



Initial Application Date: 11/21/18

Application # SFD1811-0005

CU# _____

COUNTY OF HARNETT RESIDENTIAL LAND USE APPLICATION
Central Permitting 108 E. Front Street, Lillington, NC 27546 Phone: (910) 893-7525 ext:2 Fax: (910) 893-2793 www.harnett.org/permits

****A RECORDED SURVEY MAP, RECORDED DEED (OR OFFER TO PURCHASE) & SITE PLAN ARE REQUIRED WHEN SUBMITTING A LAND USE APPLICATION****

LANDOWNER: Randy Wilkins; Taylor Waters Mailing Address: _____
City: _____ State: _____ Zip: _____ Contact No: 910-984-7042 Email: _____

APPLICANT: Sevenity Built Homes Mailing Address: PO Box 1417
City: Lillington State: NC Zip: 27546 Contact No: 910-984-7042 Email: _____
*Please fill out applicant information if different than landowner

CONTACT NAME APPLYING IN OFFICE: _____ Phone # _____

ADDRESS: 2495 Sherriff Johnson Rd Lillington PIN: _____

DEED OR OTP: 0601-62-8059

PROPOSED USE
 SFD: (Size 53'2" x 58'6") # Bedrooms 3 # Baths 2 Basement(w/wo bat) Garage: Deck: Crawl Space: Slab: _____ Monolithic Slab: _____
1794 Sq Ft (Is the bonus room finished? (yes (no w/ a clos) yes no (if add in with # bedrooms)

Mod: (Size _____ x _____) # Bedrooms _____ # Baths _____ Basement w/wo bat Gara Deck: _____ On Frame _____ Off Frame _____
(Is the second floor finished? () yes () no Any other site built additions? () yes () no

Manufactured Home: _____ SW _____ DW _____ TW (Size _____ x _____) # Bedrooms: _____ Garage: _____ (site built?) Deck: _____ (site built?)
 Duplex: (Size _____ x _____) No. Buildings: _____ No. Bedrooms Per Unit: _____
 Home Occupation: # Rooms: _____ Use: _____ Hours of Operation: _____ #Employees: _____
 Addition/Accessory/Other: (Size _____ x _____) Use: _____ Closets in addition? () yes () no

Water Supply: County _____ Existing Well _____ New Well (# of dwellings using well _____) ***Must have operable water before final (Need to Complete New Well Application at the same time as New Tank)**
Sewage Supply: New Septic Tank _____ Expansion _____ Relocation _____ Existing Septic Tank _____ County Sewer
(Complete Environmental Health Checklist on other side of application if Septic)

Does owner of this tract of land, own land that contains a manufactured home within five hundred feet (500') of tract listed above? () yes () no
Does the property contain any easements whether underground or overhead () yes () no
Structures (existing or proposed): Single family dwellings: _____ Manufactured Homes: _____ Other (specify): _____

If permits are granted I agree to conform to all ordinances and laws of the State of North Carolina regulating such work and the specifications of plans submitted. I hereby state that foregoing statements are accurate and correct to the best of my knowledge. Permit subject to revocation if false information is provided.
[Signature] Signature of Owner or Owner's Agent 10-4-18 Date

*****It is the owner/applicants responsibility to provide the county with any applicable information about the subject property, including but not limited to: boundary information, house location, underground or overhead easements, etc. The county or its employees are not responsible for any incorrect or missing information that is contained within these applications.*****
This application expires 6 months from the initial date if permits have not been issued*
APPLICATION CONTINUES ON BACK

strong roots • new growth

strong roots • new growth

****This application expires 6 months from the initial date if permits have not been issued****

This application to be filled out when applying for a septic system inspection.

County Health Department Application for Improvement Permit and/or Authorization to Construct

IF THE INFORMATION IN THIS APPLICATION IS FALSIFIED, CHANGED, OR THE SITE IS ALTERED, THEN THE IMPROVEMENT PERMIT OR AUTHORIZATION TO CONSTRUCT SHALL BECOME INVALID. The permit is valid for either 60 months or without expiration depending upon documentation submitted. (Complete site plan = 60 months; Complete plat = without expiration)

Environmental Health New Septic System

- **All property irons must be made visible.** Place "pink property flags" on each corner iron of lot. All property lines must be clearly flagged approximately every 50 feet between corners.
- Place "orange house corner flags" at each corner of the proposed structure. Also flag driveways, garages, decks, out buildings, swimming pools, etc. Place flags per site plan developed at/for Central Permitting.
- Place orange Environmental Health card in location that is easily viewed from road to assist in locating property.
- If property is thickly wooded, Environmental Health requires that you clean out the **undergrowth** to allow the soil evaluation to be performed. Inspectors should be able to walk freely around site. **Do not grade property.**
- **All lots to be addressed within 10 business days after confirmation. \$25.00 return trip fee may be incurred for failure to uncover outlet lid, mark house corners and property lines, etc. once lot confirmed ready.**

Environmental Health Existing Tank Inspections

- Follow above instructions for placing flags and card on property.
- Prepare for inspection by removing soil over **outlet end** of tank as diagram indicates, and lift lid straight up (*if possible*) and then **put lid back in place.** (Unless inspection is for a septic tank in a mobile home park)
- **DO NOT LEAVE LIDS OFF OF SEPTIC TANK**

MORE INFORMATION MAY BE REQUIRED TO COMPLETE ANY INSPECTION

SEPTIC

If applying for authorization to construct please indicate desired system type(s): can be ranked in order of preference, must choose one.

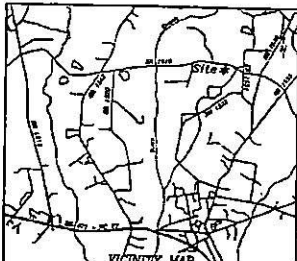
- Accepted Innovative Conventional Any
 Alternative Other _____

The applicant shall notify the local health department upon submittal of this application if any of the following apply to the property in question. If the answer is "yes", applicant **MUST ATTACH SUPPORTING DOCUMENTATION**:

- YES NO Does the site contain any Jurisdictional Wetlands?
- YES NO Do you plan to have an irrigation system now or in the future?
- YES NO Does or will the building contain any drains? Please explain. _____
- YES NO Are there any existing wells, springs, waterlines or Wastewater Systems on this property?
- YES NO Is any wastewater going to be generated on the site other than domestic sewage?
- YES NO Is the site subject to approval by any other Public Agency?
- YES NO Are there any Easements or Right of Ways on this property?
- YES NO Does the site contain any existing water, cable, phone or underground electric lines?

If yes please call No Cuts at 800-632-4949 to locate the lines. This is a free service.

I Have Read This Application And Certify That The Information Provided Herein Is True, Complete And Correct. Authorized County And State Officials Are Granted Right Of Entry To Conduct Necessary Inspections To Determine Compliance With Applicable Laws And Rules. I Understand That I Am Solely Responsible For The Proper Identification And Labeling Of All Property Lines And Corners And Making The Site Accessible So That A Complete Site Evaluation Can Be Performed.

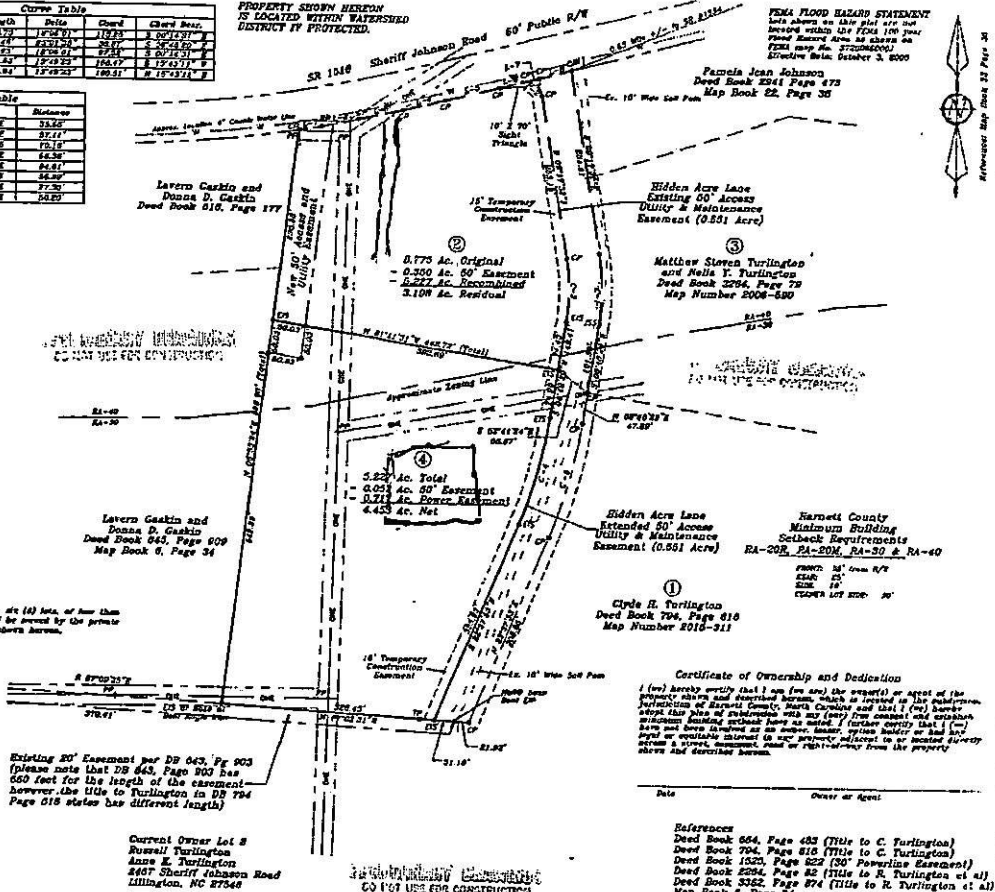


Curve Table					
Curve	Radius	Length	Delta	Chord	Chord Bear.
C-1	118.72	17.37	17.37	11.30	S 50°12'21" W
C-2	118.72	17.37	17.37	11.30	S 50°12'21" W
C-3	118.72	17.37	17.37	11.30	S 50°12'21" W
C-4	118.72	17.37	17.37	11.30	S 50°12'21" W
C-5	118.72	17.37	17.37	11.30	S 50°12'21" W
C-6	118.72	17.37	17.37	11.30	S 50°12'21" W

Line Table		
Course	Bearing	Distance
L-1	S 75°15'00" W	55.00
L-2	N 82°24'15" E	57.00
L-3	N 75°15'00" E	100.00
L-4	S 75°15'00" E	55.00
L-5	N 82°24'15" E	57.00
L-6	S 75°15'00" E	55.00
L-7	N 75°15'00" E	55.00
L-8	S 75°15'00" E	55.00
L-9	N 82°24'15" E	57.00
L-10	S 75°15'00" E	55.00

PROPERTY SHOWN HEREON IS LOCATED WITHIN WATERSHED DISTRICT #7 PROTECTED.

FEMA FLOOD HAZARD STATEMENT
See sheet on this plat for flood hazard within the FEMA 100 year Flood Hazard Area as shown on FEMA map No. 3705020001 Effective Date: October 3, 2000



- LEGEND:**
- Line Surveyed by [Symbol]
 - - - - - Line Not Surveyed by [Symbol]
 - De or adjacent line [Symbol]
 - Right of Way Line [Symbol]
 - Easement [Symbol]
 - Boundary [Symbol]
 - F. L. (Flood Line) [Symbol]
 - 100 Year Flood [Symbol]
 - 50 Year Flood [Symbol]
 - 10 Year Flood [Symbol]
 - 100 Year Flood [Symbol]
 - 50 Year Flood [Symbol]
 - 10 Year Flood [Symbol]
 - 100 Year Flood [Symbol]
 - 50 Year Flood [Symbol]
 - 10 Year Flood [Symbol]
 - 100 Year Flood [Symbol]
 - 50 Year Flood [Symbol]
 - 10 Year Flood [Symbol]
 - 100 Year Flood [Symbol]
 - 50 Year Flood [Symbol]
 - 10 Year Flood [Symbol]

THIS DOCUMENT IS FOR REVIEW PURPOSES ONLY AND SHOULD NOT BE CONSIDERED A CERTIFIED PLAT. THIS PLAT SHOULD NOT BE USED FOR CONVEYANCE OF TITLE OR ANY OTHER TRANSACTIONS.

Certificate of Approval for Recording
I hereby certify that the development depicted herein has been granted final approval from Harnett County E-911 Addressing, Environmental Health, Planning, Public Utilities, and the North Carolina Department of Transportation. This plat is subject to any and all conditions stated below and is eligible for recording in the Harnett County Register of Deeds within thirty days of the date herein.

E-911 Addressing - _____
Public Utilities (Not for Construction) - _____
ACDOT - _____

Subdivisor Administrator _____ Date _____
State of North Carolina
County of Harnett

Surveyor: _____
L-2018
License Number: _____

Current Owner Lot 8
Russell Turlington
Anne E. Turlington
8417 Sheriff Johnson Road
Lillington, NC 27546

Minor Subdivision

Surveyed and Mapped for:
Taylor E. Waters
Randy C. Wilkins

STANCLIFF & ASSOCIATES,
Professional Land Surveyor, P.A. C-0831
98 East Depot Street, P. O. Box 750, Angier, N.C. 27501
Phone: 919-839-2123 Fax: 919-839-2023

TOWNSHIP: NIXIE'S CREEK	COUNTY: HARNETT	DATE:	SURVEYED BY:	FIELD BOOK: 49-F
STATE: NORTH CAROLINA	PID: 110681 0004 01	SCALE: 1" = 100'	DRAWN BY: PAN	DRAWING FILE NO.
ZONE: RA-30 & RA-40	PDR: 0871-02-8558.000	CHECKED & CLOSURE BY:	LHNC-979 B	

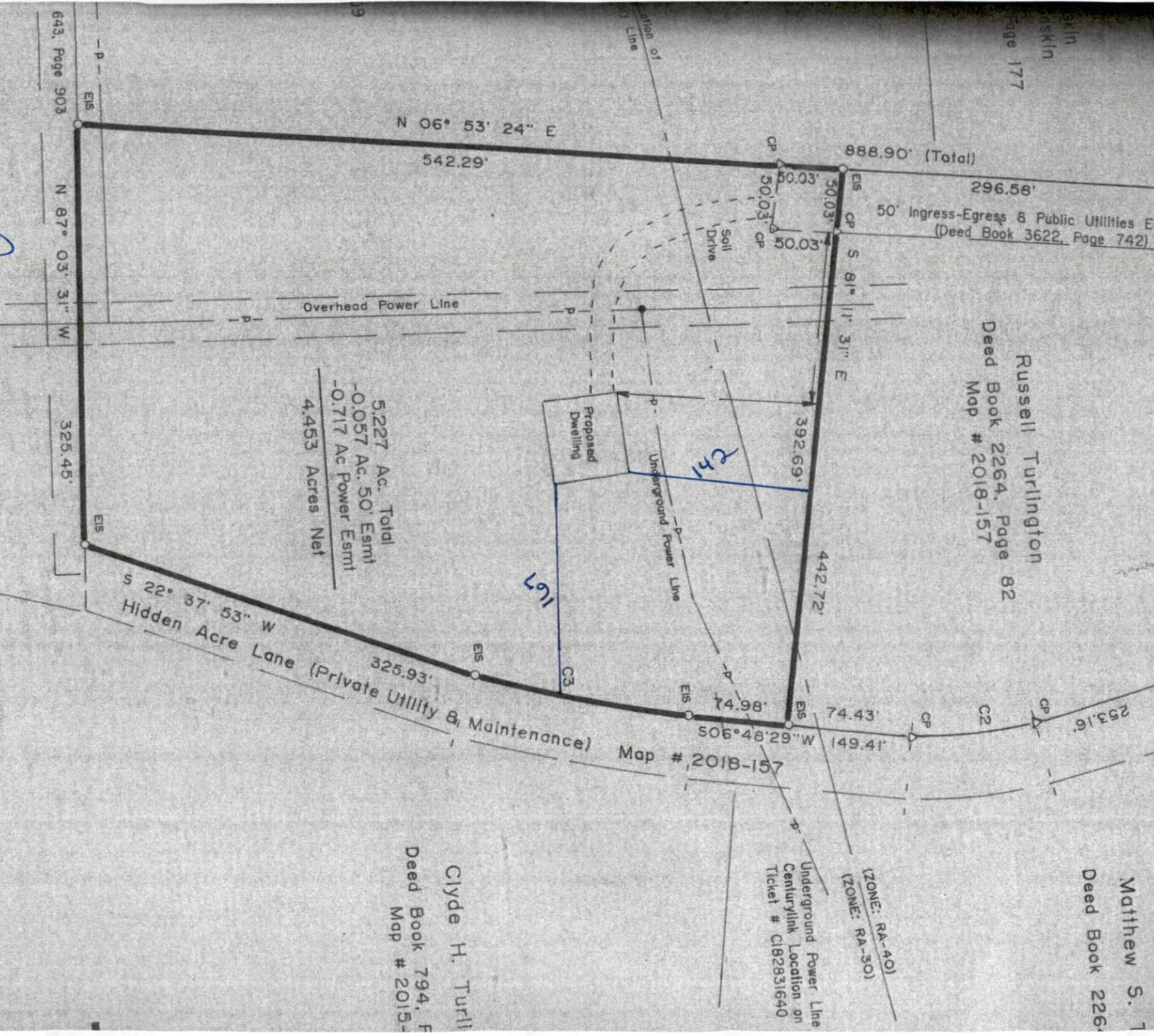
RECORDED IN HARNETT COUNTY, MAP NUMBER 2016 - _____

Russell Turlington
Deed Book 2264, Page 82
Map # 2018-157

Matthew S. T
Deed Book 226-

(ZONE: RA-40)
(ZONE: RA-50)
Underground Power Line
Centurylink Location on
Ticket # C182831640

Clyde H. Turll
Deed Book 794, F
Map # 2015-



SITE PLAN APPROVAL
DISTRICT RA30 **USE** SFD
#BEDROOMS 3
 Date 8/12/11
 Zoning Administrator [Signature]

NEILL