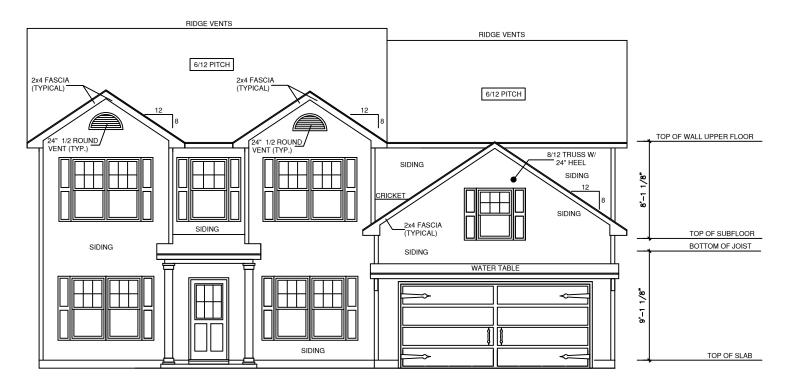
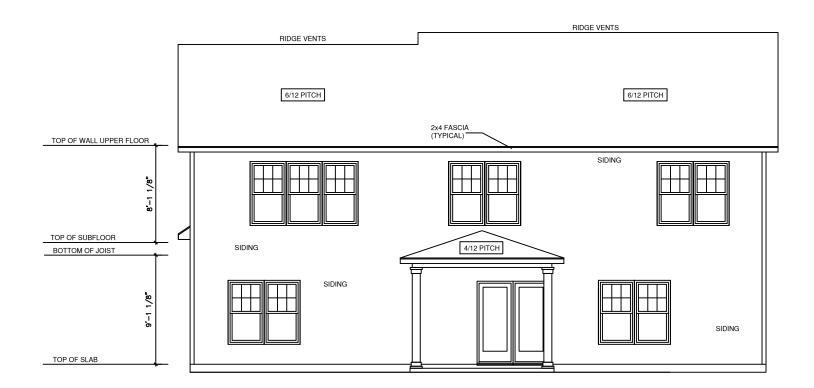
NOTE: FIRST FLOOR 9'-0" CEILINGS FIRST FLOOR ONLY



## PRINCETON FRONT ELEVATION "A" SCALE 1/8" = 1'-0"



PRINCETON REAR ELEVATION "A" SCALE 1/8" = 1'-0"

General Notes

1.) MAIN FLOOR PLATE HEIGHT TO BE 9'-0" UNLESS NOTED OTHERWISE.

2.) OPTIONAL BONUS PLATE HEIGHT TO BE 8'-0" UNLESS NOTED OTHERWISE.

3.) INTERIOR & EXTERIOR WALLS TO BE DRAWN @ 3 1/2" UNLESS NOTED OTHERWISE 4.) ALL ANGLES TO BE DRAWN AT 45°

4.) ALL ANGLES TO BE DHAWN AT 45'
OR 90° UNLESS NOTED OTHERWISE.
5.) WINDOW HEADER HEIGHT TO BE SET ⊚
6°-11" UNLESS NOTED OTHERWISE. HEADER
SIZE AND MATERIAL TO BE DETERMINED &
VERIFIED BY FRAMER, BUILDER, TRUSS SHOP
OR BY A LICENSED ENGINEER.

OR BY A LICENSED ENGINEER.
6.) SIZE, LOCATION AND MATERIALS OF BEAMS TRUSSES, GIRDERS AND HEADERS TO BE DETERMINED & VERIFIED BY BUILDER, FRAMER TRUSS SHOP OR LICENSED ENGINEER.
7.) FOOTER SIZE, MATERIAL & LOCATIONS TO BE VERIFIED AND DETERMINED BY BUILDER, FOOTER CONTRACTOR OR LICENSED ENGINEER.

ENGINEER.

8.) ROOF VENTELLATION TO BE DETERMINED & VERIFIED BUILDER, ROOFING COTRACTOR OR LICENSED ENGINEER.

9.) ALL MECHANICAL SYSTEMS DESIGNS, LOCATIONS AND SIZING TO BE DETERMINED & VERIFIED BY BUILDER, APPROPRIATE TRADE CONTRACTOR AND OR LICENSED ENGINEER. CONTRACTOR AND OR LICENSED ENGINEER.
10.) BUILDER RESPONSIBLE FOR VERIFYING
AND COMPLYING WITH ALL LOCAL, STATE
& NATIONAL CODES.
11.) LOCAL, STATE AND NATIONAL CODES
TAKE PRECIDENCE OVER DRAWINGS.

12.) BUILDER TO VERIFY ALL DIMENSIONS.

#### SQUARE FOOT KEY

0 000711121 001 1121	
FIRST FLOOR TO FRAMING	1517
SECOND FLOOR TO FRAMING	1628
HEATED & COOLED	3145
COVERED FRONT PORCH	32
GARAGE AREA	414
TOTAL UNDER BEAM AREA	3591
OPTIONAL COVERED REAR PATIO	144

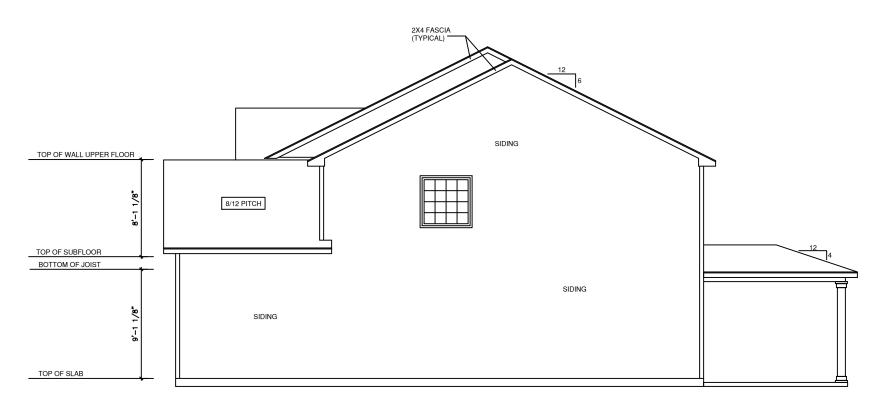
Front & Rear Elevation



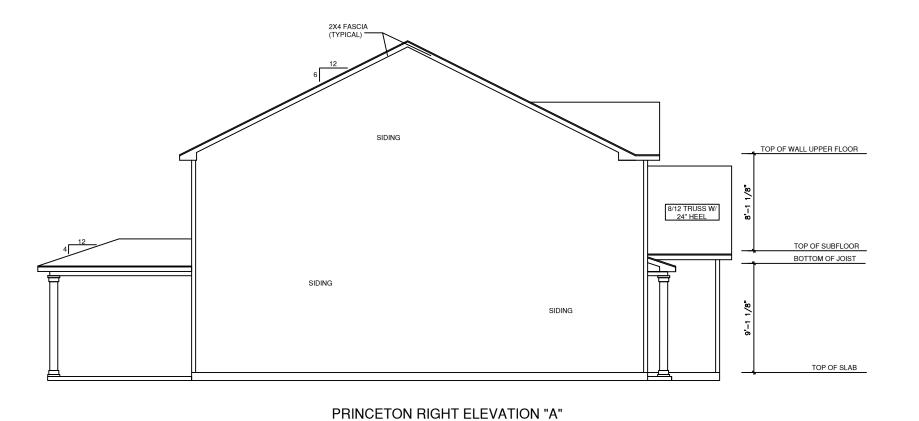
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**PLAN INDEX** CL 3145



### PRINCETON RIGHT ELEVATION "A" SCALE 1/8" = 1'-0"



SCALE 1/8" = 1'-0"

# 3.) INTERIOR & EXTERIOR WALLS TO BE DRAWN @ 3 1/2" UNLESS NOTED OTHERWISE.

1.) MAIN FLOOR PLATE HEIGHT TO BE 9'-0" UNLESS NOTED OTHERWISE. 2.) OPTIONAL BONUS PLATE HEIGHT TO BE 8'-0" UNLESS NOTED OTHERWISE.

General Notes

DRAWN @ 3 1/2" UNLESS NOTED OTHERWISE.
4.) ALL ANGLES TO BE DRAWN AT 45°
OR 90° UNLESS NOTED OTHERWISE.
5.) WINDOW HEADER HEIGHT TO BE SET @
6-11" UNLESS NOTED OTHERWISE. HEADER
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VERIFIED BY FRAMER, BUILDER, TRUSS SHOP
OR BY A LICENSED ENGINEER.

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ENGINEEH.

8.) ROOF VENTELLATION TO BE DETERMINED & VERIFIED BUILDER, ROOFING COTRACTOR OR LICENSED ENGINEER.

OR LICENSED ENGINEER.

9.) ALL MECHANICAL SYSTEMS DESIGNS, LOCATIONS AND SIZING TO BE DETERMINED & VERIFIED BY BUILDER, APPROPRIATE TRADE CONTRACTOR AND OR LICENSED ENGINEER.

10.) BUILDER RESPONSIBLE FOR VERIFYING AND COMPLYING WITH ALL LOCAL, STATE & NATIONAL CODES.

11.) LOCAL, STATE AND NATIONAL CODES TAKE PRECIDENCE OVER DRAWNINGS.

12.) BUILDER TO VERIFY ALL DIMENSIONS.

# SOLIABE FOOT KEY

3QUANL I OUT KLT	
FIRST FLOOR TO FRAMING	1517
SECOND FLOOR TO FRAMING	1628
HEATED & COOLED	3145
COVERED FRONT PORCH	32
GARAGE AREA	414
TOTAL UNDER BEAM AREA	3591
OPTIONAL COVERED REAR PATIO	144

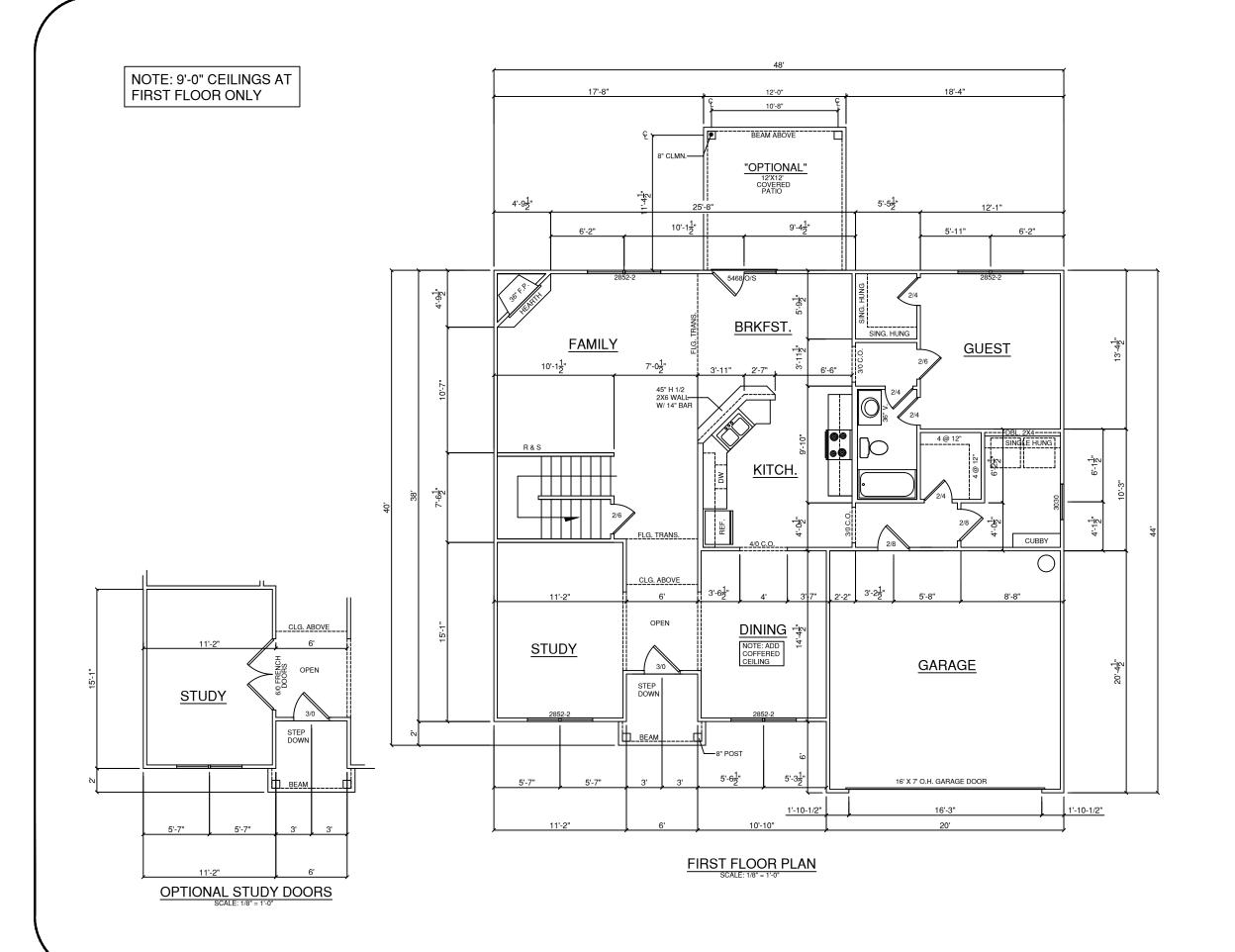
Right & Left Elevation



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**PLAN INDEX** 



## General Notes

- 1.) MAIN FLOOR PLATE HEIGHT TO BE 9'-0" UNLESS NOTED OTHERWISE.
- 2.) OPTIONAL BONUS PLATE HEIGHT TO BE 8'-0" UNLESS NOTED OTHERWISE.
- 3.) INTERIOR & EXTERIOR WALLS TO BE DRAWN @ 3 1/2" UNLESS NOTED OTHERWISE
- 4.) ALL ANGLES TO BE DRAWN AT 45°
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- 12.) BUILDER TO VERIFY ALL DIMENSIONS.

## SQUARE FOOT KEY

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SECOND FLOOR TO FRAMING	1628
HEATED & COOLED	3145
COVERED FRONT PORCH	32
GARAGE AREA	414
TOTAL UNDER BEAM AREA	3591
OPTIONAL COVERED REAR PATIO	144

First Floor Plan

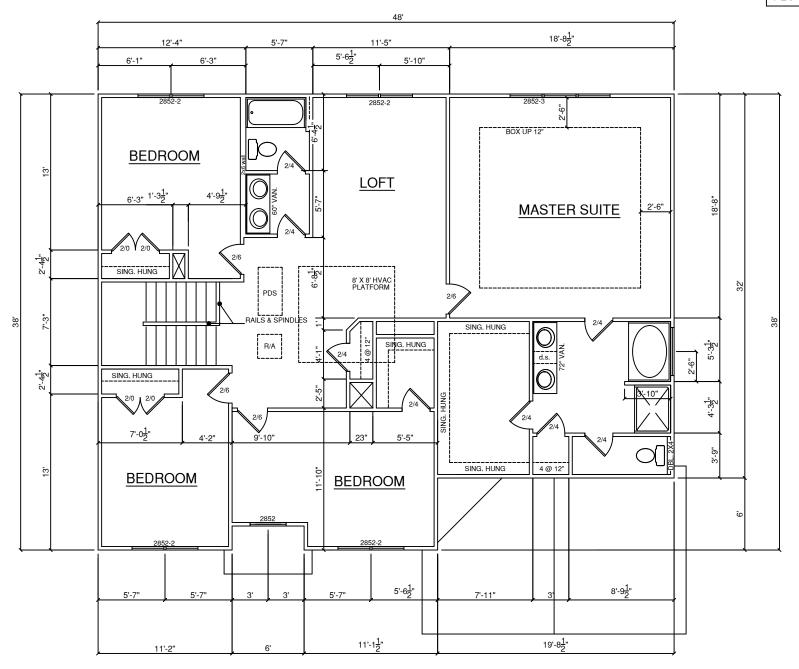


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**PLAN INDEX** 

NOTE: FIRST FLOOR 9'-0" CEILINGS FIRST FLOOR ONLY



SECOND FLOOR PLAN

## General Notes

- 1.) MAIN FLOOR PLATE HEIGHT TO BE 9'-0" UNLESS NOTED OTHERWISE.
- 2.) OPTIONAL BONUS PLATE HEIGHT TO BE 8'-0" UNLESS NOTED OTHERWISE.
- 3.) INTERIOR & EXTERIOR WALLS TO BE DRAWN @ 3 1/2" UNLESS NOTED OTHERWISE.
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## SQUARE FOOT KEY

FIRST FLOOR TO FRAMING	1517
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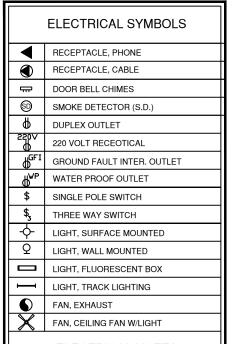
## Second Floor



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**PLAN INDEX** 

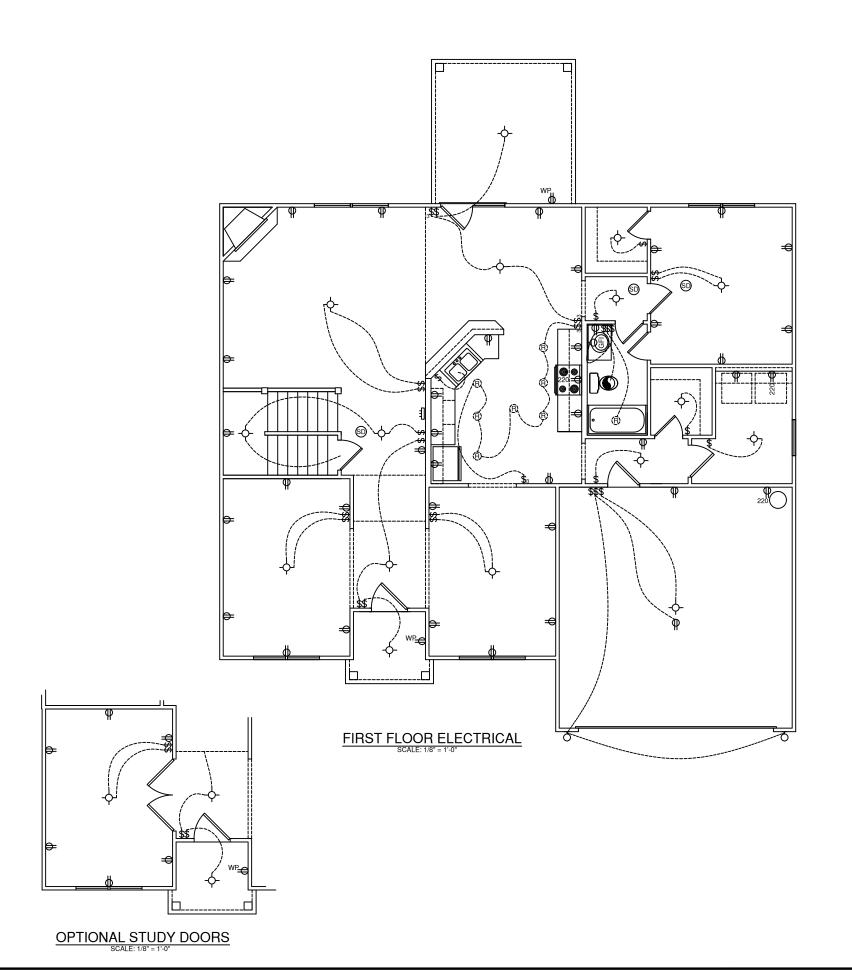


## **ELECTRICAL NOTES**

- 1. ALL ELECTRICAL TO MEET N.E.C.
- 2. PROVIDE 200 AMP SINGLE PHASE SERVICE.
- 3. PROVIDE ALL COPPER WIRING.
- 4. CONTRACTOR TO CONNECT ALL FIXTURES AND APPLIANCES.
- 5. CONTRACTOR TO HAVE VALID LICENSE TO DO ELECTRICAL WORK
- 6. PROVIDE #5 REBAR ELECTRICAL GROUND TO FOUNDATION STEEL
- 7. PROVIDE AND INSTALL LOCALLY
  CERTIFIED SMOKE DETECTORS AS REQ.
  BY NATIONAL FIRE PROTECTION ASSOC.
  (NFPA) AND MEETING THE REQUIRMENTS
  OF ALL GOVERNING CODES.
- 8. PROVIDE AND INSTALL GROUND FAULT CIRCUIT-INTERUPTERS (GFI) AS REQ. BY NATIONAL ELECTRIC CODE (NEC) AND MEETING THE REQUIRMENTS OF ALL GOVERNING CODES.
- 9. UNLESS OTHERWISE INDICATED, INSTALL SWITCHES & RECEPTICALS AT THE FOLLOWING HEIGHTS A. F. F.:

SWITCHES 42"
OUTLETS 14"
TELEPHONE 14"
TELEVISION 14"

- 10. HVAC VENTS TO BE PLACED ON OUTSIDE WALLS, OR AS REQUIRED BY HVAC CONTRACTOR.
- 11. DO NOT PLACE RECEPTICALS BEHIND DOORS UNLESS NECESSARY.



## **General Notes**

1.) MAIN FLOOR PLATE HEIGHT TO BE 9'-0" UNLESS NOTED OTHERWISE

2.) OPTIONAL BONUS PLATE HEIGHT TO BE 8'-0" UNLESS NOTED OTHERWISE.

3.) INTERIOR & EXTERIOR WALLS TO BE DRAWN @ 3 1/2" UNLESS NOTED OTHERWISE

4.) ALL ANGLES TO BE DRAWN AT  $45^{\circ}$ OR 90° UNLESS NOTED OTHERWISE.

5.) WINDOW HEADER HEIGHT TO BE SET @ 6'-11" UNLESS NOTED OTHERWISE, HEADER SIZE AND MATERIAL TO BE DETERMINED & VERIFIED BY FRAMER, BUILDER, TRUSS SHOF OR BY A LICENSED ENGINEER.

OR BY A LICENSED ENGINEER.
6.) SIZE, LOCATION AND MATERIALS OF BEAMS TRUSSES, GIRDERS AND HEADERS TO BE DETERMINED & VERIFIED BY BUILDER, FRAMER TRUSS SHOP OR LICENSED ENGINEER.
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## SQUARE FOOT KEY

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HEATED & COOLED	3145
COVERED FRONT PORCH	32
GARAGE AREA	414
TOTAL UNDER BEAM AREA	3591
OPTIONAL COVERED REAR PATIO	144

First Floor Electrical



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PLAN INDEX CL 3145

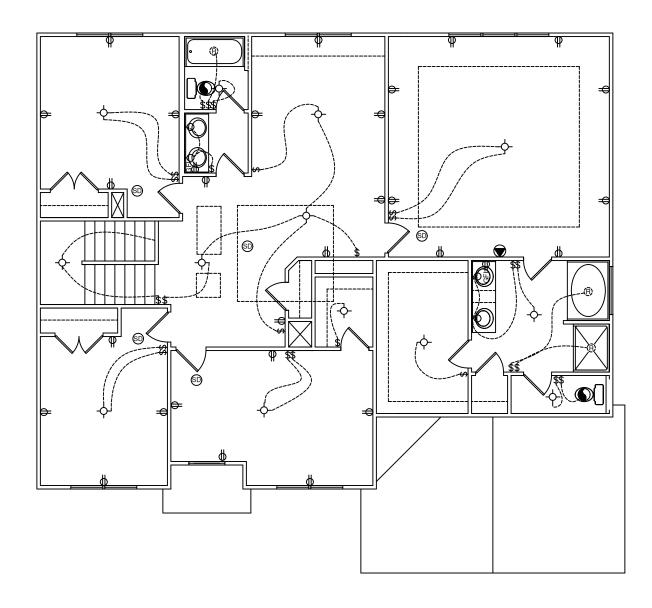
	ELECTRICAL SYMBOLS
•	RECEPTACLE, PHONE
•	RECEPTACLE, CABLE
ŀ	DOOR BELL CHIMES
6	SMOKE DETECTOR (S.D.)
Ф	DUPLEX OUTLET
220\	220 VOLT RECEOTICAL
⊕ GFI	GROUND FAULT INTER. OUTLET
⊕ <sub>N</sub> P	WATER PROOF OUTLET
\$	SINGLE POLE SWITCH
\$ <sub>3</sub>	THREE WAY SWITCH
ф	LIGHT, SURFACE MOUNTED
О	LIGHT, WALL MOUNTED
0	LIGHT, FLUORESCENT BOX
I	LIGHT, TRACK LIGHTING
	FAN, EXHAUST
X	FAN, CEILING FAN W/LIGHT

## **ELECTRICAL NOTES**

- 1. ALL ELECTRICAL TO MEET N.E.C.
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- 5. CONTRACTOR TO HAVE VALID LICENSE TO DO ELECTRICAL WORK
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SWITCHES 42"
OUTLETS 14"
TELEPHONE 14"
TELEVISION 14"

- 10. HVAC VENTS TO BE PLACED ON OUTSIDE WALLS, OR AS REQUIRED BY HVAC CONTRACTOR.
- 11. DO NOT PLACE RECEPTICALS BEHIND DOORS UNLESS NECESSARY.



SECOND FLOOR PLAN

## General Notes

- 1.) MAIN FLOOR PLATE HEIGHT TO BE 9'-0" UNLESS NOTED OTHERWISE.
- 2.) OPTIONAL BONUS PLATE HEIGHT TO BE 8'-0" UNLESS NOTED OTHERWISE.
- 3.) INTERIOR & EXTERIOR WALLS TO BE DRAWN @ 3 1/2" UNLESS NOTED OTHERWISE
- 4.) ALL ANGLES TO BE DRAWN AT 45°
- 4.) ALL ANGLES TO BE DHAWN AT 45'
  OR 90° UNLESS NOTED OTHERWISE.
  5.) WINDOW HEADER HEIGHT TO BE SET ⊚
  6°-11" UNLESS NOTED OTHERWISE. HEADER
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  VERIFIED BY FRAMER, BUILDER, TRUSS SHOP
  OR BY A LICENSED ENGINEER.
- OR BY A LICENSED ENGINEER.
  6.) SIZE, LOCATION AND MATERIALS OF BEAMS TRUSSES, GIRDERS AND HEADERS TO BE DETERMINED & VERIFIED BY BUILDER, FRAMER TRUSS SHOP OR LICENSED ENGINEER.
  7.) FOOTER SIZE, MATERIAL & LOCATIONS TO BE VERIFIED AND DETERMINED BY BUILDER, FOOTER CONTRACTOR OR LICENSED ENGINEER.
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  8.) ROOF VENTELLATION TO BE DETERMINED & VERIFIED BUILDER, ROOFING COTRACTOR OR LICENSED ENGINEER.
- 9.) ALL MECHANICAL SYSTEMS DESIGNS, LOCATIONS AND SIZING TO BE DETERMINED & VERIFIED BY BUILDER, APPROPRIATE TRADE CONTRACTOR AND OR LICENSED ENGINEER. CONTRACTOR AND OR LICENSED ENGINEER.
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#### SQUARE FOOT KEY

	,		
	FIRST FLOOR TO FRAMING	1517	
	SECOND FLOOR TO FRAMING	1628	
	HEATED & COOLED	3145	
	COVERED FRONT PORCH	32	
	GARAGE AREA	414	
	TOTAL UNDER BEAM AREA	3591	
	OPTIONAL COVERED REAR PATIO	144	

## Second Floor



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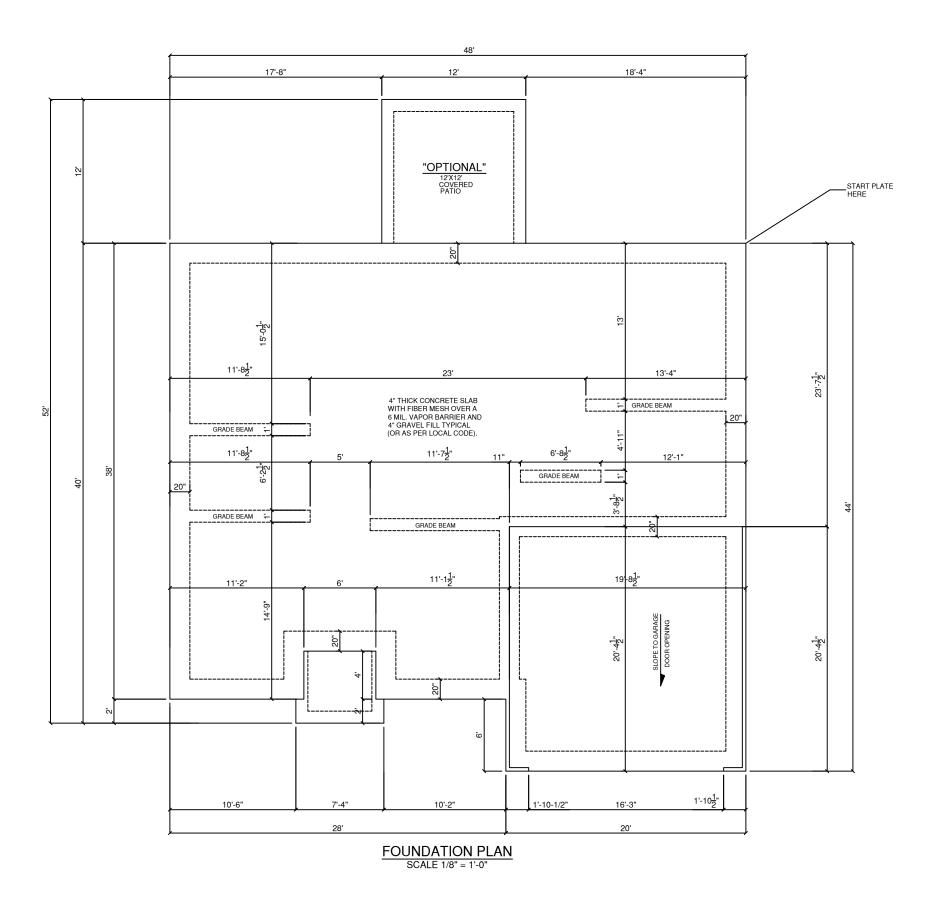
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**PLAN INDEX** 

## ANCHOR BOLT DETAIL



ANCHOR BOLT LOCATIONS -WITHIN 1'0" OF ALL CORNERS -WITHIN 1'0" OF ALL BOARD ENDS -EVERY 6'0" ON CENTER



## General Notes

1.) MAIN FLOOR PLATE HEIGHT TO BE 9'-0" UNLESS NOTED OTHERWISE.

2.) OPTIONAL BONUS PLATE HEIGHT TO BE 8'-0" UNLESS NOTED OTHERWISE.

3.) INTERIOR & EXTERIOR WALLS TO BE DRAWN @ 3 1/2" UNLESS NOTED OTHERWISE

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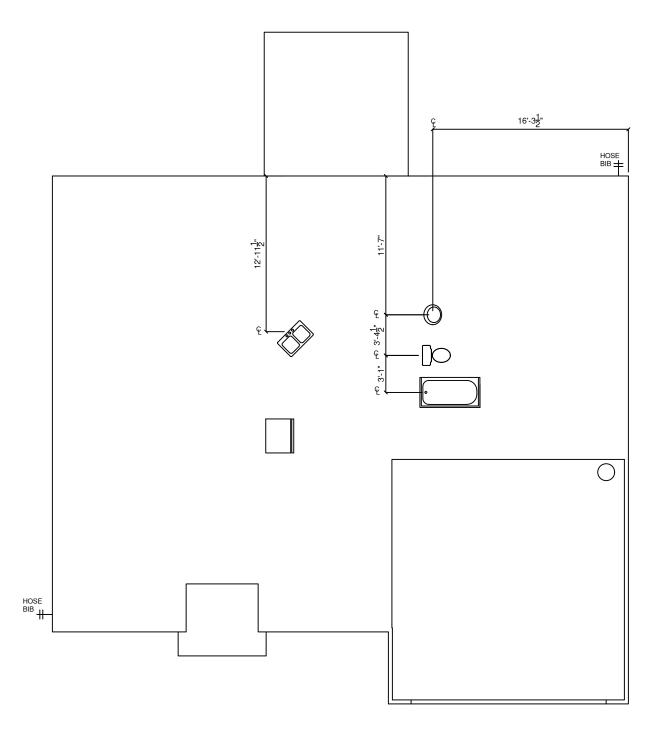
Foundation Plan



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**PLAN INDEX** 



FOUNDATION PLUMBING PLAN SCALE 1/8" = 1'-0"

# General Notes

- 1.) MAIN FLOOR PLATE HEIGHT TO BE 9'-0" UNLESS NOTED OTHERWISE.
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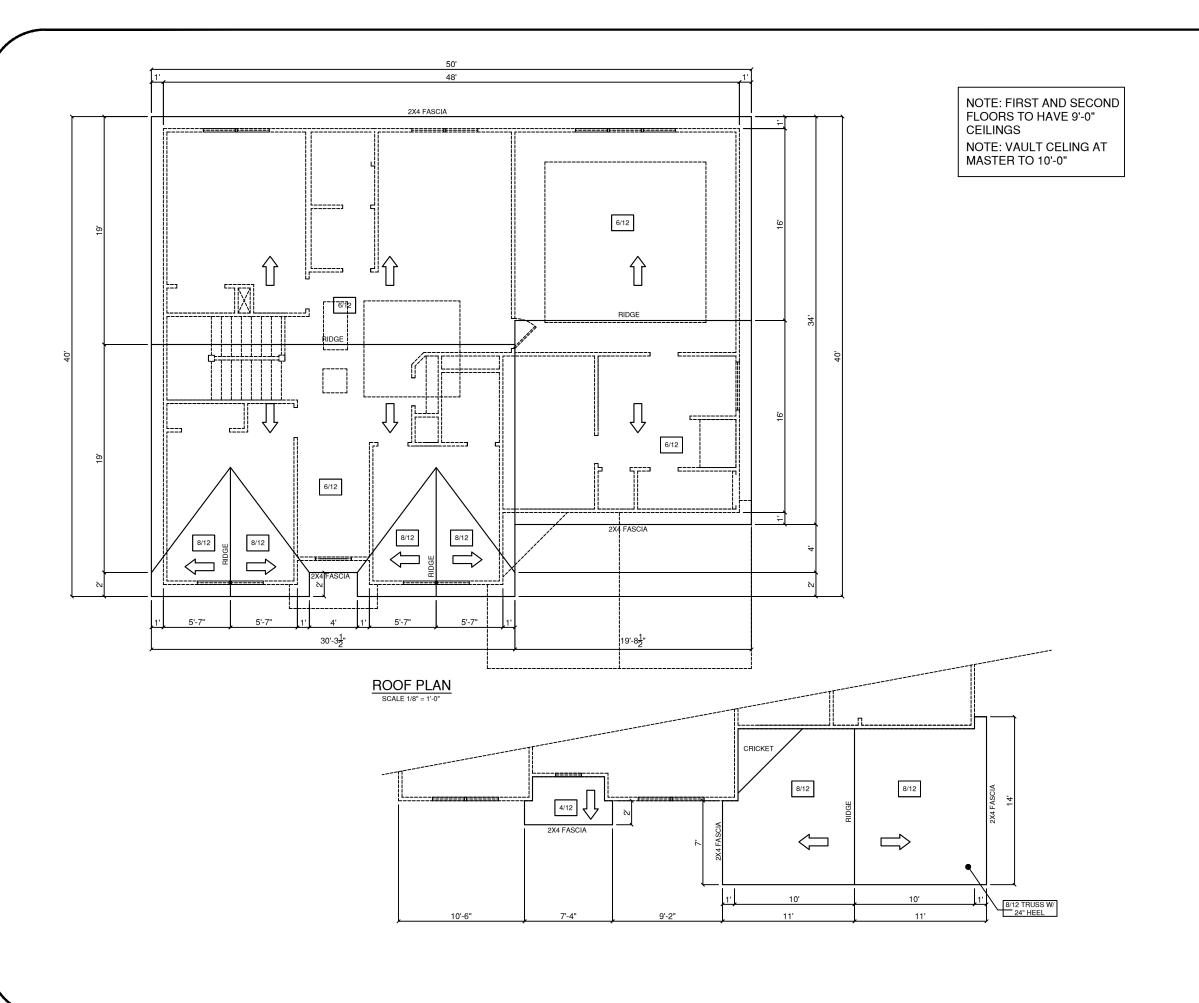
### Foundation Plumbing



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l	LOT:	Х

**PLAN INDEX** 



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Roof Plan



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	CITY:	X
	PHASE:	X
	BLOCK:	Х
	LOT:	Х

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