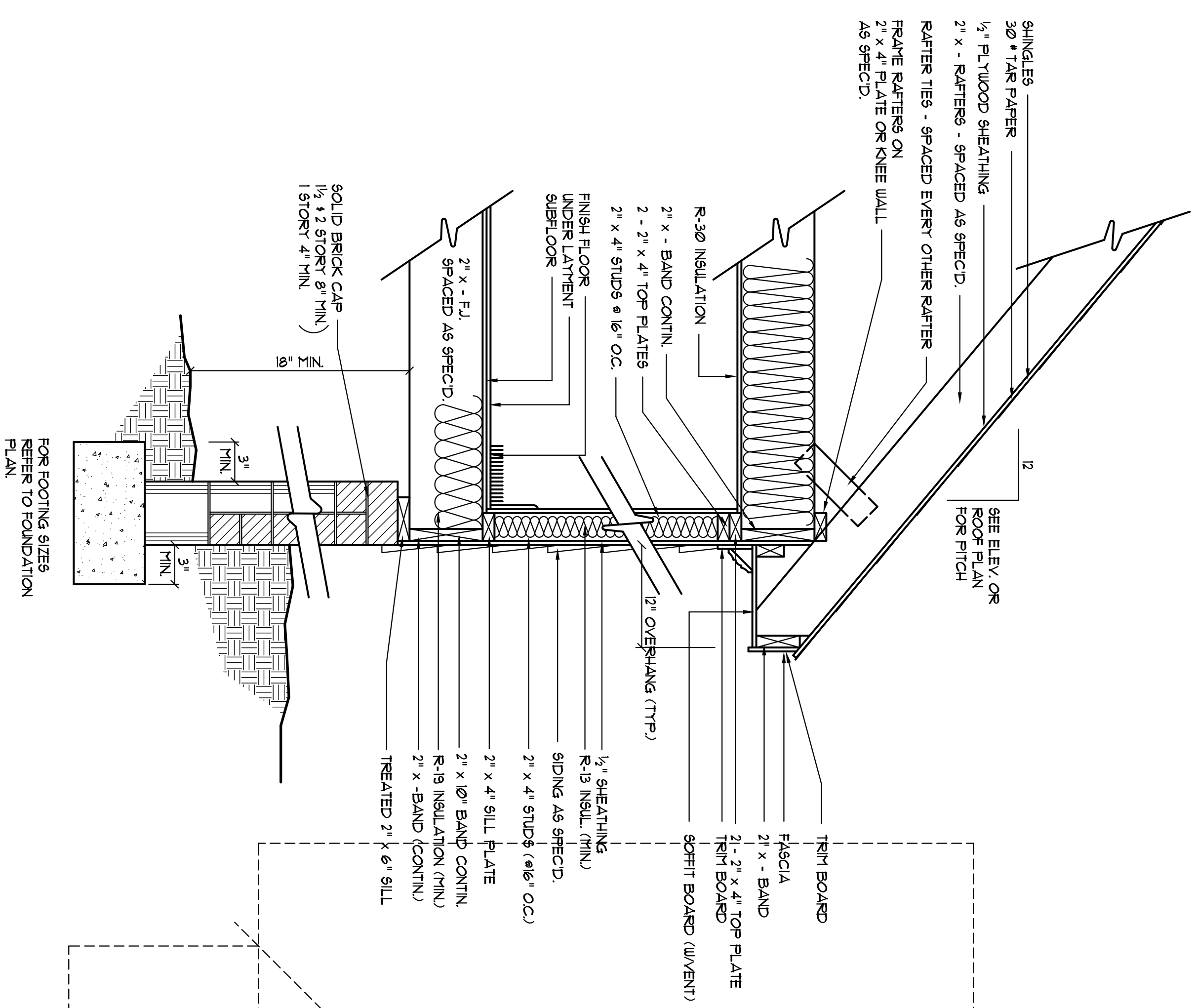
- FRAMING NOTES
- 1) ALL FRAMING LUMBER SPC #2 GRADE (N/GA) OR BETTER UNLESS NOTED.
  - 2) JOIST SIZE AND SPACING BASED ON CODE MINIMUMS. BUILDER SHOULD CONSIDER WINDSPEEDS, BUILDING HEIGHT, CONSIDER STEPS TO REDUCE FLOOR FLEXIBILITY.
  - 3) PROVIDE DOUBLE JOIST UNDER WALLS PARALLEL TO JOIST DIRECTION.
  - 4) PROVIDE SOLID BLOCKING BETWEEN ALL FOUNDATION WALLS.
  - 5) JOIST DIRECTION DESIGNATED BY

- NOTE
- 1) 3" x 6" CEILING JOIST
  - 2) FINISH FLOOR AT 1 1/2" ABOVE FINISHED FLOOR AT 1 1/2" ABOVE
  - 3) DOUBLE ALL JOISTS PARALLEL TO WALLS ABOVE
  - 4) USE PREPARED CEILING AT 11/8" SLACK ABOVE FINISHED FLOOR WITH 1/4" SLACK ABOVE FINISHED FLOOR WITH 1/4" SLACK OF BUNDLING JOISTS.
  - 5) USE 2" X 4" AS E-CLIPS (MINIMUM ON STRUCTURAL SHEETS).
  - 6) STIC ACCESS 2" X 4" MINIMUM.
  - 7) FILL AND PLASTER TO BE 5/8" OR THICKER MATERIAL.
  - 8) SLOPE TO BE MINIMUM 6" ABOVE.
  - 9) DOOR ROOF CLASSED TO MATCH TO BE 2" THICK FIBRE GLASS INSULATION WITH 1/2" GYPSUM BOARD OVER AND CEILING COMMON TO GARAGE & HEATED PORCH.
  - 10) MINIMUM 1/2" CLEARANCE FROM FINISHED FLOOR TO FINISHED FLOOR.
  - 11) REMOVE TREATED SAND AT CONCRETE SLAB.

Plan No. 2662-15

<p><b>YUNCANNON DESIGNS</b>          CUSTOM HOME PLANS          FUQUAY-VARINA, NC - (919) 421-1374</p>	<p><b>MILTON BUILT HOMES</b></p>	<p>SHEET  <b>A-4</b></p>
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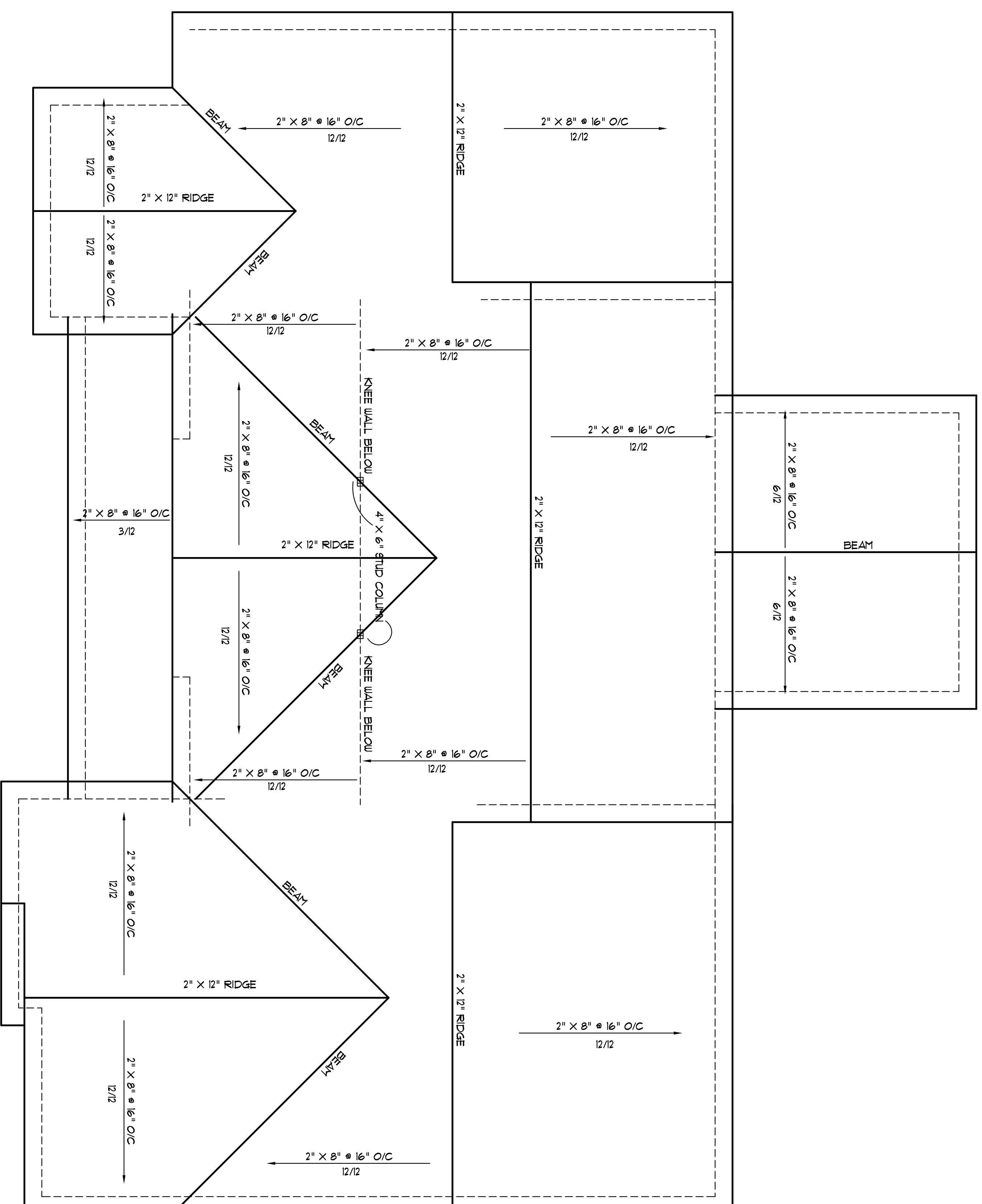
**EXTERIOR WALL SECTION**  
 SCALE: 1/8\"/>

**SECOND FLOOR PLAN**  
 SCALE: 1/4\"/>

- NOTE**
- 1) 8'-0\"/>
  - 2) RAISE WINDOWS AT 8'-0\"/>
  - 3) COVER ALL WINDOWS RELATIVE TO BATHS ABOVE.
  - 4) USE TYPED GLASS AT THE 8'-0\"/>
  - 5) USE 2\"/>
  - 6) ATTIC ACCESS 37\"/>
  - 7) ALLS AND RISERS TO BE 8\"/>
  - 8) STAIRS TO BE MINIMUM 6\"/>
  - 9) DOOR MUST REMAIN 20\"/>
  - 10) REVISIONS TO BE MADE IN ALL WALLS + FLOORS + CEILING + ROOF + FINISHES + ETC. + REFER TO REVISIONS SHEET FOR ALL CHANGES.
  - 11) CENTER LINE OF LINEN CLOSET.
  - 12) 8'-0\"/>

Plan No. 2662-15

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**ROOF PLAN**  
 SCALE: 1/4" = 1'-0"

**ATTIC SPACE VENTILATION**  
 MAIN ROOF  
 ATTIC AREA = 718 SQ. FT.  
 REQUIRED AREA = A500 = 306 SQ. FT.  
 NOTE:  
 ALL EAVES TO HAVE 2" CONTINUOUS SOFFIT VENT  
 ALLOW 1" AIR SPACE ABOVE INSULATION FOR AIR FLOW

Plan No. 2662-15

SHEET  
**A-6**

**YUNCANNON DESIGNS**  
 CUSTOM HOME PLANS  
 FUQUAY-VARINA, NC - (919) 421-1374

MILTON BUILT HOMES

DRAWN BY : URY  
 CKD BY : URY  
 DATE : 01/18/19  
 REVISIONS :