

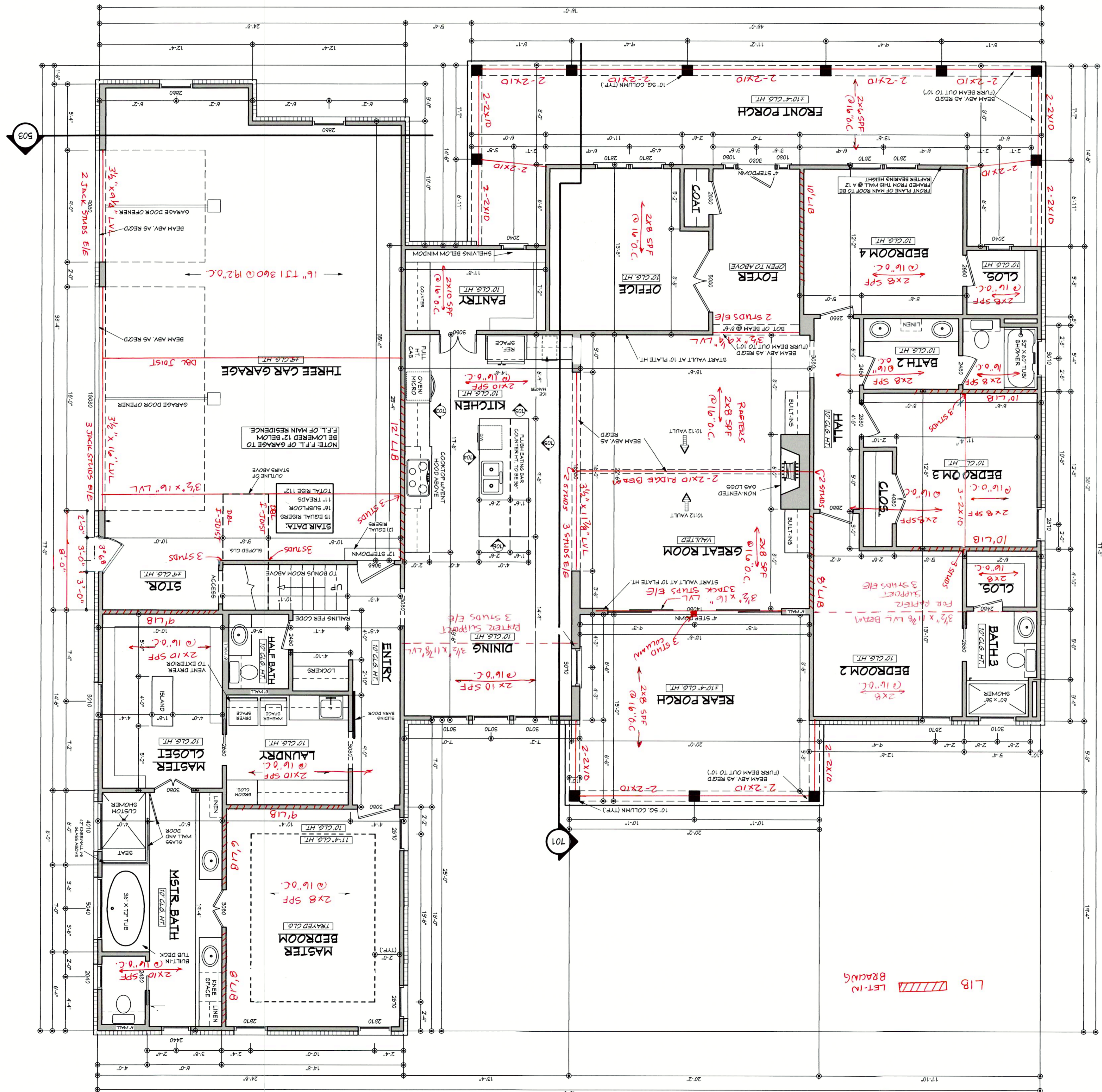
House Plan Zone, LLC has prepared this pre-drawn plan for your information and the convenience of these construction documents. However, due to the great variance in building codes and site specific conditions, House Plan Zone, LLC is not responsible for any damages, including structural failures, resulting from errors, omissions or deficiencies in the design, construction, or installation of your local building codes. In addition to your local building codes, all dimensions to be verified on site prior to construction. If a foundation plan has been included in these plans, it is general in nature and shall be verified by a licensed engineer prior to construction.



N.C.B.D.C.  
1.800.574.1387  
Fax:  
601.336.3254  
Phone:  
Email: sales@hfpzplans.com  
www.HFPzplans.com

Website:  
www.HFPzplans.com  
Email: sales@hfpzplans.com  
Phone: 601.336.3254  
Fax: 1.800.574.1387  
N.C.B.D.C.  
Jonathan L. Boone  
Professional Engineer  
State of North Carolina  
License No. 25-137

House Plan Zone  
Designing Homes  
Building Relationships



**BRACING NOTES**

- 1. BRACED WALLS ARE REQUIRED PER SECTION R602.10.1 2012 IBC RESIDENTIAL CODE.
- 2. THE EXTERIOR WALL STRUCTURE SHALL BE COMPLY WITH SECTION R602.10.1 2012 IBC RESIDENTIAL CODE.
- 3. INTERIOR WALLS WHERE SHOWN SHALL BE BRACED PER INDICATED METHOD IN LABEL "S BRACE" AND LENGTH OF WALL BRACING LABELED IN LINEAR FEET TO THE C-28 STUDS. BRACING SHALL BE COMPLETED IN CONFORMANCE WITH THE BRACING PLAN. THESE STUDS SHALL BE COMPLETED IN CONFORMANCE WITH THE BRACING PLAN.
- 4. SPECIAL BRACING DETAILS ARE ILLUSTRATED IN THE CODE AND ALLOWED WHERE WALLS AS INDICATED IN CODE TABLES.
- 5. BRACING SHALL BE PROVIDED TO REMAIN USING SHOCK CHAINS FROM PLATE TO BRACING PLATE. SPECIAL CONNECTION TO REMAIN USING SHOCK CHAINS FROM PLATE TO BRACING PLATE TO REMAIN USING SHOCK CHAINS FROM PLATE TO BRACING PLATE.
- 6. BRACING SHALL BE PROVIDED AS INDICATED IN CODE SECTION.
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- 9. BRACING SHALL BE PROVIDED AS INDICATED IN CODE SECTION.
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**FRAMING NOTES**

- 1. THE PLAN EXCEPT IN ACCORDANCE WITH NC RESIDENTIAL CODE, 2012.
- 2. ALL DIMENSIONS SHOWN ON THESE DRAWINGS DO NOT EXCEED 15% OF THE GROSS AREA OF THE EXTERIOR WALLS. THE STRUCTURE MEETS THE REQUIREMENTS OF 1101.2.1, RESIDENTIAL BUILDING, TABLE R-1.
- 3. WALL BRACING IS REQUIRED FOR A 2x11 OR GREATER.
- 4. ALL WALL, FLOOR AND CEILING SHALL BE INSULATED IN ACCORDANCE WITH CODE REQUIREMENTS.
- 5. ROOF SHOWN.
- 6. ROOF SHOWN.
- 7. ROOF SHOWN.
- 8. ROOF SHOWN.
- 9. ROOF SHOWN.
- 10. ROOF SHOWN.

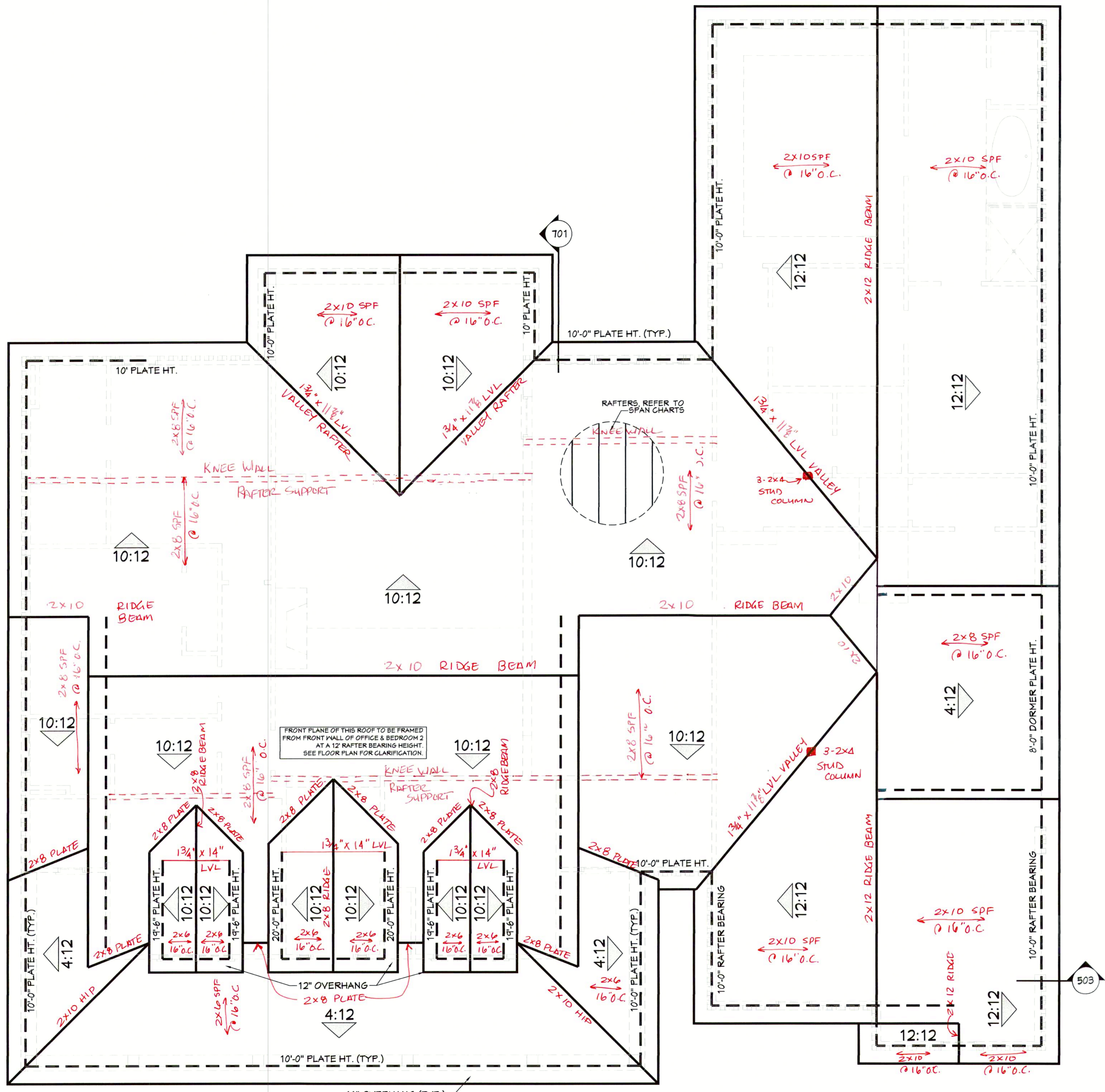


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- GENERAL ROOF NOTES:**
- THIS PLAN DESIGNED IN ACCORDANCE WITH NC RESIDENTIAL CODE, 2012 EDITION.
  - ROOF CLADDING DESIGN VALUES (POSITIVE/NEGATIVE) SHALL BE AS FOLLOWS:  
 45.5 L/SF FOR ROOF PITCHES FROM 0/12 TO 2.25/12  
 34.3 L/SF FOR ROOF PITCHES FROM 2.25/12 TO 7/12  
 21 L/SF FOR ROOF PITCHES FROM 7/12 TO 12/12
  - ALL ROOFING ELEMENTS SHALL MEET THE REQUIREMENTS OF CHAPTER 8 OF THE CODE.
  - ALL LAMBER SHALL BE #2 SPF OR BETTER. RAFTERS MAY BE FINISH JOINTED PER NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION, AND MUST HAVE THE STRUCTURAL CERTIFICATION STAMPED ON THE MEMBER.
  - RAFTER SIZES, SPANS AND SPACING SHALL NOT EXCEED THE FOLLOWING:  
 SIZE: 2x8, 2x10, 2x12  
 SPACING: 12" O.C., 14"-9", 19"-6", 22"-0"  
 15"-0", 17"-9", 17"-9", 22"-0"
  - ALL RAFTERS TO BE 2x8 @ 16" O.C. @ 16" O.C. UNLESS NOTED OTHERWISE.
  - 2-2x10 HPS MAY BE SPICED WITH A MIN. 6'-0" OVERLAP.
  - PROVIDE DOUBLE RAFTER EACH SIDE OF DORMERS WITH DOUBLE HEADER.
  - ATTACH VALUED RAFTERS WITH HURDOWNE CLIP SIMPSON 74-5" OR EQUIVALENT. PROVIDE DOUBLE OPPOSING RAFTERS WHERE NOTED.
  - 2x8 RAFTERS @ CATHEDRAL OR VAULTED CEILING TO BE FURRED DOWN 2" OR USE 2x10 RAFTERS FOR INSULATION PER CODE.
  - PROVIDE 2x4 COLLAR TIES EVERY SECOND RAFTER (TYPICAL)
  - PROVIDE 2x4 RAFTER TIES @ 32" O.C. (TYPICAL)
  - FRAME RAFTERS ON 2x4 PLATE ON TOP OF CEILING JOISTS UNLESS NOTED OTHERWISE.
  - SHINGLES ASSUMED TO BE 240 LB. FIBERGLASS, OR EQUAL. MINIMUM ROOF PITCH TO BE AS INDICATED ON ARCHITECTURAL PLAN SHEETS.
  - PROVIDE DOUBLE LAYER OF ROOF FELT WHERE ROOF PITCH IS LESS THAN 4/12.
  - THESE DESIGN DRAWINGS WERE PRODUCED BY HOWERTON CONSULTING ENGINEERING, INC. ASSUMES NO LIABILITY FOR THE CORRECTNESS OF ARCHITECTURAL FEATURES, DIMENSIONS OR NOTATIONS.
  - ALL HIP RIDGES AND VALLEYS SHALL BE DOUBLE 2x10 UNLESS NOTED OTHERWISE.
  - CONTRACTOR IS RESPONSIBLE FOR REVIEWING DRAWINGS FOR CONSTRUCTABILITY PRIOR TO BEGINNING CONSTRUCTION.
  - VALLEY RAFTERS WITH SPANS LONGER THAN 15' SHALL BE LVL SUPPORTED AS NOTED. PROVIDE TEMPORARY STIFF KNEE SUPPORT UNTIL ALL SHEATHING AND RAFTER TIES/COLLARS ARE INSTALLED.
  - DO NOT SCALE THESE DRAWINGS. IF DISCREPANCIES ARE NOTED, CONTACT THE ENGINEER.
  - DESIGN BASIS PROVIDED BY ARCHITECT AND ARCHITECT IS RESPONSIBLE FOR ALL ARCHITECTURAL FEATURES, DIMENSIONS, COMPLIANCE WITH ALL ACCESS/EGRESS REQUIREMENTS, FIRE CODE AND LIFE SAFETY DESIGN ISSUES.

● 35C-(3) 2x4 STUD BEARING COLUMN WHERE INDICATED.

STRUCTURAL EVALUATION BY:  
**HOWERTON SERVICES, PLLC**  
 2108 KARNS PLACE, RALEIGH, NC 27614  
 LICENSE # P-1716

\* ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS ON THIS DOCUMENT. SEAL DOES NOT INCLUDE CONSTRUCTION REVIEW, MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES OR SAFETY PRECAUTIONS.  
 \* ANY DEVIATIONS OR DISCREPANCIES ON PLANS ARE TO BE BROUGHT TO IMMEDIATE ATTENTION OF THE ENGINEER. FAILURE TO DO SO WILL VOID ENGINEER'S LIABILITY.  
 \* DO NOT SCALE THESE DRAWINGS - ENGINEERING APPROVAL EXPIRES 01/01/2020

**ROOFING NOTES**

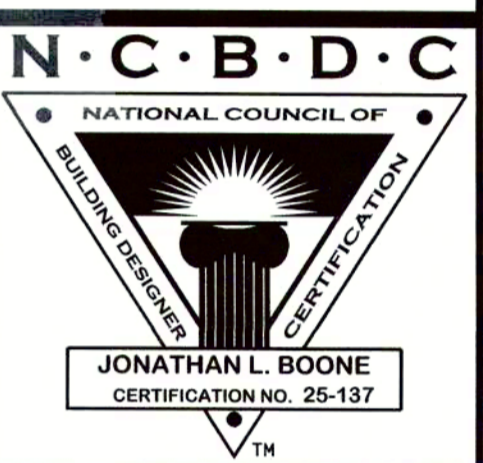


*Jonathan L. Boone*

02.13.2019

**801 ROOF PLAN**  
 SCALE: 1/4" = 1'-0"

Website:  
[www.HPZplans.com](http://www.HPZplans.com)  
 Email:  
[sales@hpzplans.com](mailto:sales@hpzplans.com)  
 Phone:  
 601.336.3254  
 Fax:  
 1.800.574.1387



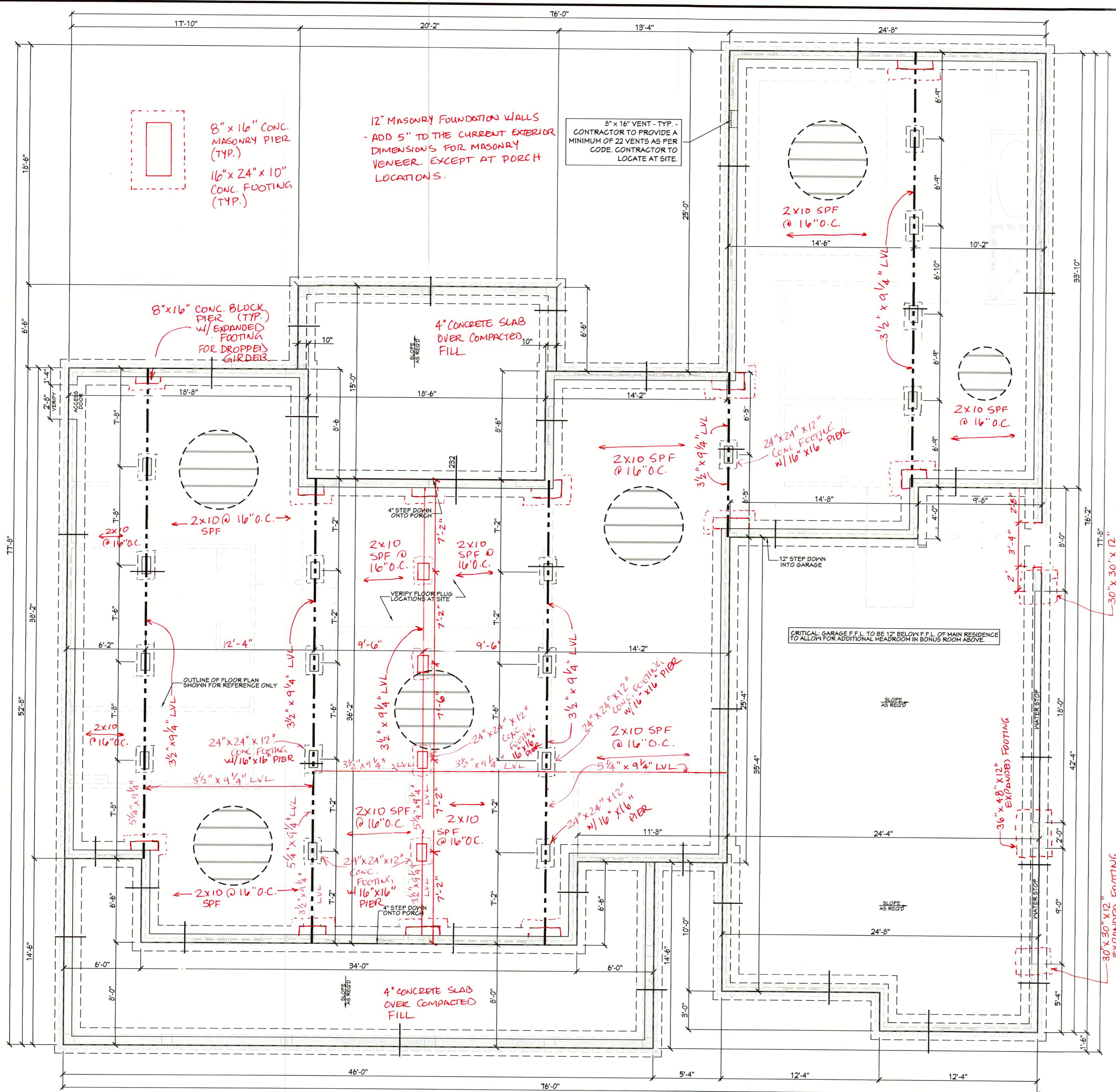
Pre-Drawn Plan ID:  
**BB-2926R**

Date:  
 07.25.18  
 Drawn By:  
 J.A.B.

SHEET NUMBER  
**8**

House Plan Zone, LLC has exercised great care and effort in the development of these plans and the completion of these construction documents. However, the user assumes full responsibility for the construction of the project. House Plan Zone, LLC, highly recommends that these plans be reviewed by a licensed structural engineer in the area of construction. Other special conditions required by local building codes. All dimensions to be verified on site prior to construction. If a foundation plan has been included in these plans, it is general in nature and shall be verified by a licensed engineer prior to construction.





- GENERAL FOUNDATION NOTES:**
1. THIS PLAN DESIGNED IN ACCORDANCE WITH NC RESIDENTIAL CODE, 2012 EDITION.
  2. EXTERIOR WALL FOOTING TO BE 24" x 12" 3000 PSI STRUCTURAL CONCRETE UNLESS OTHERWISE NOTED. CONCRETE TO BE PREPARED AND PLACED IN ACCORDANCE WITH AC 318. FOR FOUNDATION WALL HEIGHT, THICKNESS AND BARREL REQUIREMENTS, REFER TO STATE AND LOCAL BUILDING CODES. NOTE: ASSUMED SOIL BEARING CAPACITY=2000 PSF. CONTRACTOR MUST VERIFY SITE CONDITIONS AND CONTACT SOIL ENGINEER IF HAZARDOUS OR UNUSUAL SOILS ARE ENCOUNTERED.
  3. FOOTINGS TO BEAR ON UNDISTURBED EARTH A MIN. OF 12" BELOW ADJACENT FINISH GRADE OR AS OTHERWISE DIRECTED BY LOCAL INSPECTOR.
  4. FOUNDATION DRAINAGE SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE CODE, "FOUNDATION DRAINAGE".
  5. THE FOUNDATION SHALL BE TREATED IN ACCORDANCE W/SECTION 906 OF THE CODE, "FOUNDATION WATERPROOFING AND DAMPROOFING".
  6. THIS FOUNDATION DESIGN IS VALID FOR 100 MPH WIND ZONES ONLY.
  7. FOUNDATION WALLS SHALL BE 12" IN WIDTH WHERE SUPPORTING FRAMING WITH BRICK VENEER.

STRUCTURAL EVALUATION BY:  
**HOWERTON SERVICES, PLLC**  
 3108 KANSAS PLACE, RALEIGH, NC 27614  
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INDICATES POINT LOAD ABOVE WHERE SHOWN ON PLANS

**FOUNDATION NOTES**

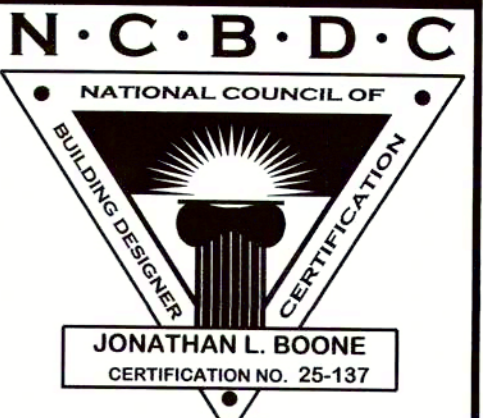
CRITICAL: GARAGE F.F.L. TO BE 12" BELOW F.F.L. OF MAIN RESIDENCE TO ALLOW FOR ADDITIONAL HEADROOM IN BONUS ROOM ABOVE.

PROFESSIONAL SEAL  
 JONATHAN L. BOONE  
 022966  
 02 13 2019

**201 FOUNDATION PLAN**  
 SCALE 1/4" = 1'-0"

Designing Homes  
**HOUSE PLAN ZONE**  
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Website:  
[www.HPZplans.com](http://www.HPZplans.com)  
 Email:  
[sales@hpzplans.com](mailto:sales@hpzplans.com)  
 Phone:  
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Pre-Drawn Plan ID:  
**BB-2926R**

House Plan Zone, LLC has prepared these plans and affirms the development of these plans and the completion of these construction documents, however, due to the great distance to the project site, the architect or engineer is not responsible for any damages, including structural failures resulting from errors, omissions or deficiencies in the design. In addition to your local building officials prior to construction. Additional approval by a licensed structural engineer in the area of construction, other special conditions required by local building codes. All dimensions to be verified on site prior to construction. If a foundation plan has been included in these plans, it is general in nature and shall be verified by a licensed engineer prior to construction.

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**2**