

ABBREVIATIONS

ABV	ABOVE	L	LEIGH
AC	AIR CONDITIONING	LA	LAVATORY
AD	AREA DRAIN	LAV	LAVATORY
ADJ	ADJUSTABLE	LVR	LOWER
ALT	ALTERNATE	HAX	HANDHELD
ALUM	ALUMINUM	MECH	MECHANICAL
ARCH	ARCHITECTURAL	MFR	MANUFACTURER
BA	BATHROOM	MSM	MISCELLANEOUS
BD	BOARD	N	NORTH
BF	BI-FOLD (DOOR)	N.T.S.	NOT TO SCALE
BLDG	BUILDING	O.S.D.	OVERHEAD GARAGE DOOR
BLK	BLOCK (WALL)	OH	OVERHEAD
BLH	BELOW	OPT	OPTIONAL
BN	BEAM	PAR	PARALLEL
BP	BI-PASS (DOOR)	P.B.	PUSH BUTTON
BOT	BOTTOM	PKR	POKER
BTWN	BETWEEN	PE	PEDESTAL
CAB	CABINET	PL	PLATE
CER	CERAMIC	PR	PAIR
C.J.	CONTROL JOINT OR CONSTRUCTION JOINT	P.T.	PRESSURE TREATED
CL	CLOSET OR CENTER LINE	PVC	POLYVINYL CHLORIDE PIPE
CLD	CLEAR	PVMT	PAVEMENT
CLR	CLEAR	PH	PRE-HIRE
CMU	CONCRETE MASONRY UNIT	PLT	PLUMBING
COL	COLUMN	R	RISER
CONC	CONCRETE	RAD	RETURN AIR GRILL
C	CARPET	REF	REFERENCE
CR	CORROSION RESISTANT	REFR	REFRIGERATOR
CSHT	CASHEM	REG	REQUIRED
C.T.	CERAMIC TILE	S	SOUTH
D	DRYER	SD	SMOKE DETECTOR
DR	DOUBLE	S.F.	SQUARE FEET
DN	DOWN	S.G.D.	SLIDING GLASS DOOR
DN	DOWN	SH	SINGLE HING OR SHELF
DN	DOWN	SH	SHELF
DR	DOOR	SL	SLOPE / SLOPING
DS	DOWNSPOUT	SH & P	SHELF AND POLE
DN	DISH WASHER	SPEC	SPECIFICATIONS
DWG	DRAWING	STD	STANDARD
E	EAST	STR	STRUCTURAL
EA	EACH	SQ	SQUARE
ELEV	ELEVATION	STR	STRUCTURE
ELEC	ELECTRICAL	S4S	SMOOTH FOUR SIDES
EQ	EQUAL	T	TREAD (AT STAIRS) OR TILE
EXT	EXTERIOR	T.B.	TONEL BAR
FAU	FORCED AIR UNIT	TEMP.	TEMPERED (GLASS)
F.C.	FLOOR CHANGE	T10	TONNE & GROOVE
F.D.	FLOOR DRAIN	T.G.C.	TOP OF GIRD
F.F.	FINISH FLOOR LINE	TV	TELEVISION
F.G.	FINISHED GRADE	TY	TYPICAL
F.L.	FLOORING	UNID.	UNLESS NOTED OTHERWISE
FL	FLOURESCENT (LIGHT)	V.B.	VAPOR BARRIER
FND	FOUNDATION	VERT	VERTICAL
F.P.S.	FACE OF STUD	V.I.R.	VENT INTO ROOF
FIG	FOOTING	W	WASHING MACHINE
FX	FIXED GLASS	W	WATER HEATER
GALV	GALVANIZED	W	WATER HEATER
GAR	GARAGE	W	WATER HEATER
GB	GIPSUM BOARD	W	WATER HEATER
GD	GRADE OR GRADING	W	WATER HEATER
G.D.O.	GARAGE DOOR OPERATOR	W	WATER HEATER
GFI	GROUND FAULT INTERRUPTER	W	WATER HEATER
GL	GLASS OR GLAZING	W	WATER HEATER
GYP	GIPSUM BOARD	W	WATER HEATER
H	HOSE BIBB	W	WATER HEATER
HD	HEAD OR HARD	W	WATER HEATER
HDR	HEADER	W	WATER HEATER
HST	HEIGHT	W	WATER HEATER
HVAC	HEATING/VENTILATING/AC COND.	W	WATER HEATER
HWD	HANDWOOD	W	WATER HEATER
INT	INTERIOR	W	WATER HEATER
J	JOIST	W	WATER HEATER
JT	JOINT	W	WATER HEATER
KIT	KITCHEN	W	WATER HEATER

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BUILDING CODE COMPLIANCE / PROJECT INFORMATION 2012 NC

ALL CONSTRUCTION TO COMPLY WITH LOCAL CODES AND ORDINANCES CURRENTLY IN USE WITH THE LOCAL JURISDICTION.

APPLICABLE CODES:
FOLLOW ALL APPLICABLE STATE AND LOCAL CODES.
2012 NORTH CAROLINA STATE SUPPLEMENTS AND AMENDMENTS

CONTRACTOR AND BUILDER SHALL REVIEW ENTIRE PLAN TO VERIFY CONFORMANCE WITH ALL CURRENT APPLICABLE CODES IN EFFECT AT TIME OF CONSTRUCTION. BY USING THESE DRAWINGS FOR CONSTRUCTION IT IS UNDERSTOOD THAT CONFORMANCE WITH ALL APPLICABLE CODES IS THE RESPONSIBILITY OF THE BUILDER AND CONTRACTOR.

REFER TO STRUCTURAL PLANS FOR INFO NOT CALLED OUT HERE.

PRODUCT:	SINGLE FAMILY RESIDENCE
OCCUPANCY CLASSIFICATION:	RESIDENTIAL R-3
CONSTRUCTION TYPE:	TYPE VB

ALL CONSULTANT DRAWINGS ACCOMPANYING THESE ARCHITECTURAL DRAWINGS HAVE NOT BEEN PREPARED BY OR UNDER THE DIRECTION OF GMD DESIGN GROUP, INC. GMD DESIGN GROUP, INC. THEREFORE ASSUMES NO LIABILITY FOR THE COMPLETENESS OR CORRECTNESS OF THESE DRAWINGS.

50' PLANS
NORTH CAROLINA

DOGWOOD - LH

PLAN CHANGES:

DATE:	DESCRIPTION:
05/31/16	FIRST SUBMITTAL
10/04/16	- 3RD GAR GARAGE OPTION ADDED - FRAMING WALK COMMENTS FROM HICKORY PLAN CARRIED THROUGH THIS PLAN SET
01/26/17	FRAME WALK CHANGES
02/22/17	SOUTH CAROLINA AND NORTH CAROLINA SETS
04/14/17	ADDITIONAL BUILDER REVISIONS

CONSULTANTS:

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GENERAL NOTES DESIGNER:

THESE DOCUMENTS ARE THE PROPERTY OF THE DESIGNER AND SHALL NOT BE COPIED, DUPLICATED, ALTERED, MODIFIED OR REVISION IN ANY WAY WITHOUT THE EXPRESSED WRITTEN APPROVAL OF THE DESIGNER.
CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE SITE AND ALL INCONSISTENCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DEVELOPER AND THE DESIGNER BEFORE PROCEEDING WITH WORK.
ANY ERRORS OR OMISSIONS FOUND IN THESE DRAWINGS SHALL BE BROUGHT TO DEVELOPERS AND DESIGNERS ATTENTION IMMEDIATELY.
DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
ALL DIMENSIONS ARE TO FACE OF STUD OR TO FACE OF FRAMING UNLESS OTHERWISE NOTED.
ALL TRUSS DRAWINGS TO BE REVIEWED AND APPROVED BY THE STRUCTURAL ENGINEER PRIOR TO ISSUANCE OF BUILDING PERMIT.
ALL OR EQUAL SUBSTITUTIONS MUST BE SUBMITTED TO AND APPROVED BY CITY BUILDING OFFICIAL PRIOR TO INSTALLATION.
ALL ANGLED PARTITIONS ARE 45 DEGREES UNLESS OTHERWISE NOTED.
PROVIDE FIREBLOCKING. (PER LOCAL CODE)
ALL ELECTRICAL AND MECHANICAL EQUIPMENT AND METERS ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS, CONTRACTOR TO VERIFY.

PROVIDE BLOCKING AND/OR BACKING AT ALL TONEL BAR, TONEL RING AND/OR TOILET PAPER HOLDER LOCATIONS, AS SHOWN PER PLAN, TYPICAL AT ALL BATHROOMS AND POWDER ROOMS. VERIFY LOCATIONS AT FRAMING WALK.
ELASTOMERIC SHEET WATERPROOFING: FURNISH AND INSTALL ALL WATERPROOFING COMPLETE. A 40 MIL, SELF-ADHERING MEMBRANE OF RUBBERIZED ASPHALT INTEGRALLY BONDED TO POLYETHYLENE SHEETINGS, OR EQUAL, INSTALL PER MANUFACTURER'S AND TRADE ASSOCIATION'S PRINTED INSTALLATION INSTRUCTIONS. 6" MINIMUM LAP AT ALL ADJACENT WALL SURFACES.
TO THE BEST OF THE DESIGNER'S KNOWLEDGE THESE DOCUMENTS ARE IN CONFORMANCE WITH THE REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY.
SHOP DRAWINGS REVIEW AND DISTRIBUTION, ALONG WITH PRODUCT SUBMITTALS, REQUESTED IN THE CONSTRUCTION DOCUMENTS, SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR, UNLESS DIRECTED OTHERWISE UNDER A SEPARATE AGREEMENT.
DEVIATIONS FROM THESE DOCUMENTS IN THE CONSTRUCTION PHASE SHALL BE REVIEWED BY THE DESIGNER AND THE OWNER PRIOR TO THE START OF WORK IN QUESTION. ANY DEVIATIONS FROM THESE DOCUMENTS WITHOUT PRIOR REVIEW, SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS REPRESENTED ON THESE DOCUMENTS INCLUDING THE WORK AND MATERIALS FURNISHED BY SUBCONTRACTORS AND VENDORS.

THE BUILDER SHALL FURNISH ANY AND ALL REPORTS RECEIVED FROM THE GEOTECHNICAL ENGINEER (SOILS REPORT), ON THE STUDY OF THE PROPOSED SITE, TO THE DESIGNER, STRUCTURAL ENGINEER, AND GENERAL CONTRACTOR. IN THE EVENT THE GEOTECHNICAL REPORTS DO NOT EXIST, THE SOILS CONDITION SHALL BE ASSUMED TO BE A MINIMUM DESIGN SOIL. PRESSURE STATED BY THE STRUCTURAL ENGINEER OF RECORD FOR THE PURPOSE OF STRUCTURAL DESIGN. GENERAL CONTRACTOR SHALL ASSURE THE SOIL CONDITIONS MEET OR EXCEED THE CRITERIA.
ALL WORK PERFORMED BY THE GENERAL CONTRACTOR SHALL COMPLY AND CONFORM WITH LOCAL AND STATE BUILDING CODES, ORDINANCES AND REGULATIONS, ALONG WITH ALL OTHER AUTHORITIES HAVING JURISDICTION. THE GENERAL CONTRACTOR IS RESPONSIBLE TO BE AWARE OF THESE REQUIREMENTS AND GOVERNING REGULATIONS.
MINIMUM SUPPLIER TO VERIFY AT LEAST ONE HINDON IN ALL BEDROOMS TO HAVE A CLEAR EGRESS OPENING OF 31 5/8 FT WITH MIN. DIMENSION OF 24" IN HEIGHT AND 20" IN WIDTH, STILL HEIGHT NOT GREATER THAN 44" ABOVE FLOOR. (PER LOCAL CODE)
ALL HANDRAIL BALLUSTERS TO BE SPACED SUCH THAT A 4" SPHERE CANNOT PASS BETWEEN BALLUSTERS. (PER LOCAL CODE)
PROVIDE STAIR HANDRAILS AND GUARDRAILS PER PER LOCAL CODE

BUILDER SET:

THE SCOPE OF THIS SET OF PLANS IS TO PROVIDE A 'BUILDER'S SET' OF CONSTRUCTION DOCUMENTS AND GENERAL NOTES HERINAFTER REFERRED TO AS 'PLANS'. THIS SET OF PLANS IS SUFFICIENT TO OBTAIN A BUILDING PERMIT; HOWEVER, ALL MATERIALS AND METHODS OF CONSTRUCTION NECESSARY TO COMPLETE THE PROJECT ARE NOT NECESSARILY DESCRIBED. THE PLANS DELINEATE AND DESCRIBE ONLY LOCATIONS, DIMENSIONS, TYPES OF MATERIALS, AND GENERAL METHODS OF ASSEMBLING OR FASTENING. THEY ARE NOT INTENDED TO SPECIFY PARTICULAR PRODUCTS OR OTHER METHODS OF ANY SPECIFIC MATERIALS, PRODUCT OR METHOD. THE IMPLEMENTATION OF THE PLANS REQUIRES A CLIENT / CONTRACTOR THOROUGHLY KNOWLEDGEABLE WITH THE APPLICABLE BUILDING CODES AND METHODS OF CONSTRUCTION SPECIFIC TO THIS PRODUCT TYPE AND TYPE OF CONSTRUCTION.
CONSTRUCTION REQUIREMENTS AND QUALITY: PROVIDE WORK OF THE SPECIFIC QUALITY, WHERE QUALITY LEVEL IS NOT INDICATED, PROVIDE WORK OF QUALITY CUSTOMARY IN SIMILAR TYPES OF WORK. WHERE THE PLANS AND SPECIFICATIONS, CODES, LAWS, REGULATIONS, MANUFACTURER'S RECOMMENDATIONS OR INDUSTRY STANDARDS REQUIRE WORK OF HIGHER QUALITY OR PERFORMANCE, PROVIDE WORK COMPLYING WITH THOSE REQUIREMENTS AND QUALITY, WHERE TWO OR MORE QUALITY PROVISIONS OF THOSE REQUIREMENTS CONFLICT WITH THE MOST STRINGENT REQUIREMENT; WHERE REQUIREMENTS ARE DIFFERENT BUT APPARENTLY EQUAL, AND WHERE IT IS UNCERTAIN WHICH REQUIREMENT IS MOST STRINGENT, OBTAIN CLARIFICATION FROM THE GMD DESIGN GROUP BEFORE PROCEEDING.

AREA CALCULATIONS:

DOGWOOD SQUARE FOOTAGES			
AREA	ELEV 'A'	ELEV 'B'	ELEV 'C'
1st FLOOR	1333 SF	1333 SF	1333 SF
2nd FLOOR	1667 SF	1675 SF	1686 SF
TOTAL LIVING	3000 SF	3008 SF	3019 SF
GARAGE	508 SF	508 SF	508 SF
PORCH	103 SF	123 SF	100 SF
OPT. COVERED PATIO	113 SF	113 SF	113 SF
OPT. EXT. COV. PATIO	143 SF	143 SF	143 SF
OPT. COVERED DECK	113 SF	113 SF	113 SF
OPT. EXPANDED HIC	113 SF	113 SF	113 SF
OPT. BED 6 / BATH 4	64 SF	64 SF	64 SF
OPT. 3-CAR GARAGE	240 SF	240 SF	240 SF



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NO.	DATE	REVISION
1	05/31/16	FIRST SUBMITTAL
2	10/04/16	3RD GAR GARAGE OPTION ADDED
3	01/26/17	FRAME WALK CHANGES
4	02/22/17	SOUTH CAROLINA AND NORTH CAROLINA SETS
5	04/14/17	ADDITIONAL BUILDER REVISIONS

PROFESSIONAL SEAL:

PROJECT TITLE:
50' Plans

MLP000636
Field Marked
ISSUED FOR/PERMIT CONSTRUCTION

CLIENTS NAME:



PROJECT NO: GMD-GAI6014

SHEET TITLE:
TITLE SHEET

PRINT DATE:
May 31, 2016

SHEET NO:
T-1

NOTES:

- GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.
- WINDOW HEAD HEIGHTS:
1ST FLOOR = 6'-10" UNO. ON ELEVATIONS.
2ND FLOOR = 6'-10" UNO. ON ELEVATIONS.
- ROOFING: PITCHED SHINGLES PER DEVELOPER.
- WINDOWS: MANUFACTURER PER DEVELOPER. DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS
- ENTRY DOOR: AS SELECTED BY DEVELOPER.
- GARAGE DOORS: AS SELECTED BY DEVELOPER, RAISED PANEL AS SHOWN.
- CHIMNEY AS OCCURS. TOP OF CHIMNEYS TO BE A MINIMUM OF 24" ABOVE ANY ROOF WITHIN 10'-0" OF CHIMNEY.
- ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- PROTECTION AGAINST DECAY:
(ALL PORTIONS OF A PORCH, SCREEN PORCH OR DECK FROM THE BOTTOM OF THE HEADER DOWN, INCLUDING POST, RAILS, PICKETS, STEPS AND FLOOR STRUCTURE.)

KEY NOTES:

MASONRY:

- ADHERED STONE VENEER AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
- MASONRY FULL BRICK AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
- MASONRY FULL STONE AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
- 8" SOLDIER COURSE.
- ROYALOCK COURSE
- DECORATIVE KEY. SEE DETAIL.

TYPICALS:

- CORROSION RESISTANT SCREEN LOWERED VENTS, SIZE AS NOTED.
- CODE APPROVED TERMINATION CHIMNEY CAP.
- CORROSION RESISTANT ROOF TO WALL FLASHING, CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS.

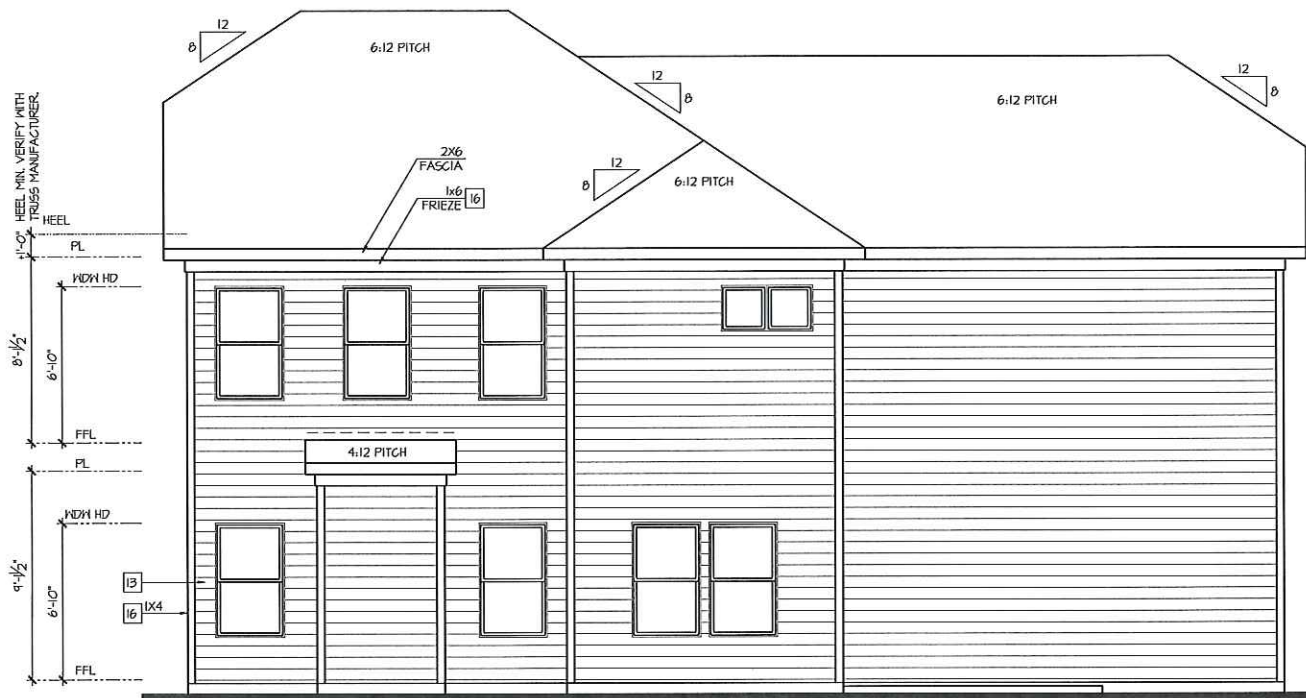
ROOFING:

- STANDING SEAM METAL ROOF, INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- DECORATIVE BROUGHT IRON. SEE DETAILS.

SIDING:

- VINYL OR FIBER CEMENT SHAKE SIDING PER DEVELOPER
- VINYL OR FIBER CEMENT LAP SIDING PER DEVELOPER
- VINYL OR FIBER CEMENT WAVY SIDING PER DEVELOPER
- VINYL OR FIBER CEMENT PANEL SIDING W/ IX3 BATTS AT 12" O.G.
- VINYL OR IX FIBER CEMENT TRIM OR EQUAL, UNO. SIZE AS NOTED
- VINYL SHUTTERS OR PER BUILDER, TYPE AS SHOWN. SIZE AS NOTED.

ALL WINDOWS WHOSE OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND WHOSE OPENING IS GREATER THAN 12" ABOVE THE OUTSIDE WALKING SURFACE MUST HAVE WINDOW OPENING LIMITING DEVICES COMPLYING WITH THE LOCAL CODES



Rear Elevation 'B'

SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X11" LAYOUT



ATLANTA, GEORGIA LOCATION:
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1	05.31.16	FIRST SUBMITTAL
2	10.04.16	3RD CAR GARAGE OPTION ADDED
3	01.26.17	FRAME WALK CHANGES
4	02.22.17	SOUTH CAROLINA NORTH CAROLINA SETS
5	04.14.17	ADDITIONAL BUILDER REVISIONS

PROFESSIONAL SEAL:

PROJECT TITLE:
50' Plans

ISSUED FOR/PERMIT CONSTRUCTION

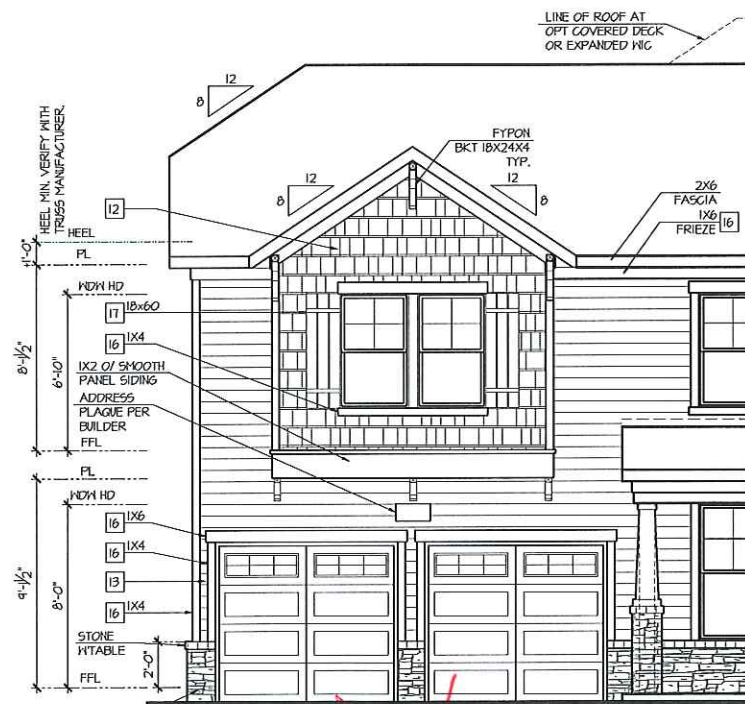


PROJECT NO: GMD-GAI6014

SHEET TITLE:
DOGWOOD - LH EXTERIOR ELEVATIONS 'B'

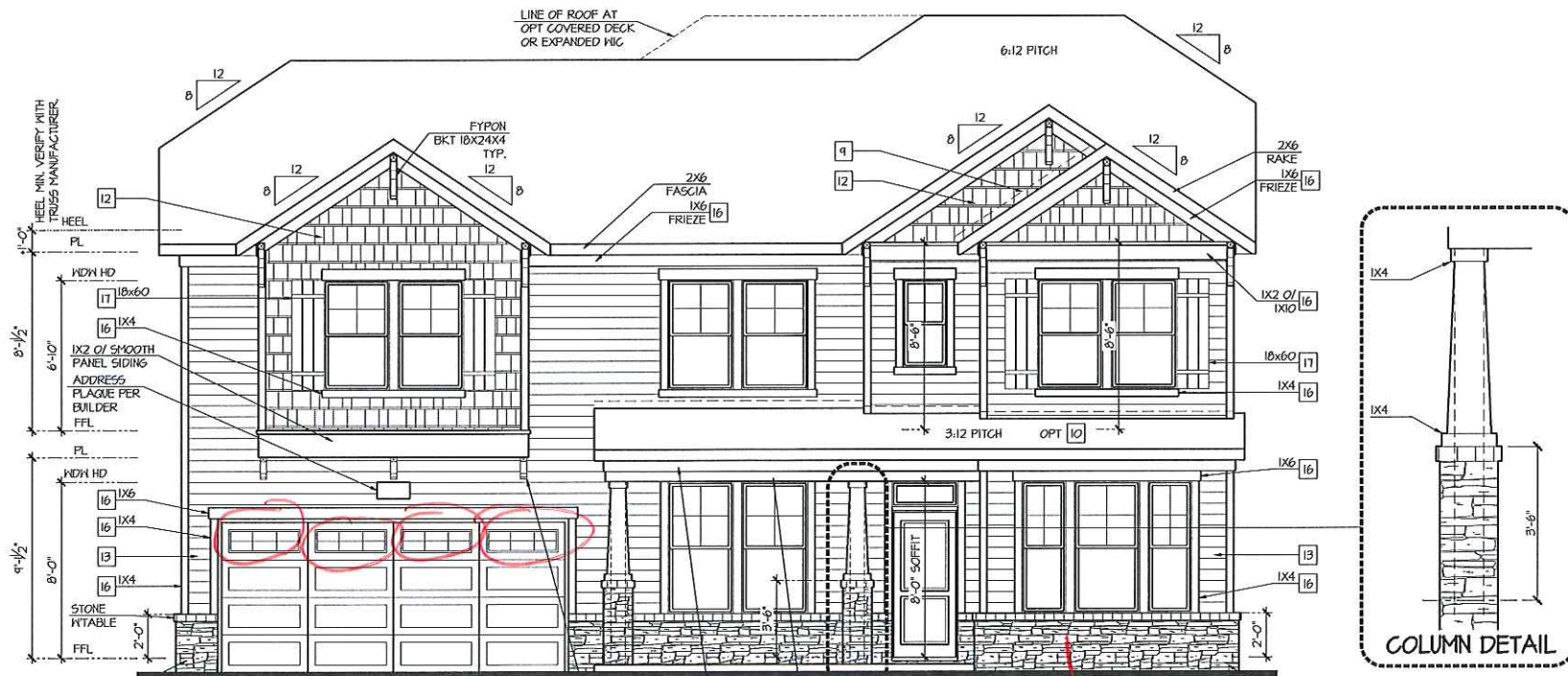
PRINT DATE:
May 31, 2016

SHEET NO:
A1.6



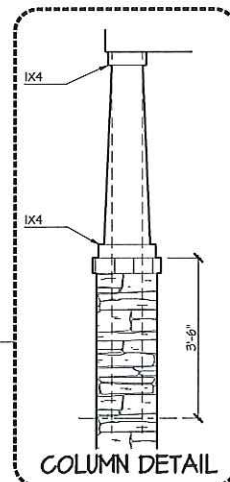
Partial Front Elevation 'B' w/ Opt 2 Door Garage

SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X11" LAYOUT



Front Elevation 'B'

SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X11" LAYOUT



COLUMN DETAIL

Brick

NO.	DATE	REVISION
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50' Plans

ISSUED FOR/PERMIT
CONSTRUCTION

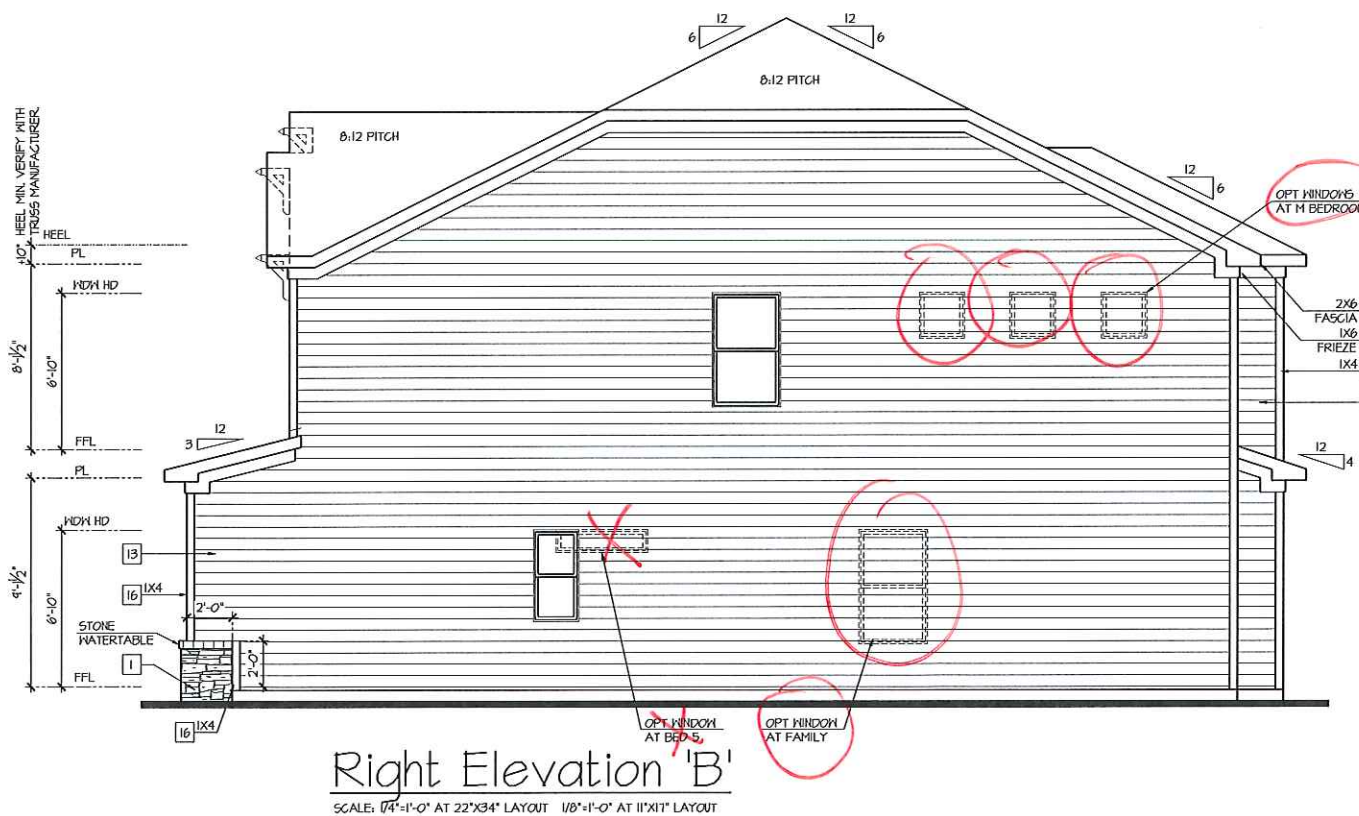
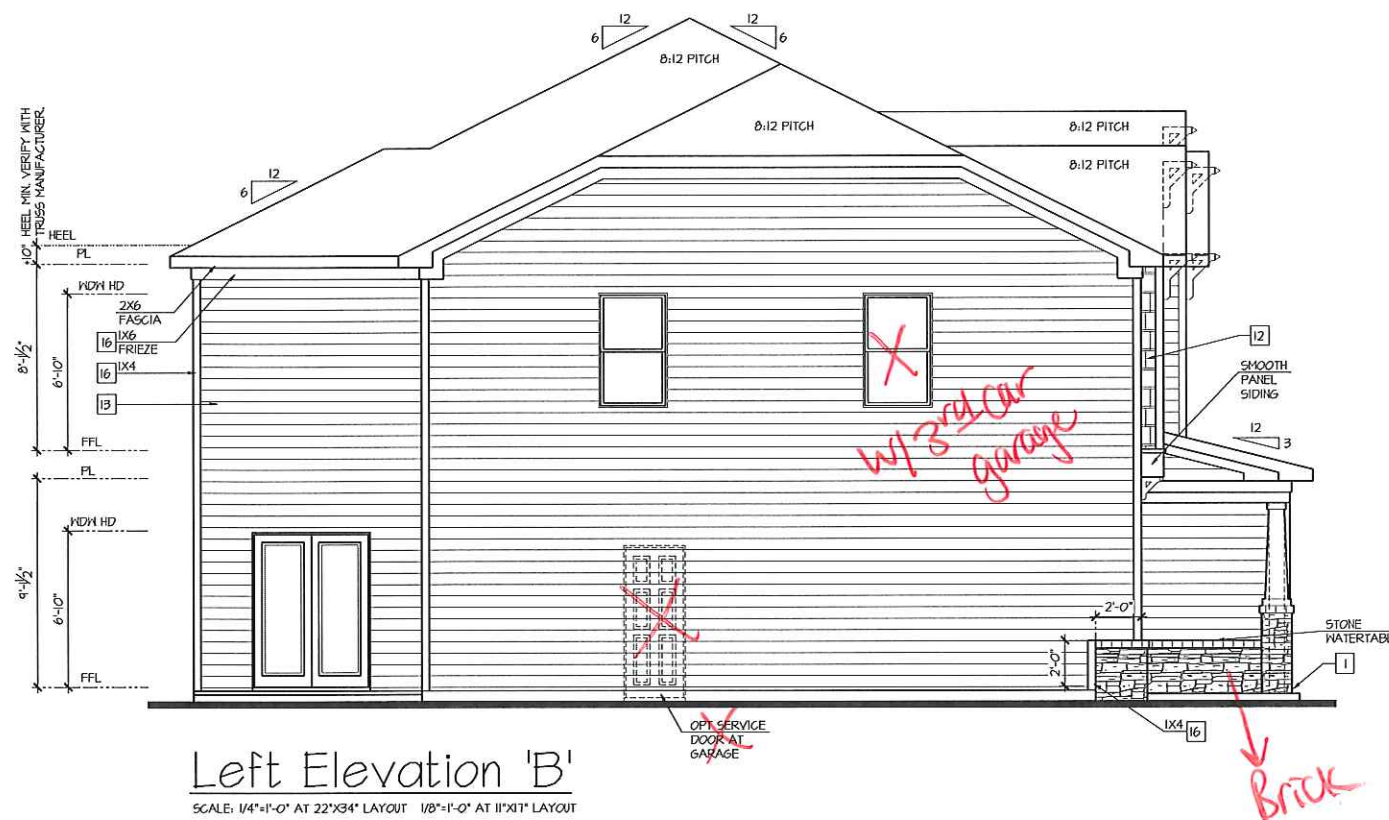
CLIENTS NAME:

PROJECT NO: GMD-GA16014

SHEET TITLE:
**DOGWOOD - LH
EXTERIOR
ELEVATIONS 'B'**

PRINT DATE:
May 31, 2016

SHEET NO:
A1.6.1



NOTES:

- GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.
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KEY NOTES:

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- 2] MASONRY FULL BRICK AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
- 3] MASONRY FULL STONE AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
- 4] 8" SOLDIER COURSE.
- 5] ROWLOCK COURSE
- 6] DECORATIVE KEY. SEE DETAIL.

TYPICALS:

- 1] CORROSION RESISTANT SCREEN LOUVERED VENTS, SIZE AS NOTED.
- 2] CODE APPROVED TERMINATION CHIMNEY CAP.
- 3] CORROSION RESISTANT ROOF TO WALL FLASHINGS. CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS.
- 4] STANDING SEAM METAL ROOF. INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- 5] DECORATIVE WROUGHT IRON. SEE DETAILS.

SIDING:

- 12] VINYL OR FIBER CEMENT SHAKE SIDINGS PER DEVELOPER.
- 13] VINYL OR FIBER CEMENT LAP SIDING PER DEVELOPER.
- 14] VINYL OR FIBER CEMENT WAVY SIDING PER DEVELOPER.
- 15] VINYL OR FIBER CEMENT PANEL SIDINGS W/ 1X3 BATTS AT 12" O.C.
- 16] VINYL OR 1X FIBER CEMENT TRIM OR EQUAL, UNLO. SIZE AS NOTED
- 17] VINYL SHUTTERS OR PER BUILDER, TYPE AS SHOWN. SIZE AS NOTED.

ALL WINDOWS WHOSE OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND WHOSE OPENING IS GREATER THAN 12" ABOVE THE OUTSIDE WALKING SURFACE MUST HAVE WINDOW OPENING LIMITING DEVICES COMPLYING WITH THE LOCAL CODES.

NO.	DATE	REVISION
△	05/16	FIRST SUBMITTAL
△	10/04/16	3RD CAR GARAGE OPTION ADDED
△	01/26/17	FRAME WALK CHANGES
△	02/22/17	SOUTH CAROLINA NORTH CAROLINA SETS
△	04/14/17	ADDITIONAL BUILDER REVISIONS

PROFESSIONAL SEAL:

PROJECT TITLE:

50' Plans

ISSUED FOR PERMIT
CONSTRUCTION

CLIENTS NAME:



PROJECT NO: GMD-GA16014

SHEET TITLE:
**DOGWOOD - LH
EXTERIOR
ELEVATIONS 'B'**

PRINT DATE:
May 31, 2016

SHEET NO:
A1.6.7

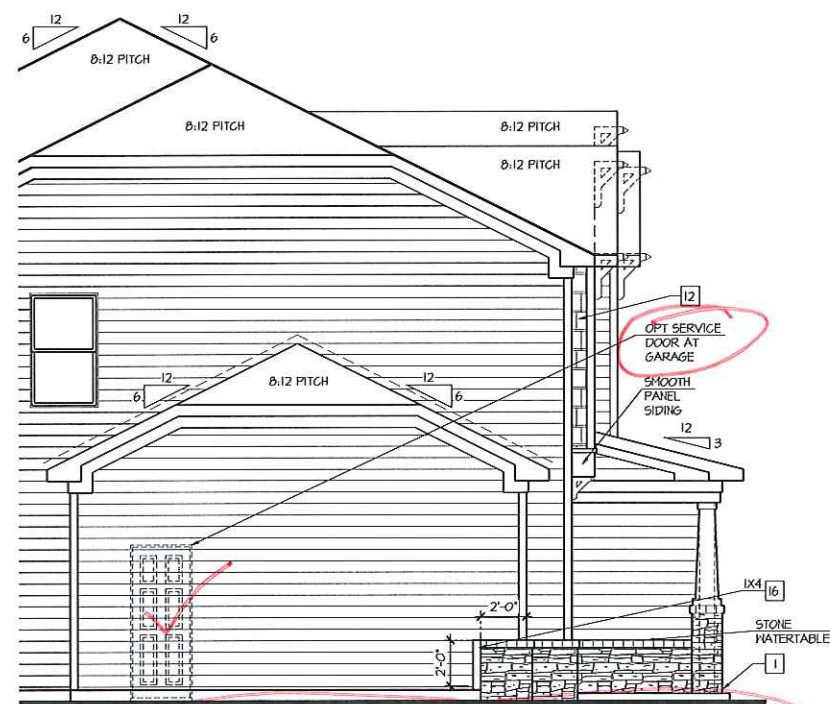
NOTES:

- GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.
- WINDOW HEAD HEIGHTS:
1ST FLOOR = 6'-10" U.N.O. ON ELEVATIONS.
2ND FLOOR = 6'-10" U.N.O. ON ELEVATIONS.
- ROOFING: PITCHED SHINGLES PER DEVELOPER.
- WINDOWS: MANUFACTURER PER DEVELOPER. DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS
- ENTRY DOOR: AS SELECTED BY DEVELOPER.
- GARAGE DOORS: AS SELECTED BY DEVELOPER, RAISED PANEL AS SHOWN.
- CHIMNEY AS OCCURS: TOP OF CHIMNEYS TO BE A MINIMUM OF 24" ABOVE ANY ROOF WITHIN 10'-0" OF CHIMNEY.
- ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- PROTECTION AGAINST DECAY:
(ALL PORTIONS OF A PORCH, SCREEN PORCH OR DECK FROM THE BOTTOM OF THE HEADER DOWN, INCLUDING POST, RAILS, PICKETS, STEPS AND FLOOR STRUCTURE)

KEY NOTES:

- MASONRY:**
- ADHERED STONE VENEER AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
 - MASONRY FULL BRICK AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
 - MASONRY FULL STONE AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
 - 8" SOLDIER COURSE.
 - ROWLOCK COURSE.
 - DECORATIVE KEY. SEE DETAIL.
- TYPICALS:**
- CORROSION RESISTANT SCREEN LOUVERED VENTS, SIZE AS NOTED.
 - CODE APPROVED TERMINATION CHIMNEY GAP.
 - CORROSION RESISTANT ROOF TO WALL FLASHING. CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS.
- STANDING SEAM METAL ROOF. INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - DECORATIVE WROUGHT IRON. SEE DETAILS.
- SIDING:**
- VINYL OR FIBER CEMENT SHAKE SIDING PER DEVELOPER.
 - VINYL OR FIBER CEMENT LAP SIDING PER DEVELOPER.
 - VINYL OR FIBER CEMENT WAVY SIDING PER DEVELOPER.
 - VINYL OR FIBER CEMENT PANEL SIDING W/ 1X3 BATTS AT 12" O.C.
 - VINYL OR 1X FIBER CEMENT TRIM OR EQUAL, U.N.O. SIZE AS NOTED.
 - VINYL SHUTTERS OR PER BUILDER, TYPE AS SHOWN. SIZE AS NOTED.

ALL WINDOWS WHOSE OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND WHOSE OPENING IS GREATER THAN 12" ABOVE THE OUTSIDE WALKING SURFACE MUST HAVE WINDOW OPENING LIMITING DEVICES COMPLYING WITH THE LOCAL CODES



Partial Left Elevation 'B' w/
Opt 3-Car Front Load Garage

SCALE: 1/4"=1'-0" AT 22'X34' LAYOUT 1/8"=1'-0" AT 11'X11' LAYOUT



Partial Front Elevation 'B' w/
Opt 3-Car Front Load Garage

SCALE: 1/4"=1'-0" AT 22'X34' LAYOUT 1/8"=1'-0" AT 11'X11' LAYOUT

- FOR ADDITIONAL NOTES SEE GENERAL NOTES ON TITLE SHEET AND DETAILS.
 - WINDOW HEAD HEIGHTS:
 1ST FLOOR = 6'-10" UNO. ON ELEVATIONS.
 2ND FLOOR = 6'-10" UNO. ON ELEVATIONS.

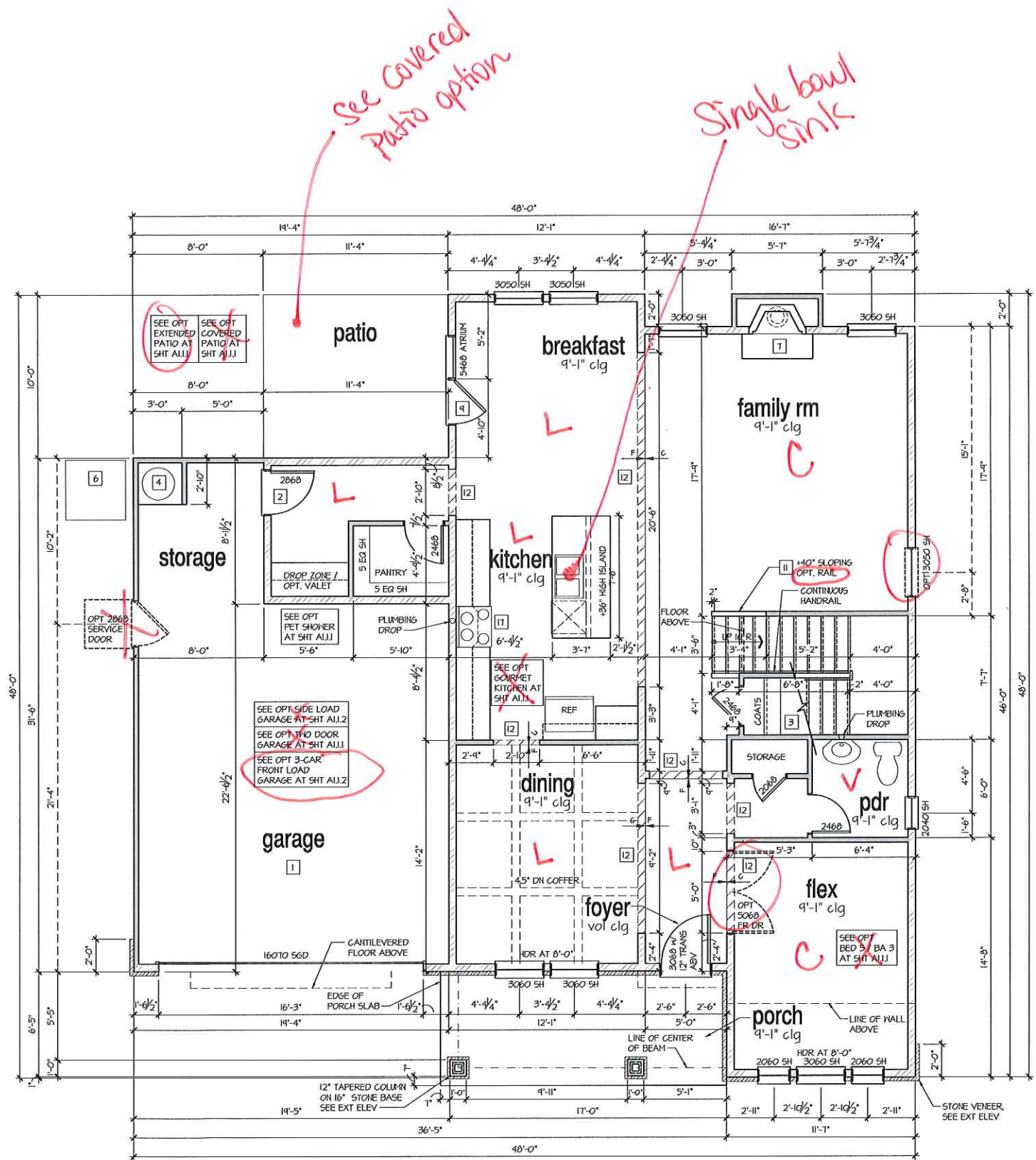
ALL DIMENSIONS TO WINDOWS AND DOORS ARE TO CENTERLINE.

WALL LEGEND:

	FULL HEIGHT 2X4 HOOD STUD PARTITION		FULL HEIGHT 2X6 HOOD STUD PARTITION
	BRICK / STONE VENEER		STUD HALL BELOW HEIGHT AND STUD SIZE AS NOTED
	LOH GYPSUM BOARD HALL HEIGHT AND STUD SIZE AS NOTED		DRYHALL OFFERING HEIGHT AS NOTED ON PLAN

- KEY NOTES:**
- FIRE PROTECTION:**
- HOUSE TO GARAGE FIRE SEPARATION, GARAGEHOUSE SEPARATION AT VERTICAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 1/2" GYPSUM BOARD. (PER LOCAL CODE)
 - GARAGEHOUSE SEPARATION AT HORIZONTAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD. (PER LOCAL CODE)
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 - BENEATH STAIRS AND LANDINGS, 1/2" GYPSUM BOARD ON WALLS AND CEILING OF ENCLOSED ACCESSIBLE AREAS. (PER LOCAL CODE)
 - MEPS
 - FOR THE USE OF EXPOSED GAS WATER HEATERS IN THE GARAGE, INSTALL THE WATER HEATER PER LOCAL CODE, 18" HIGH PLATFORM. PROTECT THE GAS APPLIANCE FROM MOTOR VEHICLE IMPACT PROTECTION PER LOCAL CODE.
 - FAU 8'X8' PLATFORM. VERIFY WITH TRUSS MANUFACTURER. (6'-6" MIN. CLEAR HEIGHT TO HORIZONTAL MEMBERS, 2'X6" OVER 2'X4" BOTTOM CHORD, OF TRUSS, VERIFY W/ TRUSSES)
 - AVC CONDENSER PAD. (VERIFY)
 - PRE-FABRICATED METAL FIREPLACE. INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - ATTIC ACCESS LARGE ENOUGH TO REMOVE LARGEST PIECE OF EQUIPMENT BUT NOT LESS THAN 30"X22". FIRE RATED ACCESS AS NOTED. (PER LOCAL CODE)
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 - TYPICALS:
 - TEMPERED SAFETY GLASS. (PER LOCAL CODE)
 - PLYWOOD SHELF ABOVE WITH DRYHALL FINISH OVER. HEIGHT AS NOTED.
 - HALF WALL, HEIGHT AS NOTED.
 - INTERIOR SOFFITS: FFL = 8'-1" UNO. SFL = 7'-6" UNO.
- BATHS:**
- SHOWER, TEMPERED GLASS ENCLOSURE.
 - TUB-SHOWER COMBO. TEMPERED GLASS ENCLOSURE.
 - CERAMIC TILE SHOWER AND FLOOR, TEMPERED GLASS ENCLOSURE.
 - GARDEN TUB IS A SLIDE IN FIBERGLASS MODEL PER BUILDER
- KITCHEN:**
- 30" FREE STANDING ELECTRICAL RANGE OR OPT. GAS RANGE VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - 30" ELECTRICAL COOKTOP OR OPT. GAS COOKTOP AND HOOD VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - ELECTRIC OVEN WITH MICROWAVE OVEN

9'-1" STAIR NOTE:
 (USE 14" T.J. WITH 3/4" PLYWOOD SUBFLOOR)
 15 TREADS AT 10" EACH VERIFY
 16 RISERS AT 1/2" T.15" = 124" TOTAL RISE VERIFY



1st Floor Plan 'B'
 SCALE: 1/4"=1'-0" AT 22'X34' LAYOUT 1/8"=1'-0" AT 11'X11' LAYOUT



ATLANTA, GEORGIA LOCATION:
 1045 SATELLITE BLVD
 SUITE 050
 DULUTH, GA. 30017
 PHONE: 770-375-7351

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NO.	DATE	REVISION:
1	05.31.16	FIRST SUBMITTAL
2	10.04.16	3RD CAR GARAGE OPTION ADDED
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5	04.14.17	ADDITIONAL BUILDER REVISIONS

PROFESSIONAL SEAL:

PROJECT TITLE:
50' Plans

ISSUED FOR/PERMIT CONSTRUCTION



CLIENTS NAME:
 PROJECT NO: GMD-GAI6014

SHEET TITLE:
DOGWOOD - LH 1st FLOOR PLAN 'B'

PRINT DATE:
 May 31, 2016

SHEET NO:
A1.1.3

- FOR ADDITIONAL NOTES SEE GENERAL NOTES ON TITLE SHEET AND DETAILS.

- WINDOW HEAD HEIGHTS:
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2ND FLOOR = 6'-10" UNO. ON ELEVATIONS.

ALL DIMENSIONS TO WINDOWS AND DOORS ARE TO CENTERLINE.

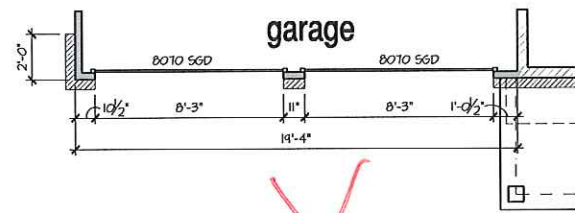
WALL LEGEND:

FULL HEIGHT 2x4 WOOD STUD PARTITION	FULL HEIGHT 2x6 WOOD STUD PARTITION
BRICK / STONE VENEER	STUD WALL BELOW HEIGHT AND STUD SIZE AS NOTED
LOW GYPSUM BOARD WALL HEIGHT AND STUD SIZE AS NOTED	DRYWALL OPENING HEIGHT AS NOTED ON PLAN

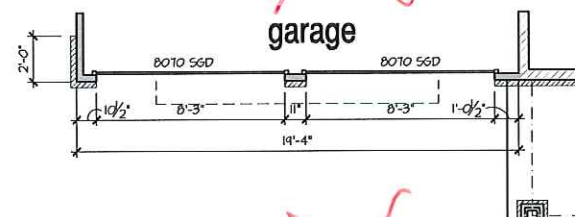
KEY NOTES:

- FIRE PROTECTION:**
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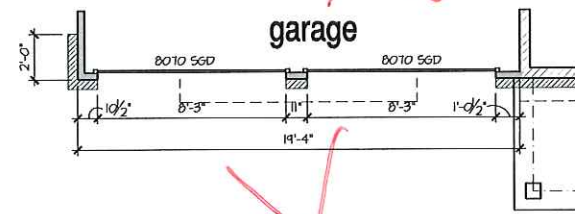
9'-1" STAIR NOTE:
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16 RISERS AT 7.75" = 124" TOTAL RISE VERIFY



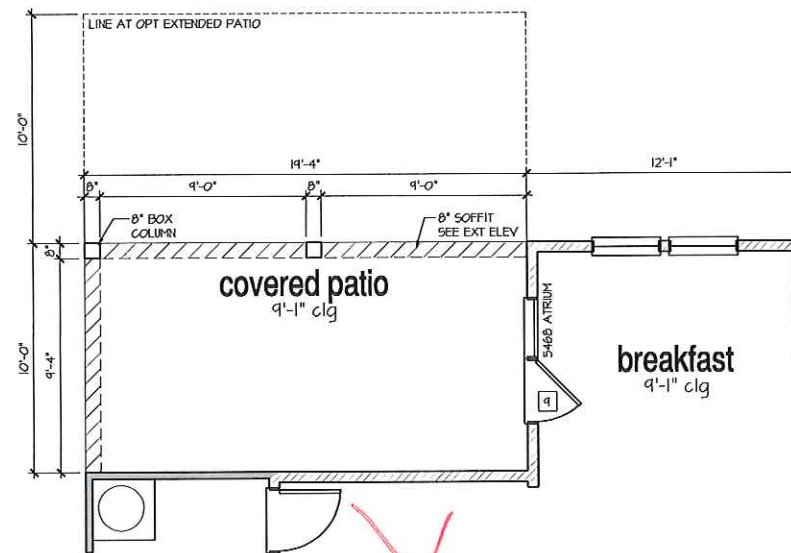
~~Opt. 2 Door Garage 'A'~~
SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X11" LAYOUT



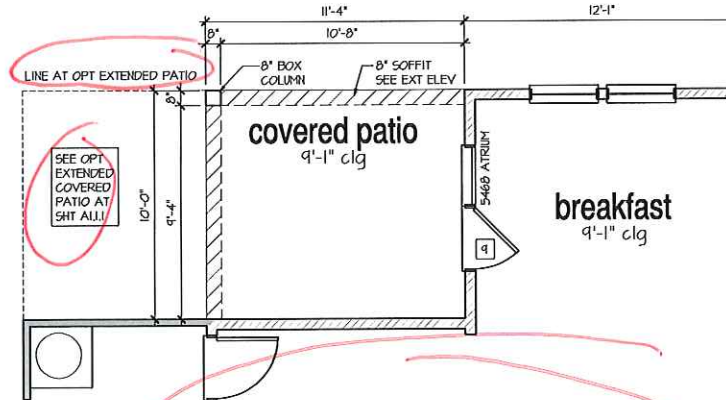
~~Opt. 2 Door Garage 'B'~~
SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X11" LAYOUT



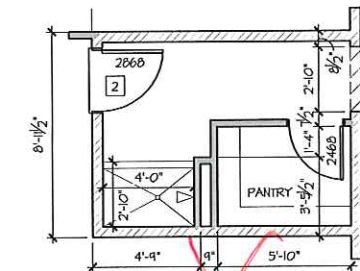
~~Opt. 2 Door Garage 'C'~~
SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X11" LAYOUT



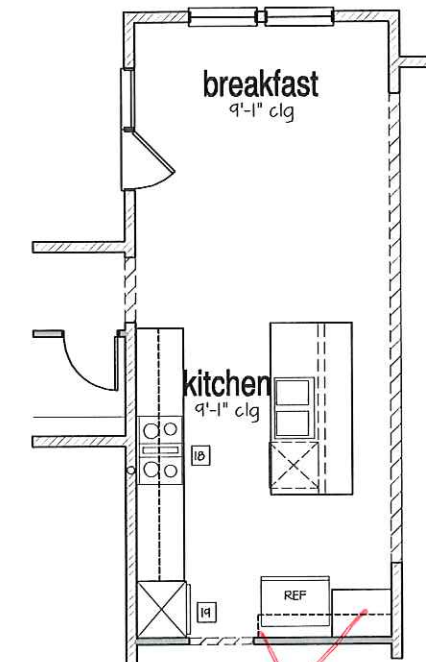
~~Opt. Extended Covered Patio~~
SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X11" LAYOUT



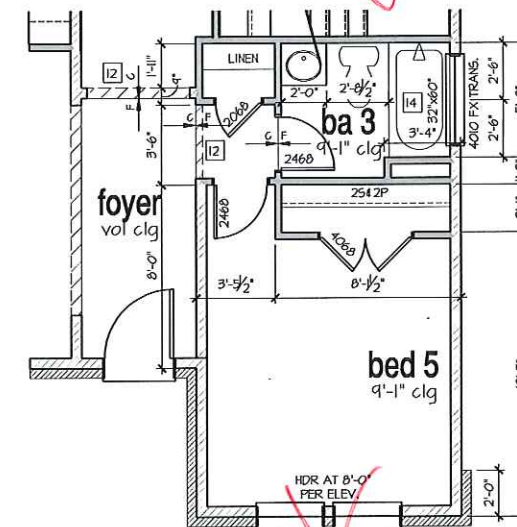
Opt. Covered Patio
SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X11" LAYOUT



~~Opt. Pet Shower~~
SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X11" LAYOUT



~~Opt. Gourmet Kitchen~~
SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X11" LAYOUT



~~Opt. Bed 5 / Bath 3~~
SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X11" LAYOUT



ATLANTA, GEORGIA LOCATION:
1045 SATELLITE BLVD
SUITE 050
DULUTH, GA. 30001
PHONE: 770-375-1351

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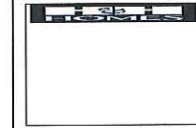
NO.	DATE	REVISION
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5	04/14/17	ADDITIONAL BUILDER REVISIONS

PROFESSIONAL SEAL:

PROJECT TITLE:
50' Plans

ISSUED FOR/PERMIT CONSTRUCTION

CLIENT'S NAME:



PROJECT NO: GMD-GAI6014

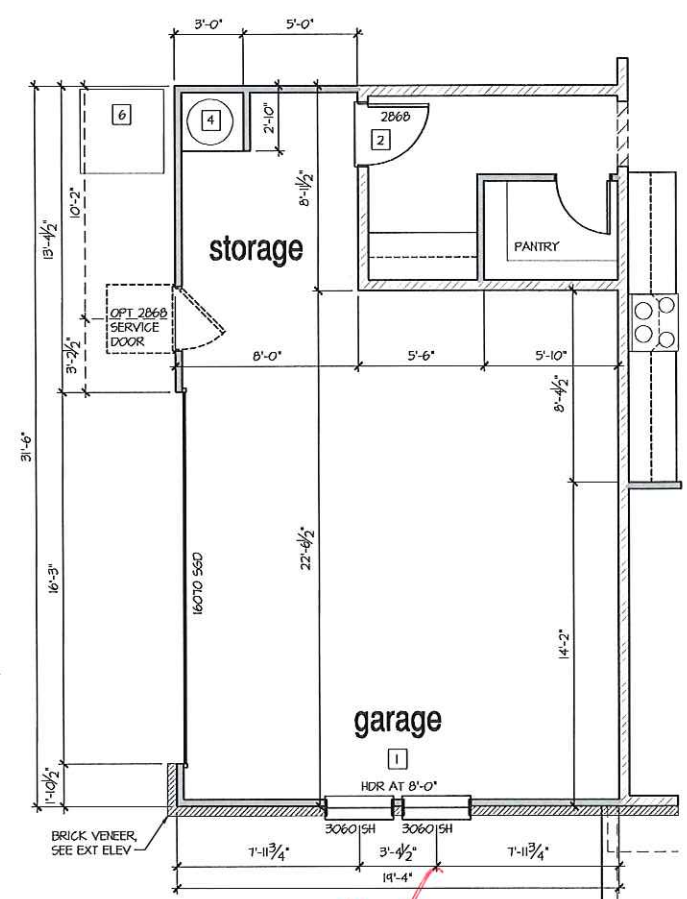
SHEET TITLE:
**DOGWOOD - LH
1st FLOOR
PLAN OPTIONS**

PRINT DATE:
May 31, 2016

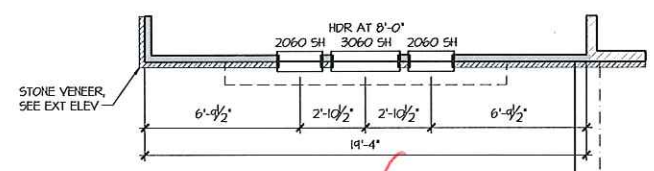
SHEET NO:
A1.1.1

- FOR ADDITIONAL NOTES SEE GENERAL NOTES ON TITLE SHEET AND DETAILS.
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 1ST FLOOR = 6'-10" U.N.O. ON ELEVATIONS.
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- WALL LEGEND:**
- | | | | |
|--|--|--|---|
| | FULL HEIGHT 2x4 WOOD STUD PARTITION | | FULL HEIGHT 2x6 WOOD STUD PARTITION |
| | BRICK / STONE VENEER | | STUD WALL BELOW HEIGHT AND STUD SIZE AS NOTED |
| | 1/2" GYPSUM BOARD WALL HEIGHT AND STUD SIZE AS NOTED | | DRYWALL OPENINGS HEIGHT AS NOTED ON PLAN |
- KEY NOTES:**
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- HOUSE TO GARAGE FIRE SEPARATION. GARAGE/HOUSE SEPARATION AT VERTICAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 1/2" GYPSUM BOARD. (PER LOCAL CODE)
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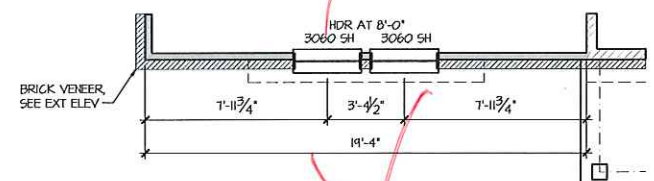
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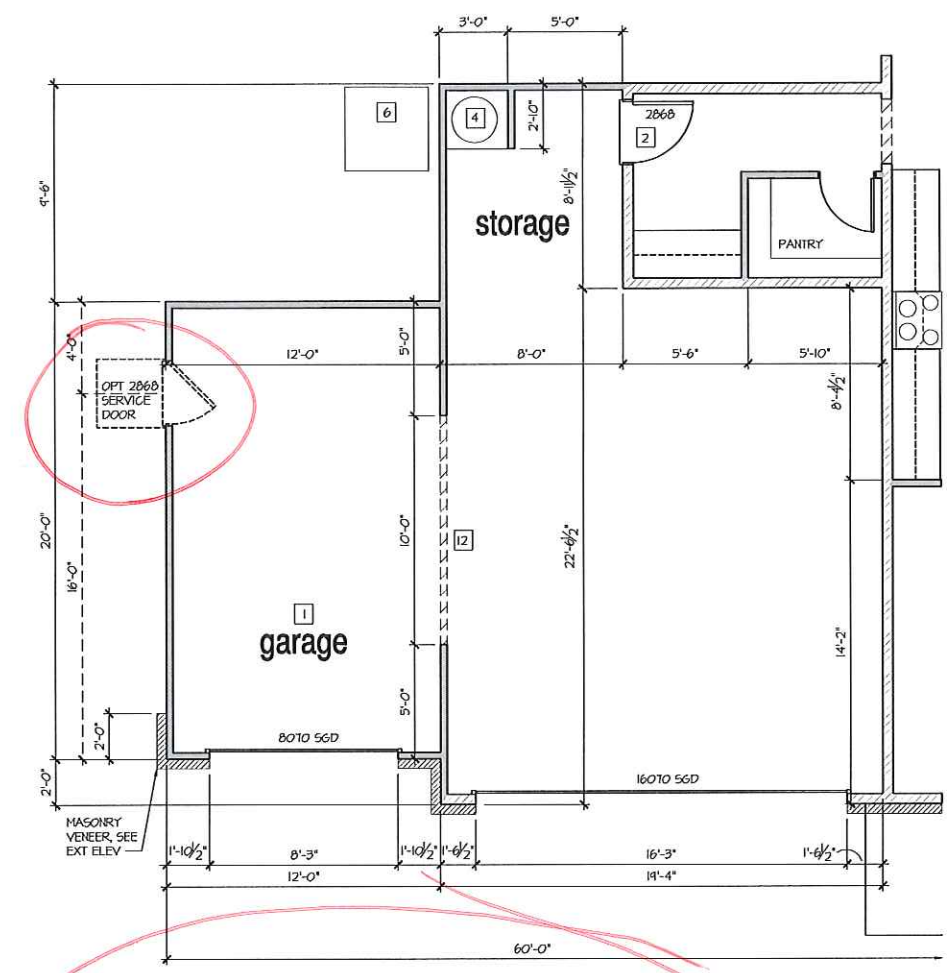
Opt. Side-Load Garage 'A'
 SCALE: 1/4"=1'-0" AT 22'x34' LAYOUT 1/8"=1'-0" AT 11'x11' LAYOUT



Opt. Side-Load Garage 'B'
 SCALE: 1/4"=1'-0" AT 22'x34' LAYOUT 1/8"=1'-0" AT 11'x11' LAYOUT



Opt. Side-Load Garage 'C'
 SCALE: 1/4"=1'-0" AT 22'x34' LAYOUT 1/8"=1'-0" AT 11'x11' LAYOUT



Optional 3-Car Garage - Front Load
 SCALE: 1/4"=1'-0" AT 22'x34' LAYOUT 1/8"=1'-0" AT 11'x11' LAYOUT



ATLANTA, GEORGIA LOCATION:
 1845 SATELLITE BLVD
 SUITE 850
 DUBLIN, GA. 30047
 PHONE: 770-315-1351

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NO.	DATE	REVISION
1	05/16/16	FIRST SUBMITTAL
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PROFESSIONAL SEAL:

PROJECT TITLE:
50' Plans

ISSUED FOR/PERMIT CONSTRUCTION

CLIENTS NAME:

PROJECT NO: GMD-GAI6014
 SHEET TITLE:
**DOGWOOD - LH
 1st FLOOR
 PLAN OPTIONS**

PRINT DATE:
 May 31, 2016

SHEET NO:
A1.1.2

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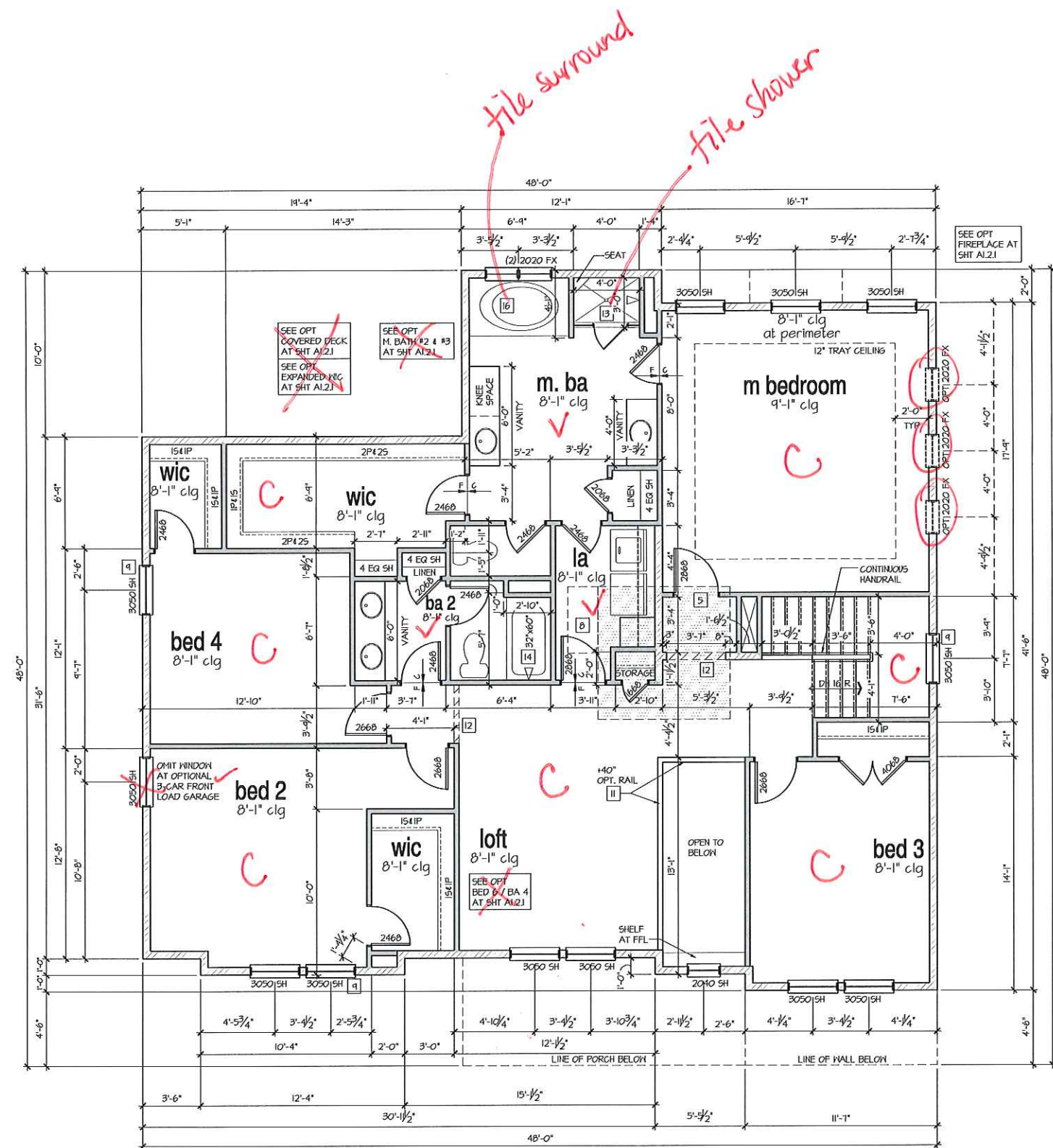
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 - BENEATH STAIRS AND LANDINGS, 1/2" GYPSUM BOARD ON WALLS AND CEILING OF ENCLOSED ACCESSIBLE AREAS, (PER LOCAL CODE).
- MEPS:**
- FOR THE USE OF EXPOSED GAS WATER HEATERS IN THE GARAGE, INSTALL THE WATER HEATER PER LOCAL CODE, 18" HIGH PLATFORM, PROTECT THE GAS APPLIANCE FROM MOTOR VEHICLE IMPACT PROTECTION PER LOCAL CODE.
 - FAU 8'X8' PLATFORM, VERIFY WITH TRUSS MANUFACTURER, (6'-6" MIN. CLEAR HEIGHT TO HORIZONTAL MEMBERS, 2'X6" OVER 2'X4" BOTTOM CHORD, OF TRUSS, VERIFY W/ TRUSSES).
 - A/C CONDENSER PAD, (VERIFY).
 - PRE-FABRICATED METAL FIREPLACE, INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - ATTIC ACCESS LARGE ENOUGH TO REMOVE LARGEST PIECE OF EQUIPMENT BUT NOT LESS THAN 30"X22", FIRE RATED ACCESS AS NOTED, (PER LOCAL CODE). ATTIC ACCESS LADDER, VERIFY LOCATION AND SIZE WITH TRUSSES, (25 1/2" X 54" SIZE).
- TYPICALS:**
- TEMPERED SAFETY GLASS, (PER LOCAL CODE).
 - PLYWOOD SHELF ABOVE WITH DRYWALL FINISH OVER, HEIGHT AS NOTED.
 - HALF WALL, HEIGHT AS NOTED.
 - INTERIOR SOFFITS: FFL = 8'-1" U.N.O. SFL = 7'-6" U.N.O.
- BATHS:**
- SHOWER, TEMPERED GLASS ENCLOSURE.
 - TUB-SHOWER COMBO, TEMPERED GLASS ENCLOSURE.
 - CERAMIC TILE SHOWER AND FLOOR, TEMPERED GLASS ENCLOSURE.
 - GARDEN TUB IS A SLIDE IN FIBERGLASS MODEL PER BUILDER.
- KITCHEN:**
- 30" FREE STANDING ELECTRICAL RANGE OR OPT. GAS RANGE VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - 30" ELECTRICAL COOKTOP OR OPT. GAS COOKTOP AND HOOD VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - ELECTRIC OVEN WITH MICROWAVE OVEN.

9'-1" STAIR NOTE:
 (USE 14" T.J. WITH 3/4" PLYWOOD SUBFLOOR)
 15 TREADS AT 10" EACH VERIFY
 16 RISERS AT +/- 1.15" = 124" TOTAL
 RISE VERIFY



2nd Floor Plan 'B'
 SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X11" LAYOUT



ATLANTA, GEORGIA LOCATION:
 1045 SATELLITE BLVD
 SUITE 850
 DULUTH, GA. 30047
 PHONE: 770-375-7351

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NO.	DATE	REVISION
05/31/16		FIRST SUBMITTAL
10/24/16		3RD CAR GARAGE OPTION ADDED
01/26/17		FRAME WALK CHANGES
02/22/17		SOUTH CAROLINA NORTH CAROLINA SETS
04/14/17		ADDITIONAL BUILDER REVISIONS

PROFESSIONAL SEAL:

PROJECT TITLE:
50' Plans

ISSUED FOR/PERMIT CONSTRUCTION

CLIENTS NAME:

PROJECT NO: GMD-GA16014
 SHEET TITLE:
**DOGWOOD - LH
 2nd FLOOR
 PLAN 'B'**

PRINT DATE:
 May 31, 2016

SHEET NO:
A1.2.2



ATLANTA, GEORGIA LOCATION:
1845 SATELLITE BLVD
SUITE 850
DULUTH, GA. 30041
PHONE: 770-375-1351

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△	04/11/17	ADDITIONAL BUILDER REVISIONS

PROFESSIONAL SEAL:

PROJECT TITLE:

50' Plans

ISSUED FOR PERMIT CONSTRUCTION

CLIENTS NAME:



PROJECT NO: GMD-6A16014

SHEET TITLE:

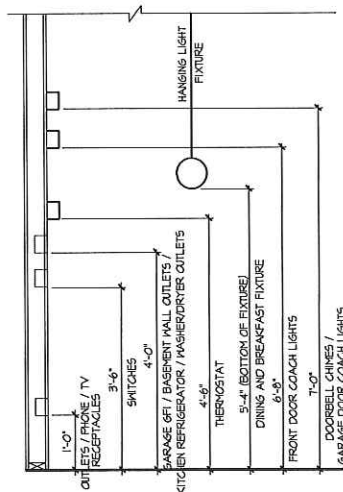
DOGWOOD - LH
1st FLOOR
UTILITY PLAN

PRINT DATE:

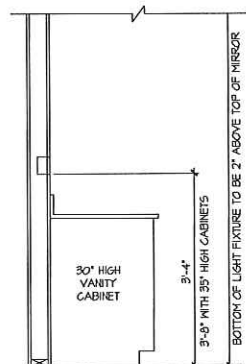
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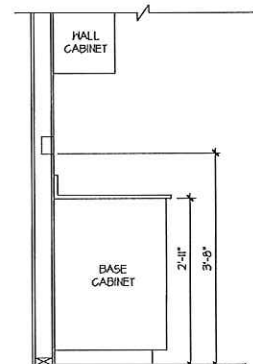
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STANDARD ELECTRICAL BOX HEIGHTS



SWITCH AND RECEPTACLE BOXES OVER BATH CABINETS



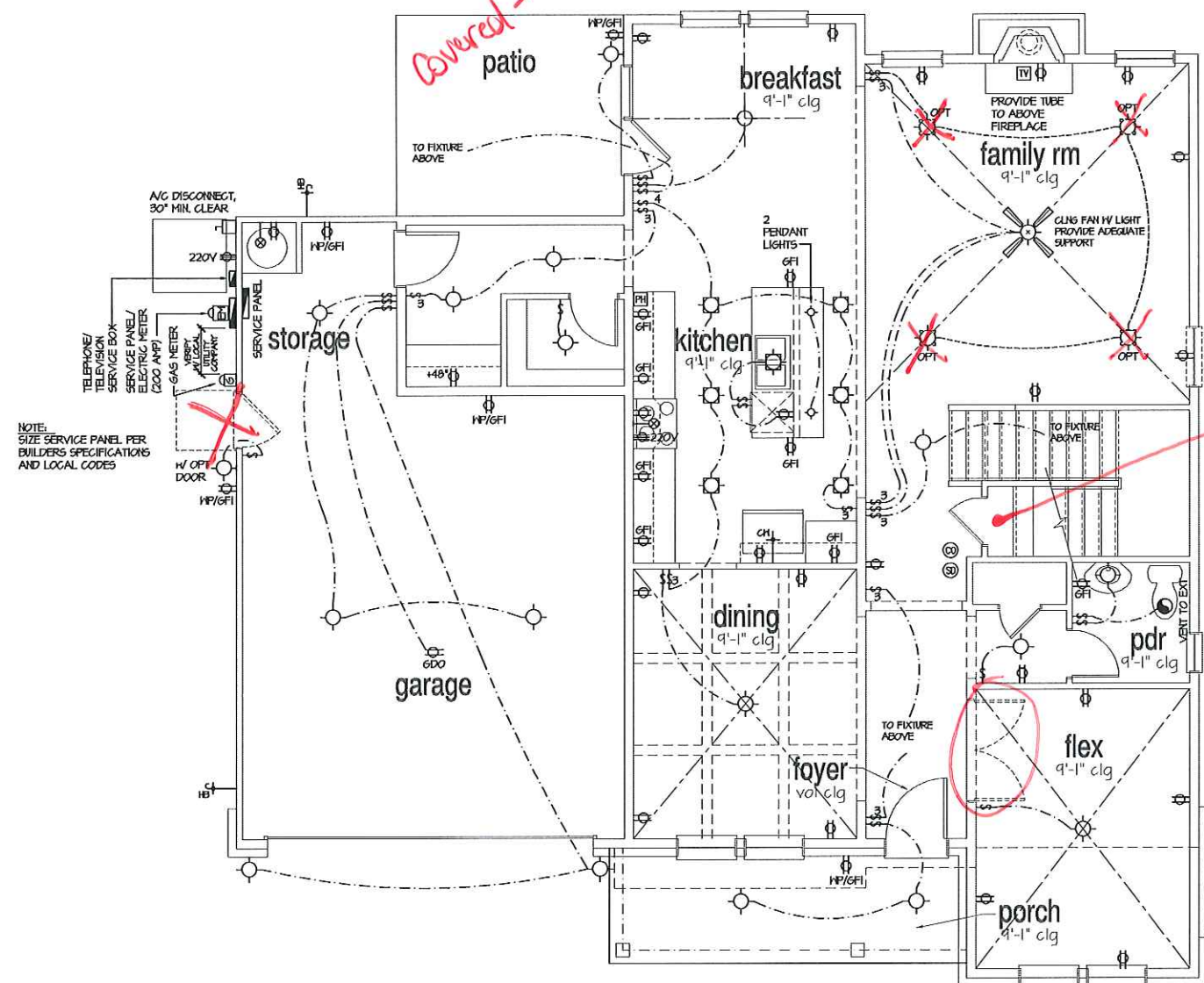
SWITCH AND RECEPTACLE BOXES OVER KITCHEN CABINETS

NOTES:

- PROVIDE GROUNDING ELECTRICAL ROD PER LOCAL CODES.
- PROVIDE AND INSTALL ARC FAULT CIRCUIT INTERRUPTERS (AFCI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- ALL EXHAUST FANS SHALL HAVE BACKDRAFT DAMPERS.
- FANLIGHTS IN WET/DAMP LOCATIONS SHALL BE LABELED "SUITABLE FOR WET OR DAMP LOCATIONS."
- ELECTRICAL SYSTEMS ARE SHOWN FOR INTENT ONLY. THESE SYSTEMS SHALL BE ENGINEERED BY OTHERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND PLACEMENT.
- PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AND CO2 DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
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- PROVIDE Foyer, LIGHT AND SWITCH AS REQUIRED FOR ATTIC FURNACE PER CODE AND MANUFACTURER'S WRITTEN INSTRUCTIONS.

LEGEND:

⊕	DUPLEX OUTLET	⊕	UNDERCOUNTER FLUORESCENT LIGHT FIXTURE
⊕	HEATHERPROOF GFI DUPLEX OUTLET	⊕	CEILING MOUNTED INCANDESCENT LIGHT FIXTURE
⊕	GFI	⊕	HALL MOUNTED INCANDESCENT LIGHT FIXTURE
⊕	GROUND-FAULT CIRCUIT-INTERRUPTER DUPLEX OUTLET	⊕	RECESSED INCANDESCENT LIGHT FIXTURE (VP) = VAPOR PROOF
⊕	HALF-SWITCHED DUPLEX OUTLET	⊕	EXHAUST FAN (VENT TO EXTERIOR)
⊕	220V 220 VOLT OUTLET	⊕	EXHAUST FANLIGHT COMBINATION (VENT TO EXTERIOR)
⊕	REINFORCED JUNCTION BOX	⊕	FLUORESCENT LIGHT FIXTURE
⊕	HALL SWITCH	⊕	TECH. HUB SYSTEM
⊕	THREE-WAY SWITCH	⊕	CEILING FAN (PROVIDE ADEQUATE SUPPORT)
⊕	FOUR-WAY SWITCH	⊕	CEILING FAN WITH INCANDESCENT LIGHT FIXTURE (PROVIDE ADEQUATE SUPPORT)
⊕	CHIMES	⊕	GAS SUPPLY WITH VALVE
⊕	PUSHBUTTON SWITCH	⊕	HOSE BIBB
⊕	110V SMOKE DETECTOR W/ BATTERY BACKUP	⊕	1/4" WATER SHUT OUT
⊕	CO2 DETECTOR	⊕	HALL SCOONE
⊕	THERMOSTAT		
⊕	TELEPHONE		
⊕	TELEVISION		
⊕	ELECTRIC METER		
⊕	ELECTRIC PANEL		
⊕	DISCONNECT SWITCH		



1st Floor Plan 'A'

SCALE: 1/4"=1'-0" AT 22"x34" LAYOUT 1/8"=1'-0" AT 11"x11" LAYOUT

NO.	DATE	REVISION
△	05.16.16	FIRST SUBMITTAL
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PROFESSIONAL SEAL:

PROJECT TITLE:
50' Plans



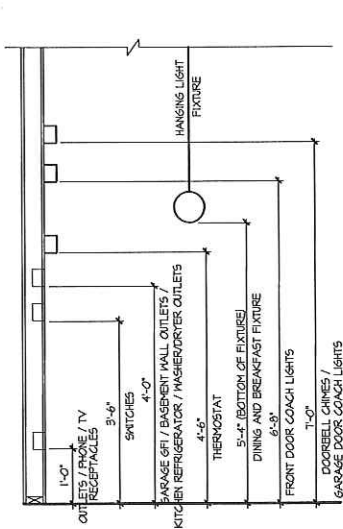
PROJECT NO: GMD-GA16014

SHEET TITLE:
**DOGWOOD - LH
1st FLOOR
UTILITY PLAN**

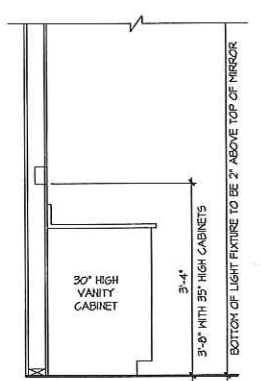
PRINT DATE:
May 31, 2016

SHEET NO:
E1.1

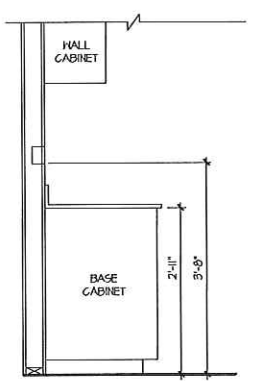
ISSUED FOR/PERMIT CONSTRUCTION



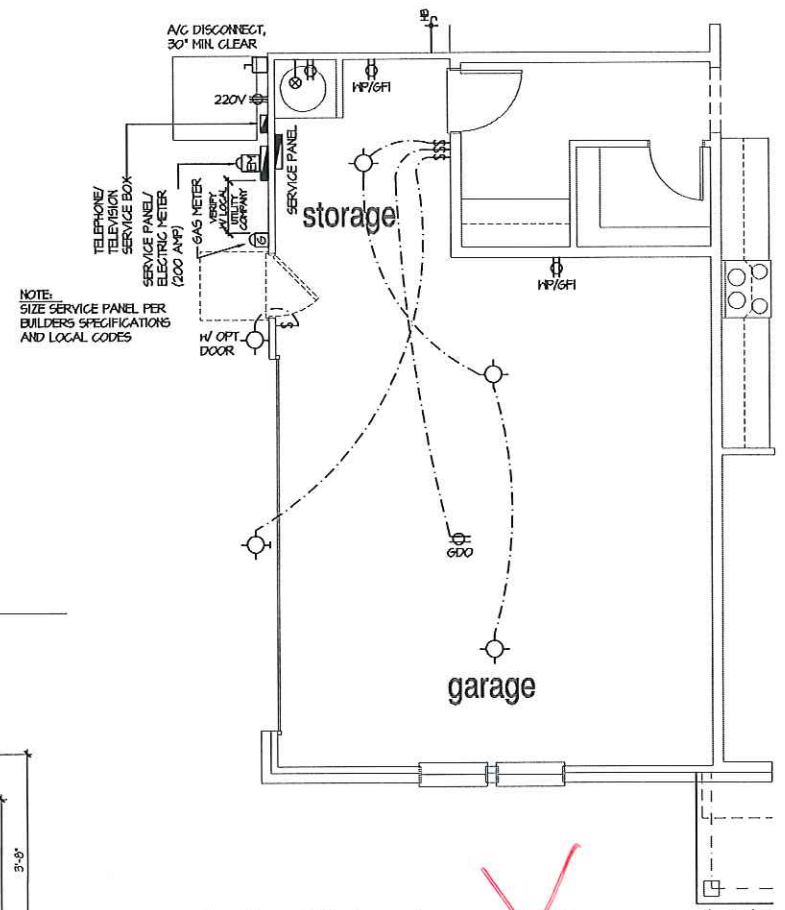
STANDARD ELECTRICAL BOX HEIGHTS



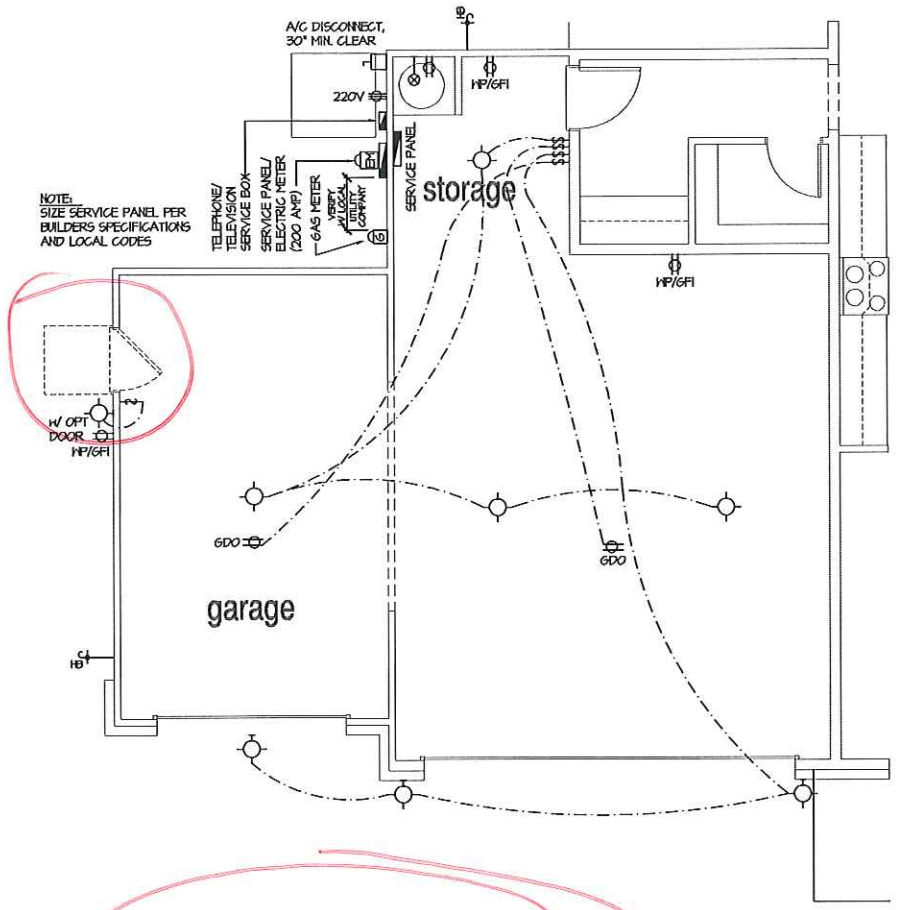
SWITCH AND RECEPTACLE BOXES OVER BATH CABINETS



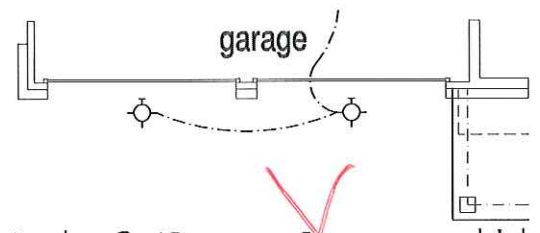
SWITCH AND RECEPTACLE BOXES OVER KITCHEN CABINETS



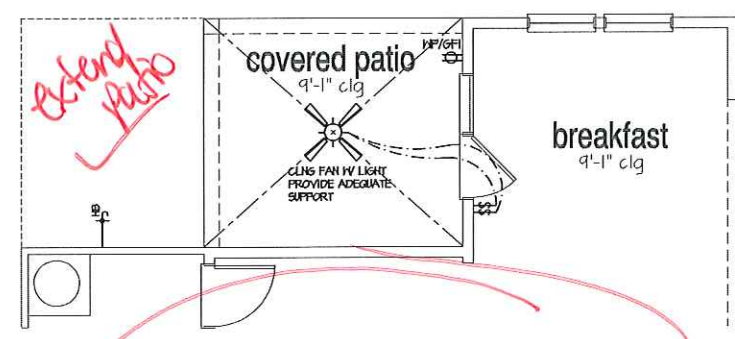
Opt. Side-Load Garage 'A'
SCALE: 1/4"=1'-0" AT 22'X34' LAYOUT 1/8"=1'-0" AT 11'X11" LAYOUT



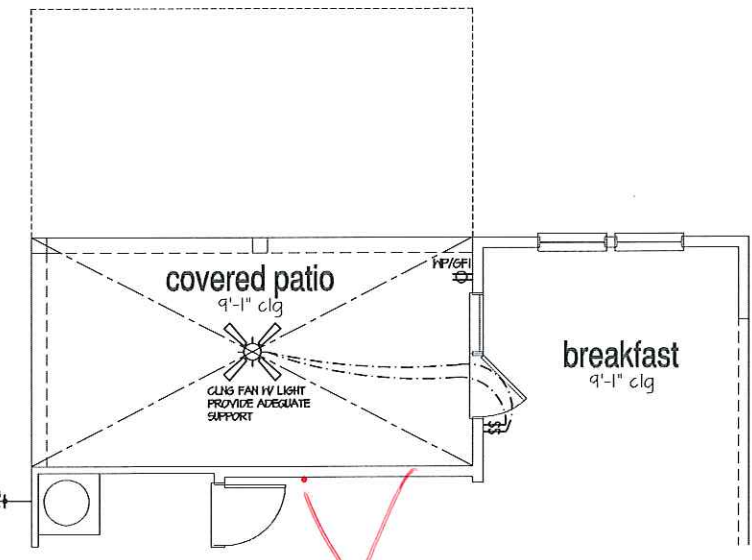
**Optional 3-Car
Garage - Front Load**
SCALE: 1/4"=1'-0" AT 22'X34' LAYOUT 1/8"=1'-0" AT 11'X11" LAYOUT



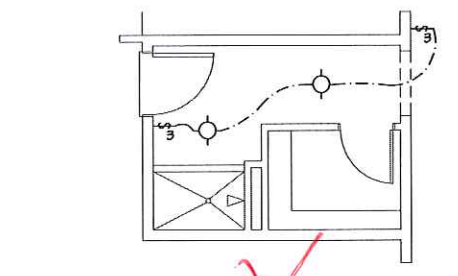
Opt. 2 Door Garage 'A'
SCALE: 1/4"=1'-0" AT 22'X34' LAYOUT 1/8"=1'-0" AT 11'X11" LAYOUT



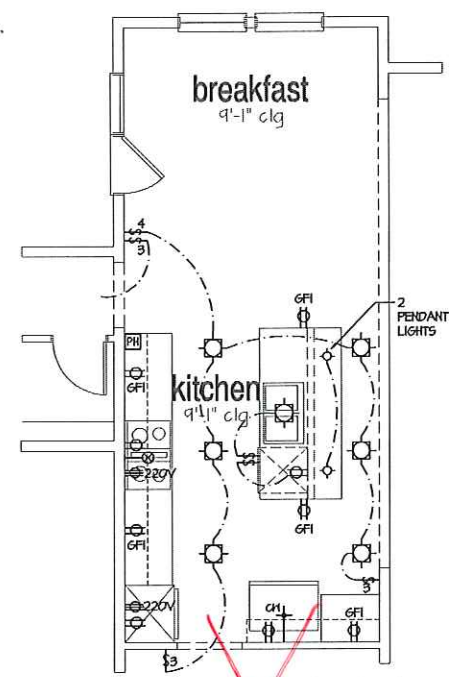
Opt. Covered Patio
SCALE: 1/4"=1'-0" AT 22'X34' LAYOUT 1/8"=1'-0" AT 11'X11" LAYOUT



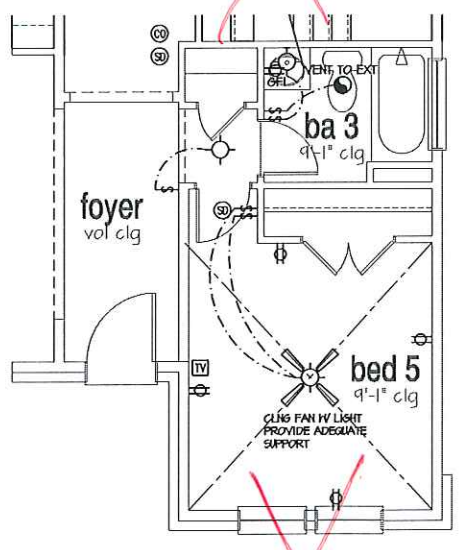
Opt. Extended Covered Patio
SCALE: 1/4"=1'-0" AT 22'X34' LAYOUT 1/8"=1'-0" AT 11'X11" LAYOUT



Opt. Pet Shower
SCALE: 1/4"=1'-0" AT 22'X34' LAYOUT 1/8"=1'-0" AT 11'X11" LAYOUT



Opt. Gourmet Kitchen
SCALE: 1/4"=1'-0" AT 22'X34' LAYOUT 1/8"=1'-0" AT 11'X11" LAYOUT



Opt. Bed 5 / Bath 3
SCALE: 1/4"=1'-0" AT 22'X34' LAYOUT 1/8"=1'-0" AT 11'X11" LAYOUT

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LEGEND:	
⊕	INDICATOR/FLUORESCENT LIGHT FIXTURE
⊕	DUPLEX OUTLET
⊕	CEILING MOUNTED INCANDESCENT LIGHT FIXTURE
⊕	WEATHERPROOF GFI DUPLEX OUTLET
⊕	HALL MOUNTED INCANDESCENT LIGHT FIXTURE
⊕	GROUND-FAULT CIRCUIT-INTERRUPTER DUPLEX OUTLET
⊕	RECESSED INCANDESCENT LIGHT FIXTURE (VP) = VAPOR PROOF
⊕	HALF-SWITCHED DUPLEX OUTLET
⊕	EXHAUST FAN (VENT TO EXTERIOR)
⊕	220V 220 VOLT OUTLET
⊕	EXHAUST FAN/LIGHT COMBINATION (VENT TO EXTERIOR)
⊕	REINFORCED JUNCTION BOX
⊕	FLUORESCENT LIGHT FIXTURE
⊕	HALL SWITCH
⊕	TECH. HUB SYSTEM
⊕	THREE-WAY SWITCH
⊕	CEILING FAN (PROVIDE ADEQUATE SUPPORT)
⊕	FOUR-WAY SWITCH
⊕	CEILING FAN WITH INCANDESCENT LIGHT FIXTURE (PROVIDE ADEQUATE SUPPORT)
⊕	CHIMES
⊕	CEILING FAN WITH INCANDESCENT LIGHT FIXTURE (PROVIDE ADEQUATE SUPPORT)
⊕	PUSHBUTTON SWITCH
⊕	110V SMOKE DETECTOR LIGHT FIXTURE (PROVIDE ADEQUATE SUPPORT)
⊕	CO2 DETECTOR
⊕	THERMOSTAT
⊕	TELEPHONE
⊕	HOSE BIBB
⊕	TELEVISION
⊕	1/4" WATER SUMP OUT
⊕	ELECTRIC METER
⊕	HALL SCENE
⊕	ELECTRIC PANEL
⊕	DISCONNECT SWITCH

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PROFESSIONAL SEAL:

PROJECT TITLE:
50' Plans

ISSUED FOR PERMIT
CONSTRUCTION

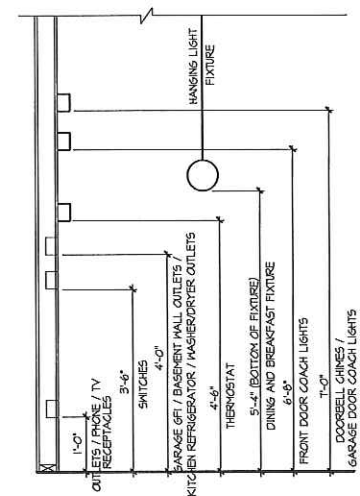


PROJECT NO: GMD-6A16014

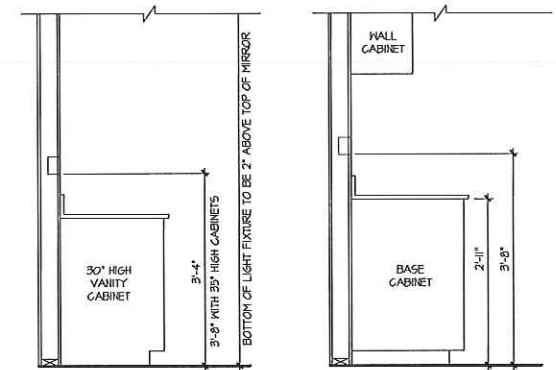
SHEET TITLE:
**DOGWOOD - LH
2nd FLOOR
UTILITY PLAN**

PRINT DATE:
May 31, 2016

SHEET NO:
E2.0



STANDARD ELECTRICAL BOX HEIGHTS

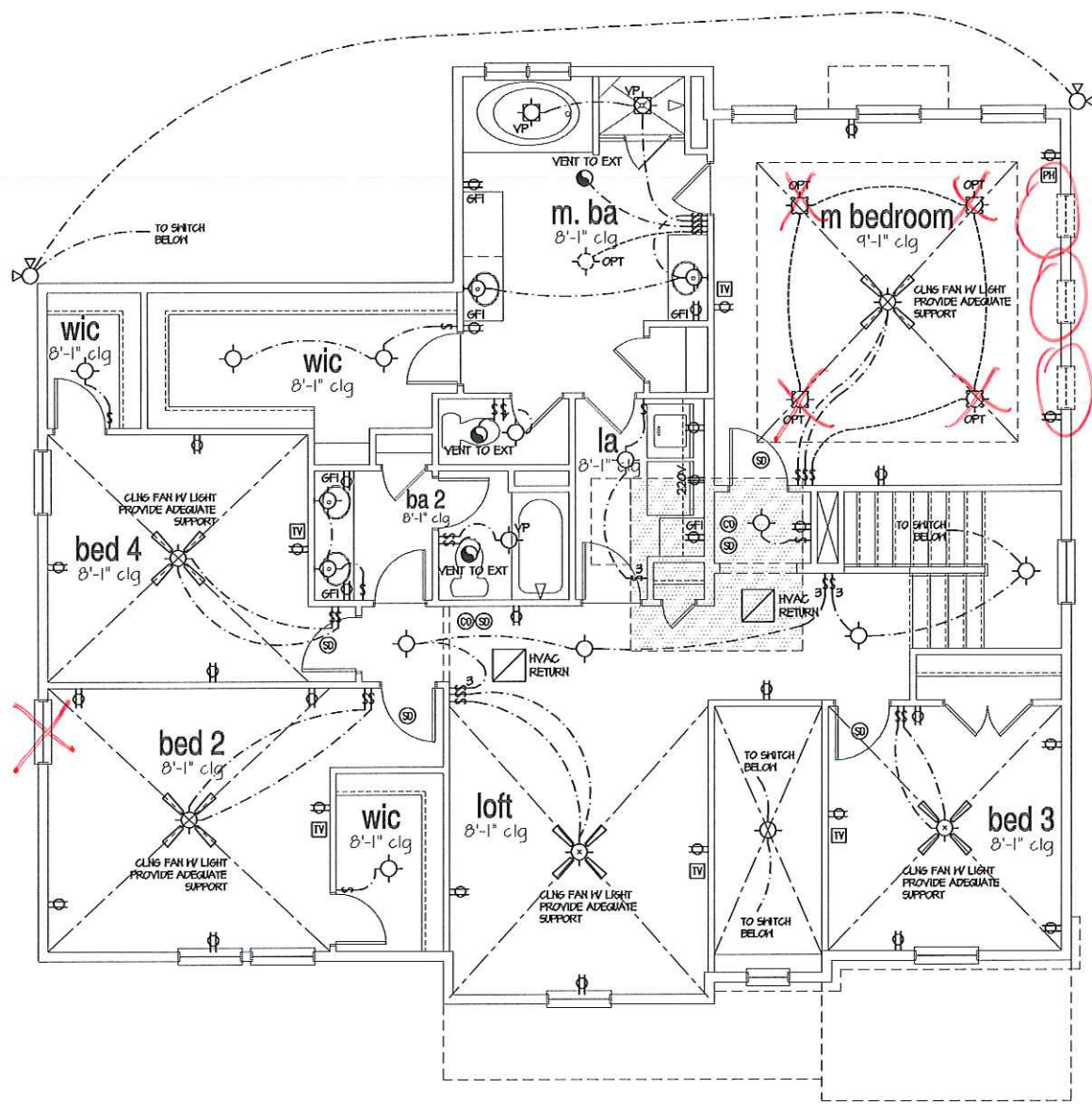


SWITCH AND RECEPTACLE BOXES OVER BATH CABINETS
SWITCH AND RECEPTACLE BOXES OVER KITCHEN CABINETS

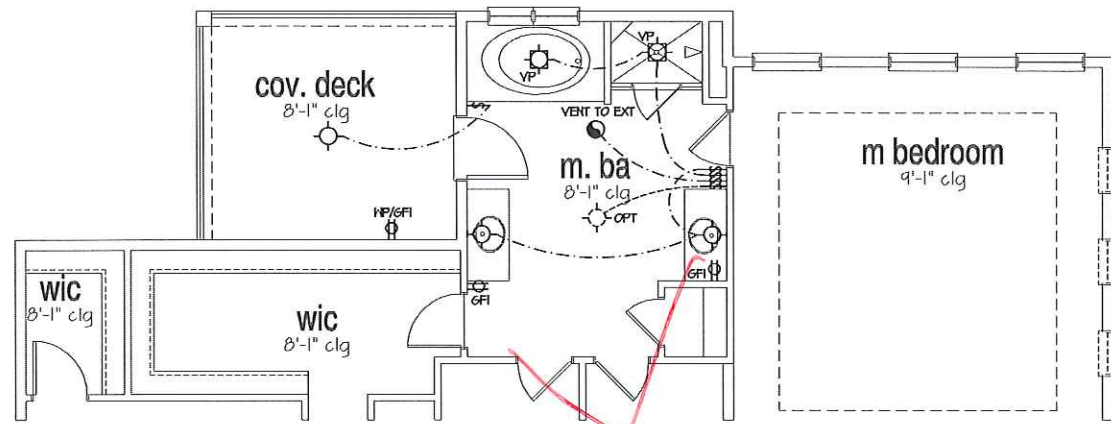
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LEGEND:

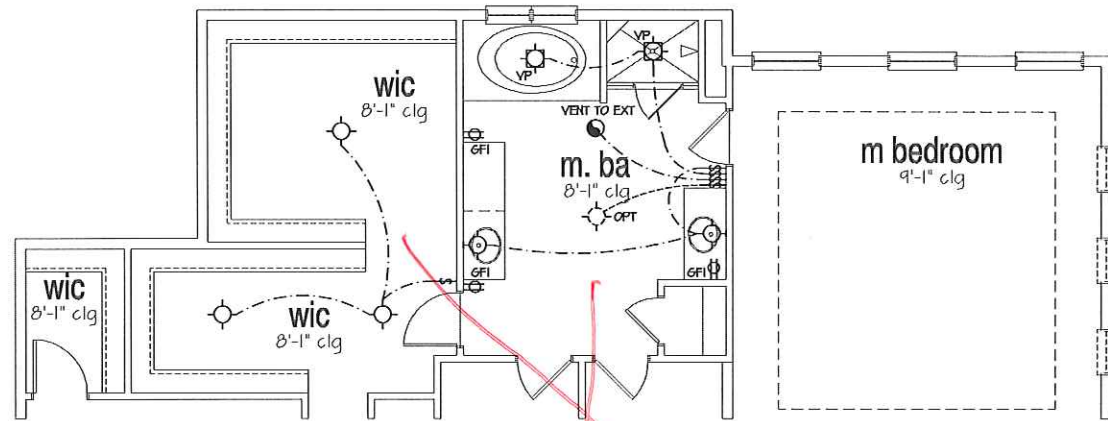
⊕	DUPLEX OUTLET	⊕	UNDERCOUNTER FLUORESCENT LIGHT FIXTURE
⊕H	HEATHERPROOF GFI DUPLEX OUTLET	⊕	CEILING MOUNTED INCANDESCENT LIGHT FIXTURE
⊕GFI	GROUND-FAULT CIRCUIT INTERRUPTER DUPLEX OUTLET	⊕	HALL MOUNTED INCANDESCENT LIGHT FIXTURE
⊕	HALF-SWITCHED DUPLEX OUTLET	⊕	RECESSED INCANDESCENT LIGHT FIXTURE
⊕220V	220 VOLT OUTLET	⊕	(VP) - VAPOR PROOF
⊕	REINFORCED JUNCTION BOX	⊕	EXHAUST FAN (VENT TO EXTERIOR)
⊕	HALL SWITCH	⊕	EXHAUST FAN/LIGHT COMBINATION (VENT TO EXTERIOR)
⊕3	THREE-WAY SWITCH	⊕	FLUORESCENT LIGHT FIXTURE
⊕4	FOUR-WAY SWITCH	⊕	TECH. HUB SYSTEM
⊕	CHIMES	⊕	CEILING FAN (PROVIDE ADEQUATE SUPPORT)
⊕	PUSHBUTTON SWITCH	⊕	CEILING FAN WITH INCANDESCENT LIGHT FIXTURE (PROVIDE ADEQUATE SUPPORT)
⊕	110V SMOKE DETECTOR W/ BATTERY BACKUP	⊕	CEILING FAN WITH INCANDESCENT LIGHT FIXTURE (PROVIDE ADEQUATE SUPPORT)
⊕	CO2 DETECTOR	⊕	CEILING FAN WITH VALVE
⊕	THERMOSTAT	⊕	NOSE BUDD
⊕	TELEPHONE	⊕	1/4" WATER STUB OUT
⊕	TELEVISION	⊕	HALL SCORE
⊕	ELECTRIC METER		
⊕	ELECTRIC PANEL		
⊕	DISCONNECT SWITCH		



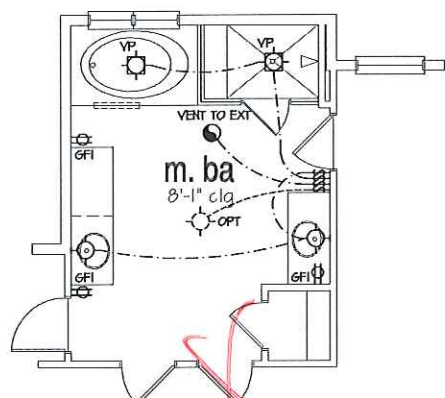
2nd Floor Plan 'A'
SCALE: 1/4"=1'-0" AT 22"x34" LAYOUT 1/8"=1'-0" AT 11"x17" LAYOUT



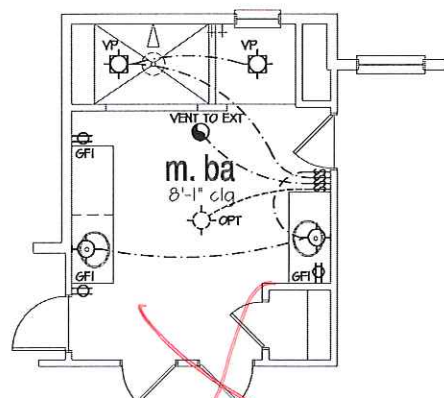
Opt. Covered Deck at Opt. Covered Patio Below
 SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X11" LAYOUT ONLY AVAILABLE WITH OPTIONAL COVERED PATIO BELOW



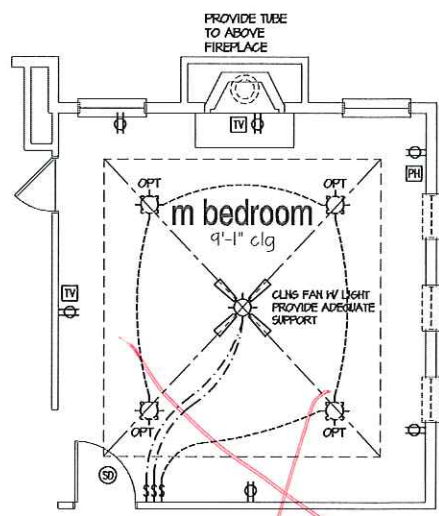
Opt. Expanded WIC at Opt. Covered Patio Below
 SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X11" LAYOUT ONLY AVAILABLE WITH OPTIONAL COVERED PATIO BELOW



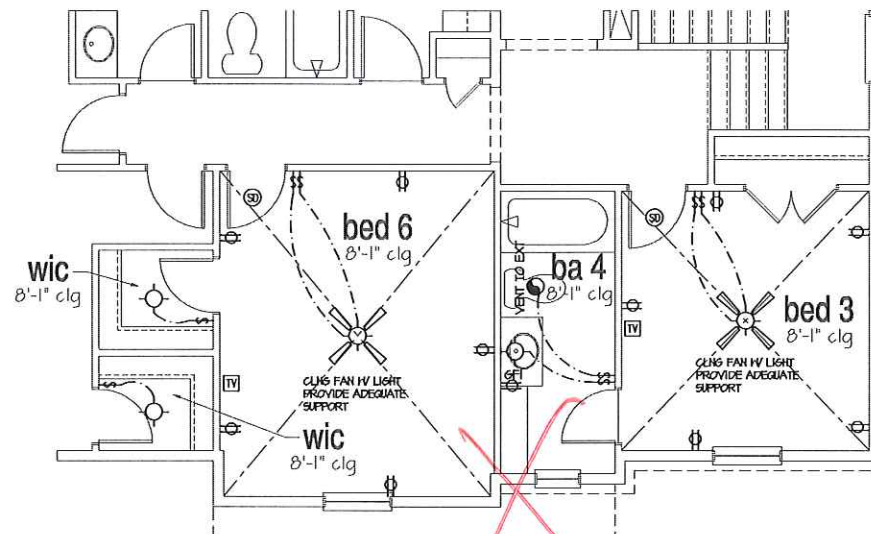
Opt. Master Bath #2
 SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X11" LAYOUT



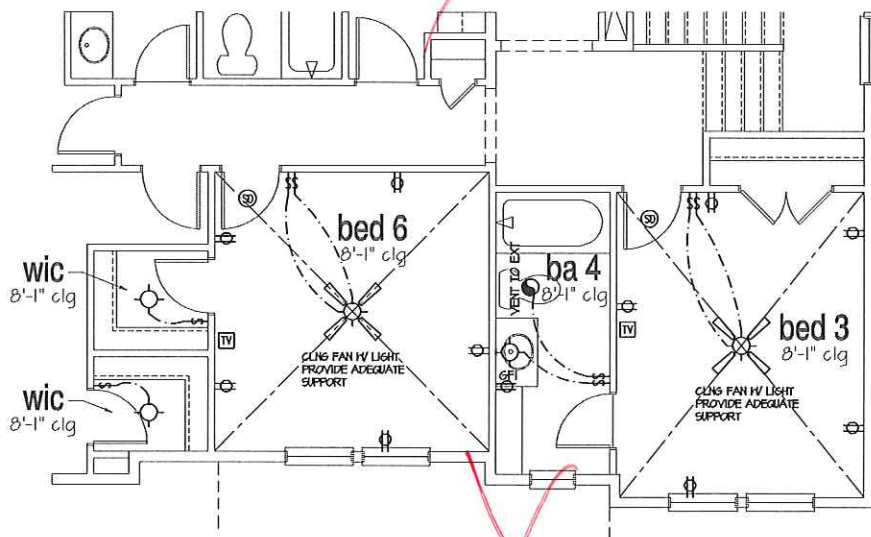
Opt. Master Bath #3
 SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X11" LAYOUT



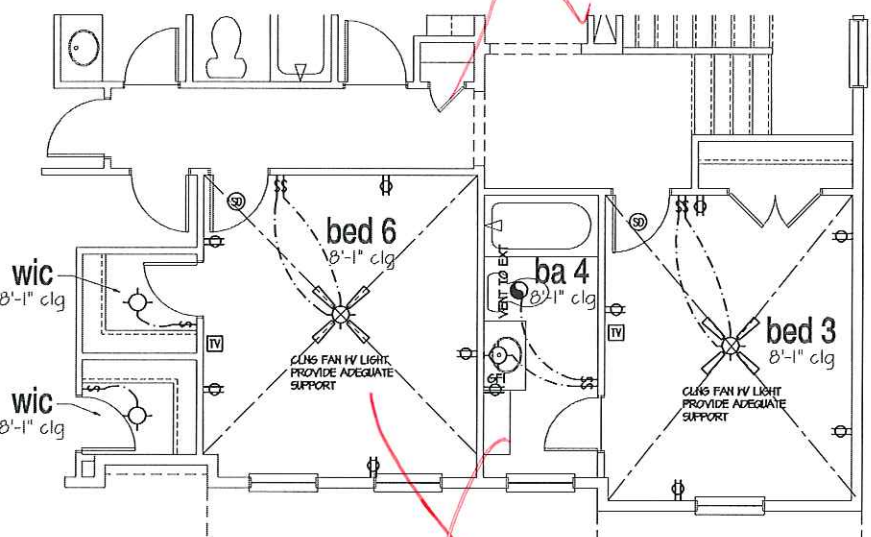
Opt. Fireplace at M. Bed
 SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X11" LAYOUT



Opt. Bed 6 / Ba 4 ILO Loft 'A'
 SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X11" LAYOUT



Opt. Bed 6 / Ba 4 ILO Loft 'B'
 SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X11" LAYOUT



Opt. Bed 6 / Ba 4 ILO Loft 'C'
 SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X11" LAYOUT



ATLANTA, GEORGIA LOCATION:
 1045 SATELLITE BLVD
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NO.	DATE	REVISION
▲	05/31/16	FIRST SUBMITTAL
▲	10/24/16	3RD CAR GARAGE OPTION ADDED
▲	01/26/17	FRAME WALK CHANGES
▲	02/22/17	SOUTH CAROLINA NORTH CAROLINA SETS
▲	04/14/17	ADDITIONAL BUILDER REVISIONS

PROFESSIONAL SEAL:

PROJECT TITLE:
50' Plans

ISSUED FOR/PERMIT CONSTRUCTION



PROJECT NO: GMD-GAI6014

SHEET TITLE:
**DOGWOOD - LH
 2nd FLOOR
 UTILITY PLAN**

PRINT DATE:
 May 31, 2016

SHEET NO:
E2.1

NO.	DATE	REVISION
1	05.31.16	FIRST SUBMITTAL
2	10.04.16	3RD CAR GARAGE OPTION ADDED
3	01.26.17	FRAME WALK CHANGES
4	02.22.17	SOUTH CAROLINA NORTH CAROLINA SETS
5	04.14.17	ADDITIONAL BUILDER REVISIONS

PROFESSIONAL SEAL:

PROJECT TITLE:

50' Plans

ISSUED FOR PERMIT CONSTRUCTION

CLIENTS NAME:



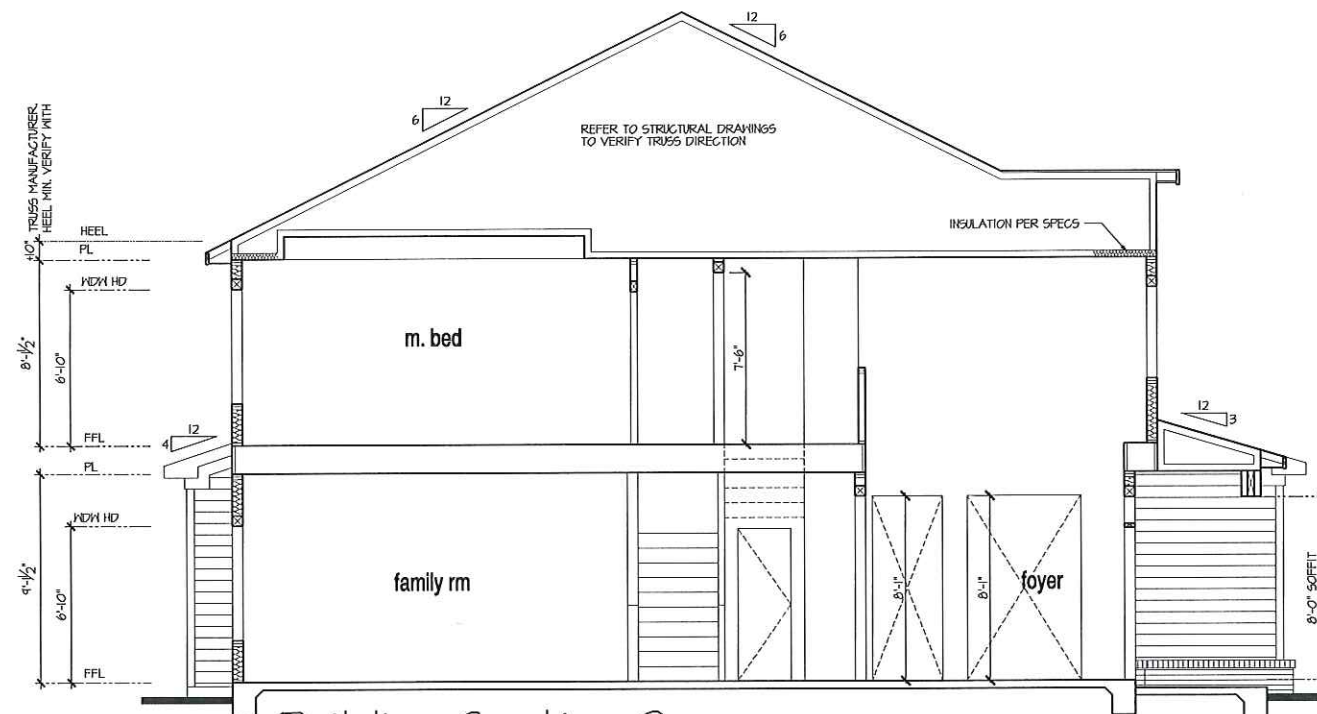
PROJECT NO: GMD-6A16014

SHEET TITLE:
**DOGWOOD - LH
BUILDING
SECTIONS**

PRINT DATE:
May 31, 2016

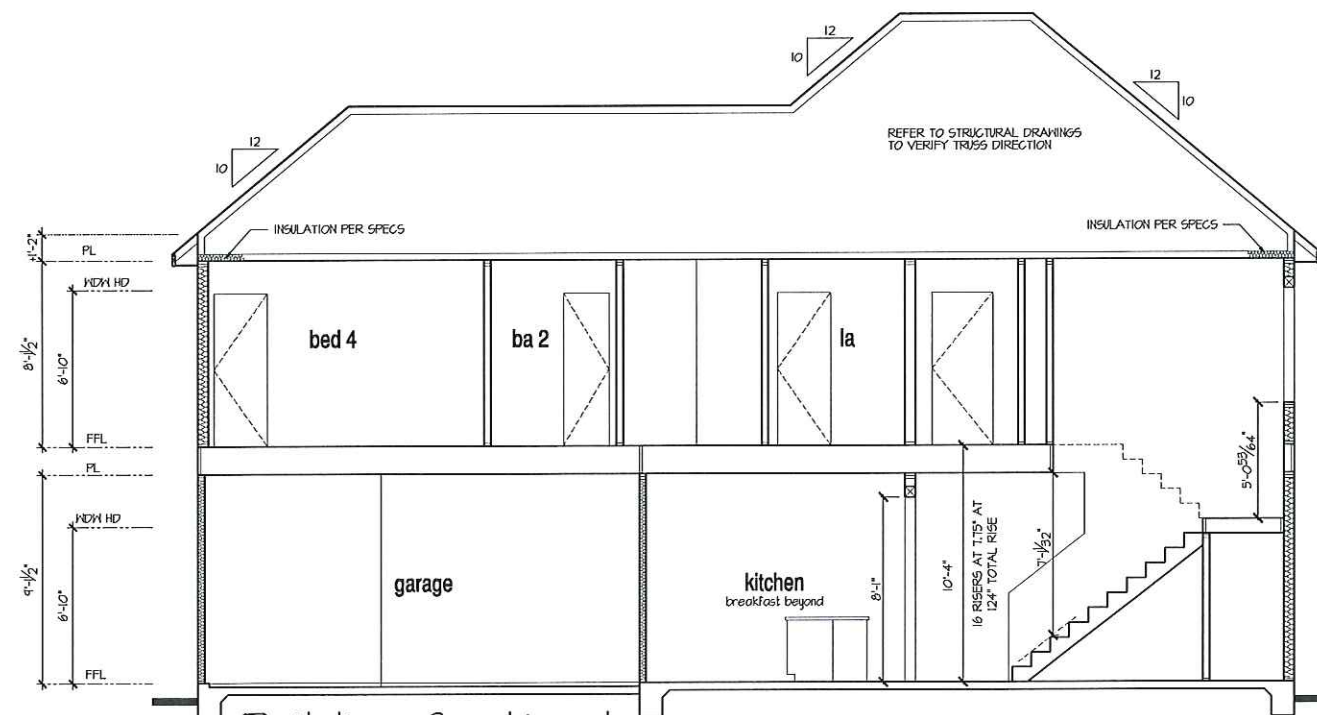
SHEET NO:

A1.4



Building Section 2

SCALE: 1/4"=1'-0" AT 22'X34' LAYOUT 1/8"=1'-0" AT 11'X11' LAYOUT



Building Section 1

SCALE: 1/4"=1'-0" AT 22'X34' LAYOUT 1/8"=1'-0" AT 11'X11' LAYOUT

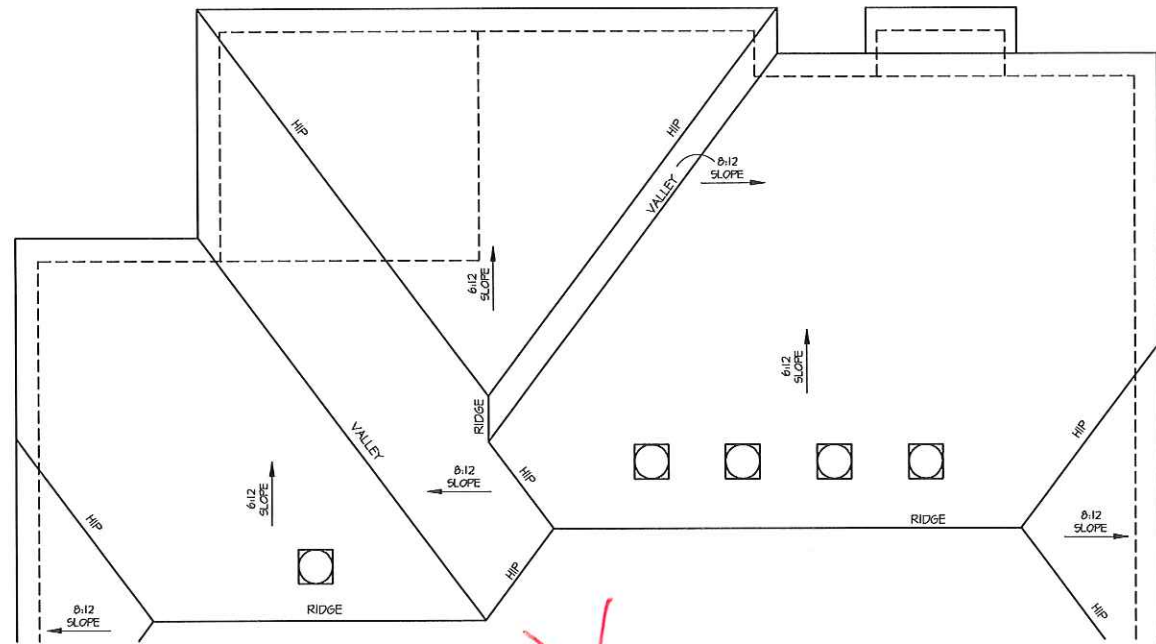
9'-1" STAIR NOTE:
(USE 14" TJI WITH 3/4" PLYWOOD SUBFLOOR)
15 TREADS AT 10" EACH VERIFY
16 RISERS AT 7.15" = 124" TOTAL
RISE VERIFY

NOTES:

- REFER TO FLOOR PLAN NOTES FOR TYPICAL FIRE PROTECTION NOTES AND LOCATIONS.
- THESE BUILDING SECTIONS MAY VARY AT ALTERNATE ELEVATION STYLES AND AT "PLAN OPTION" CONDITIONS. REFER TO MAIN FLOOR PLAN AND ALTERNATE FLOOR PLANS FOR INFORMATION NOT SHOWN HERE.
- BUILDING SECTIONS SHOWN HERE DEPICT VOLUMIN SPACES WITHIN THE STRUCTURE. REFER TO STRUCTURAL DRAWINGS, TRUSS DRAWINGS, STRUCTURAL DETAILS AND CALCULATIONS BY OTHER FOR ALL STRUCTURAL INFO.
- ROOFING: FITCHED SHINGLE ROOF. REFER TO ROOF PLAN FOR TYPICALS.
- FLOOR JOISTS: FLOOR SHEATHING OVER FLOOR JOIST. REFER TO STRUCTURAL AND TRUSS DRAWINGS BY OTHERS.
- VERIFY STAIRS MINIMUM AND MAXIMUM REQUIREMENTS FOR CONSTRUCTION CLEARANCES WITH LOCAL CODES.
- INSULATION:
EXTERIOR WALLS ZONE 3: R-13 BATTIS MINIMUM. VERIFY
EXTERIOR WALLS ZONE 4: R-15 BATTIS MINIMUM. VERIFY
CEILING WITH ATTIC ABOVE COMPRESSED INSULATION.
R-30 BATTIS MINIMUM. VERIFY
CEILING WITH ATTIC ABOVE UNCOMPRESSED INSULATION (HEELS IN TRUSSES).
R-30 BATTIS MINIMUM. VERIFY
- FLOOR OVER GARAGE: R-14 BATTIS MINIMUM. VERIFY
ATTIC KNEEWALL: R-14 BATTIS MINIMUM. VERIFY
CRAWL SPACE FLOORING: R-14 BATTIS MINIMUM. VERIFY

PER STATE RESIDENTIAL CODE COMPLIANCE METHOD TO BE DETERMINED BY BUILDER.

WINDOW GLAZING "U" FACTOR: 0.35



Roof Plan 'B' w/ Opt. Covered Deck / Expanded WIC

SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X11" LAYOUT

ATTIC VENT CALCULATION FOR 'DOGWOOD': 1:150 RATIO.

THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/50 OF THE AREA OF THE SPACE VENTILATED.

GENERAL CONTRACTOR SHALL VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED BY OWNER. VERIFY WITH MANUFACTURER OF HIGH AND LOW VENTS TO BE USED FOR MINIMUM CALCULATED VENTS REQUIRED. THE REQUIRED VENTILATION SHALL BE MAINTAINED. PROVIDE INSULATION STOP SUCH THAT INSULATION DOES NOT OBSTRUCT FREE AIR MOVEMENT AS REQUIRED BY THE BUILDING OFFICIAL.

ALL OVERLAP FRAMED ROOF AREAS SHALL HAVE OPENINGS BETWEEN THE ADJACENT ATTICS IN THE ROOF SHEATHING (AS ALLOWED BY THE STRUCTURAL ENGINEER) TO ALLOW PASSAGE AND ATTIC VENTILATION BETWEEN THE TWO OR ISOLATED ATTIC SPACES SHALL BE VENTED INDEPENDENTLY TO CGC REQUIREMENTS.

PER DEVELOPER, AT ALL CANTILEVERED FLOORS, CANTILEVERED ARCHITECTURAL POP-OUTS, AND ANY DOUBLE FRAMING PROJECTIONS THAT ARE SEPARATED FROM THE VENTING CALCULATIONS SHOWN ABOVE, PROVIDE A CONTINUOUS 2" CORROSION RESISTANT SOFFIT VENT AT UNDERSIDE OF FRAMED ELEMENT.

(PER PER LOCAL CODES)

1 SQUARE INCH VENT FOR EVERY 150 SQUARE INCHES OF CEILING

144 SQ. IN. = 1 SQ. FT.

BLDG. CEILING (SF) X 144 = BLDG (SQ. IN.)

BLDG. (SQ. IN.) / 150 = SQ. IN. OF VENT REQUIRED

ROOF AREA 1 = 1796 SF

1796 SQ. FT. X 144 = 258624 SQ. IN.

258624 SQ. IN. / 150 = 172416 SQ. IN. OF VENT REQ'D

ROOF AREA 2 = 142 SF

142 SQ. FT. X 144 = 20448 SQ. IN.

20448 SQ. IN. / 150 = 13632 SQ. IN. OF VENT REQ'D

ROOF AREA 3 = 113 SF

113 SQ. FT. X 144 = 16272 SQ. IN.

16272 SQ. IN. / 150 = 10848 SQ. IN. OF VENT REQ'D

ROOF AREA 4 = 240 SF

240 SQ. FT. X 144 = 34560 SQ. IN.

34560 SQ. IN. / 150 = 23040 SQ. IN. OF VENT REQ'D

NOTES:

- ALL ROOF DRAINAGE SHALL BE PIPED TO STREET OR APPROVED DRAINAGE FACILITY.
- DASHED LINES INDICATE WALL BELOW.
- LOCATE GUTTER AND DOWNSPOUTS PER BUILDER.
- PITCHED ROOFS AS NOTED.

- THESE MANUFACTURER SHALL SUBMIT STRUCTURAL CALCS AND SHOP DRAWINGS TO THE BUILDER'S GENERAL CONTRACTOR AND BUILDING DEPARTMENT FOR REVIEW PRIOR TO FABRICATIONS.
- ALL PLUMBING VENTS SHALL BE COMBINED INTO A MINIMUM AMOUNT OF ROOF PENETRATIONS. ALL ROOF PENETRATIONS SHALL OCCUR TO THE REAR OF THE MAIN RIDGE.

ATTIC VENT CALCULATION FOR 'DOGWOOD': 1:300 RATIO.

AS AN ALTERNATE TO THE 1/50 RATIO LISTED ABOVE, THE NET FREE CROSS-VENTILATION AREA MAY BE REDUCED TO 1/300 PER LOCAL CODES

GENERAL CONTRACTOR SHALL VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED BY OWNER. VERIFY WITH MANUFACTURER OF HIGH AND LOW VENTS TO BE USED FOR MINIMUM CALCULATED VENTS REQUIRED. THE REQUIRED VENTILATION SHALL BE MAINTAINED. PROVIDE INSULATION STOP SUCH THAT INSULATION DOES NOT OBSTRUCT FREE AIR MOVEMENT AS REQUIRED BY THE BUILDING OFFICIAL.

ALL OVERLAP FRAMED ROOF AREAS SHALL HAVE OPENINGS BETWEEN THE ADJACENT ATTICS IN THE ROOF SHEATHING (AS ALLOWED BY THE STRUCTURAL ENGINEER) TO ALLOW PASSAGE AND ATTIC VENTILATION BETWEEN THE TWO OR ISOLATED ATTIC SPACES SHALL BE VENTED INDEPENDENTLY TO CGC REQUIREMENTS.

PER DEVELOPER, AT ALL CANTILEVERED FLOORS, CANTILEVERED ARCHITECTURAL POP-OUTS, AND ANY DOUBLE FRAMING PROJECTIONS THAT ARE SEPARATED FROM THE VENTING CALCULATIONS SHOWN ABOVE, PROVIDE A CONTINUOUS 2" CORROSION RESISTANT SOFFIT VENT AT UNDERSIDE OF FRAMED ELEMENT.

(PER PER LOCAL CODES)

1 SQUARE INCH VENT FOR EVERY 300 SQUARE INCHES OF CEILING

144 SQ. IN. = 1 SQ. FT.

BLDG. CEILING (SF) X 144 = BLDG (SQ. IN.)

BLDG. (SQ. IN.) / 300 = SQ. IN. OF VENT REQUIRED

SQ. IN. OF VENT REQUIRED / 2 = 50% AT HIGH & 50% AT LOW

ROOF AREA 1 = 1796 SF

1796 SQ. FT. X 144 = 258624 SQ. IN.

258624 SQ. IN. / 300 = 86208 SQ. IN. OF VENT REQ'D

86208 SQ. IN. / 2 = 43104 SQ. IN.

43104 SQ. IN. OF VENT AT HIGH & 43104 SQ. IN. OF VENT AT LOW REQUIRED.

ROOF AREA 2 = 142 SF

142 SQ. FT. X 144 = 20448 SQ. IN.

20448 SQ. IN. / 300 = 6816 SQ. IN. OF VENT REQ'D

6816 SQ. IN. / 2 = 3408 SQ. IN.

3408 SQ. IN. OF VENT AT HIGH & 3408 SQ. IN. OF VENT AT LOW REQUIRED.

ROOF AREA 3 = 113 SF

113 SQ. FT. X 144 = 16272 SQ. IN.

16272 SQ. IN. / 300 = 5424 SQ. IN. OF VENT REQ'D

5424 SQ. IN. / 2 = 2712 SQ. IN.

2712 SQ. IN. OF VENT AT HIGH & 2712 SQ. IN. OF VENT AT LOW REQUIRED.

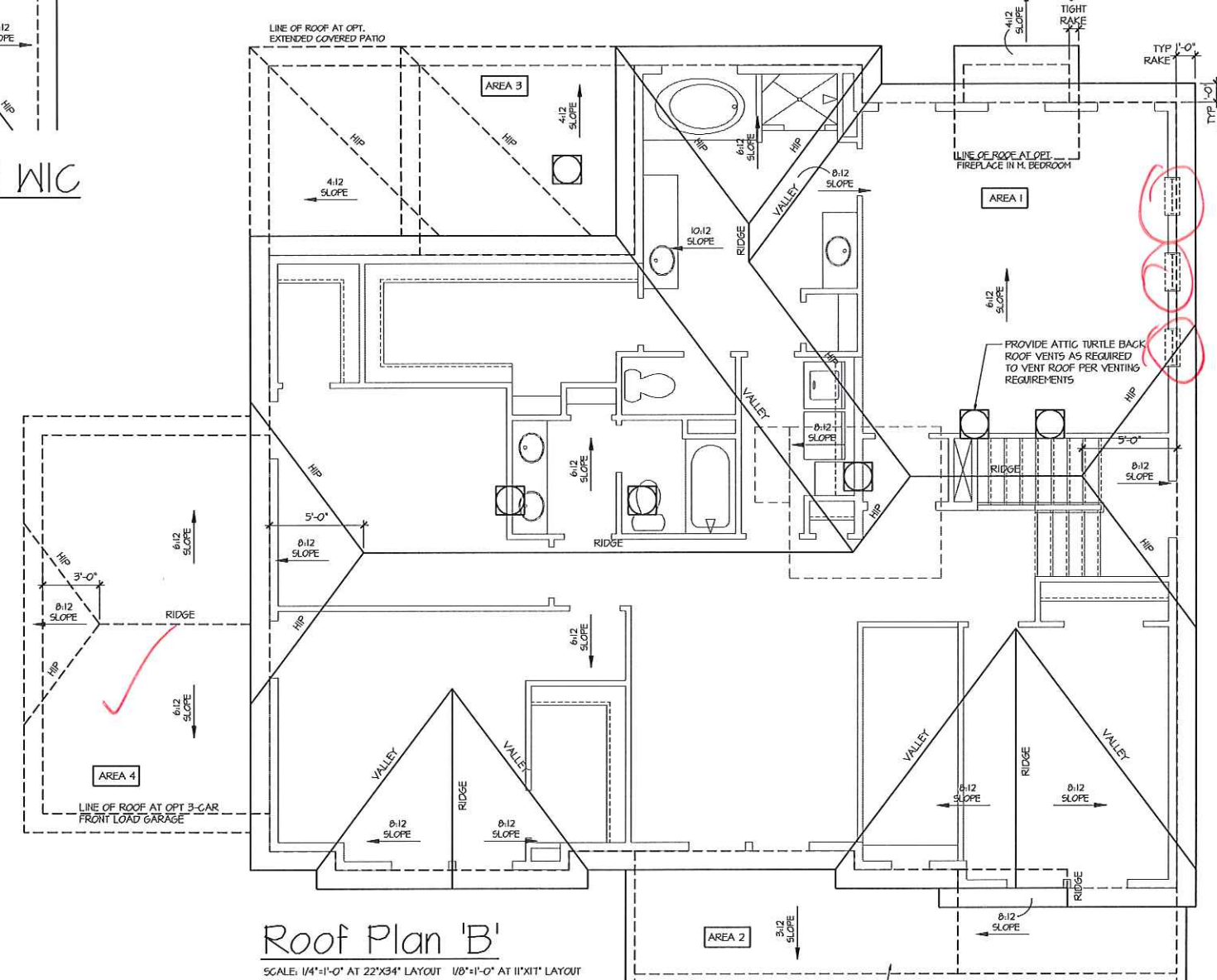
ROOF AREA 4 = 240 SF

240 SQ. FT. X 144 = 34560 SQ. IN.

34560 SQ. IN. / 300 = 11520 SQ. IN. OF VENT REQ'D

11520 SQ. IN. / 2 = 5760 SQ. IN.

5760 SQ. IN. OF VENT AT HIGH & 5760 SQ. IN. OF VENT AT LOW REQUIRED.



Roof Plan 'B'

SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X11" LAYOUT



ATLANTA, GEORGIA LOCATION:
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△	01/26/17	FRAME WALK GAWSES
△	02/22/17	SOUTH CAROLINA NORTH CAROLINA SETS
△	04/14/17	ADDITIONAL BALDUR REVISIONS

PROFESSIONAL SEAL:

PROJECT TITLE:
50' Plans

ISSUED FOR PERMIT CONSTRUCTION

CLIENTS NAME:
[Logo]

PROJECT NO: GMD-GAI6014

SHEET TITLE:
DOGWOOD - LH ROOF PLAN 'B'

PRINT DATE:
May 31, 2016

SHEET NO:
A1.6.2

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△	01.26.17	FRAME WALK CANNES
△	02.22.17	SOUTH CAROLINA NORTH CAROLINA SETS
△	04.14.17	ADDITIONAL BULDER REVISIONS

PROFESSIONAL SEAL:

PROJECT TITLE:

50' Plans

**ISSUED FOR PERMIT
CONSTRUCTION**

CLIENTS NAME:

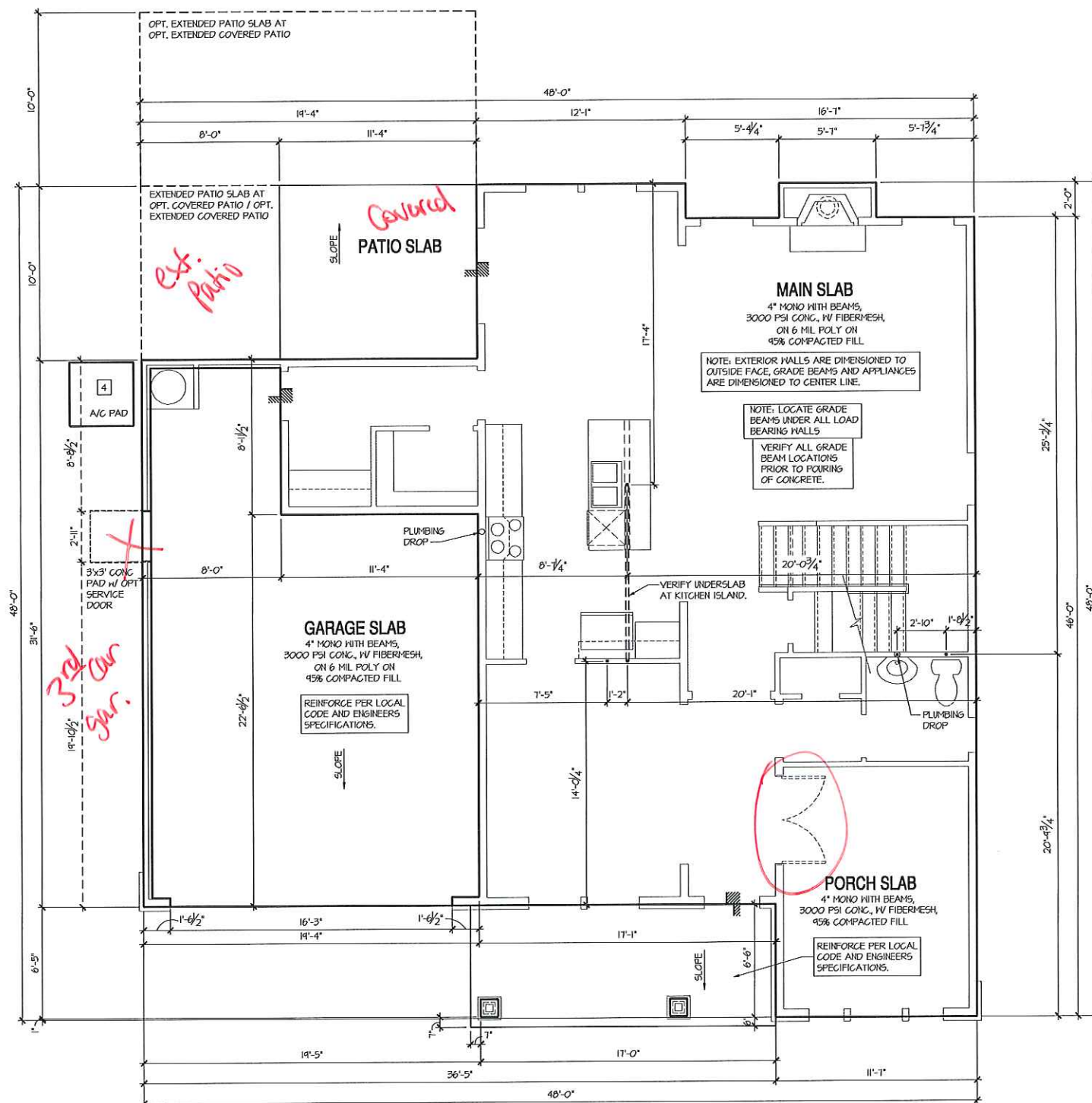


PROJECT NO: GMD-GAI6014

SHEET TITLE:
**DOGWOOD - LH
MONOLITHIC
SLAB PLAN 'B'**

PRINT DATE:
May 31, 2016

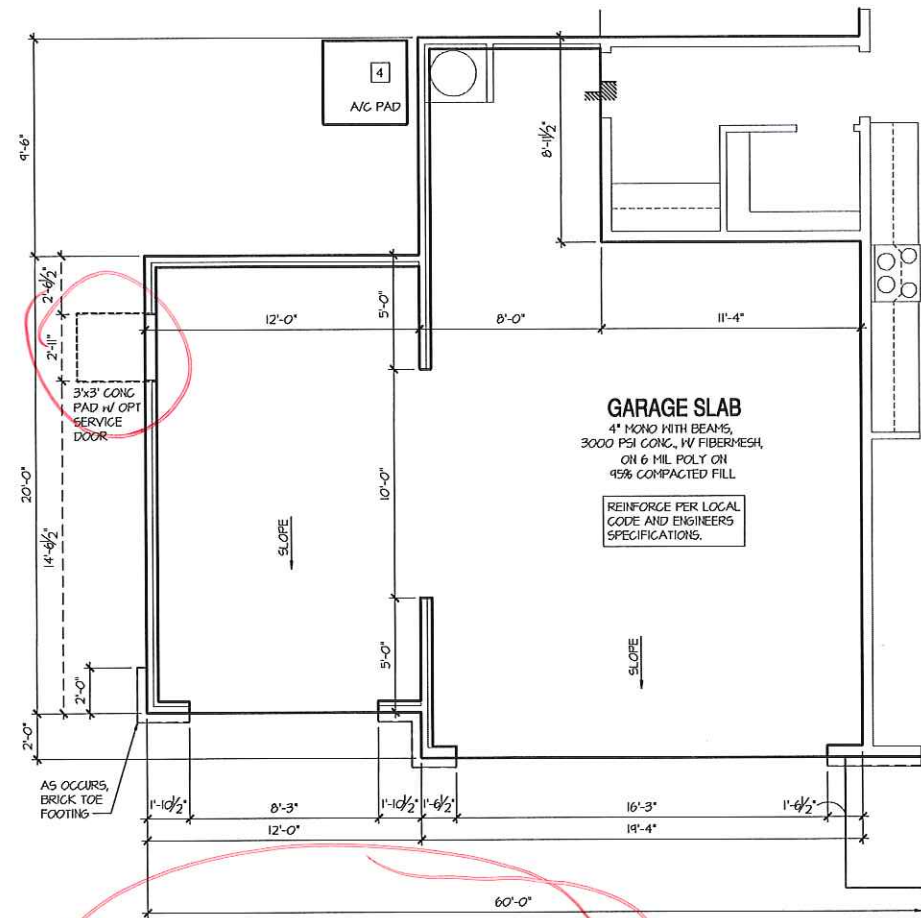
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A1.0.2



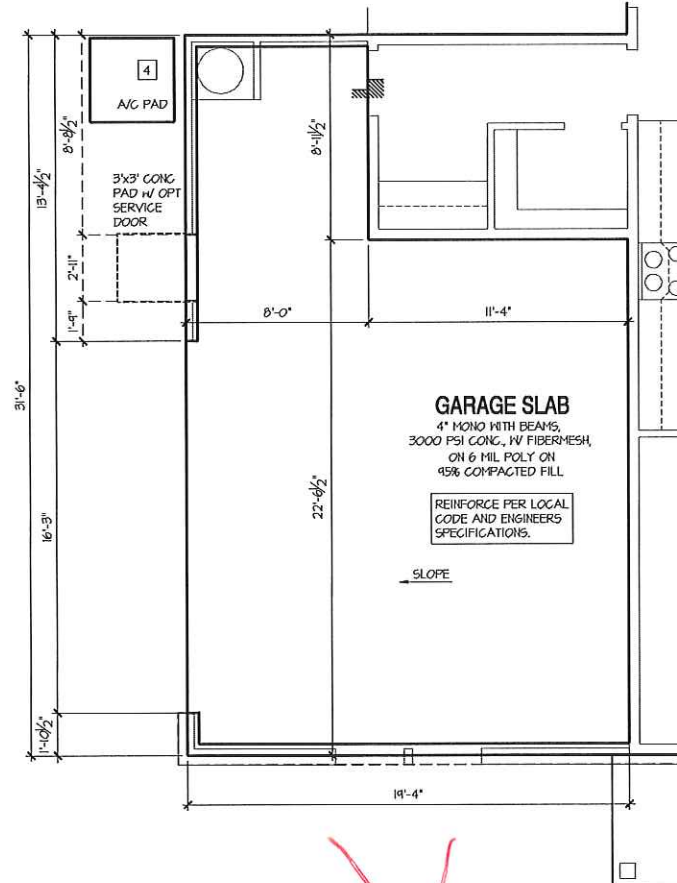
Monolithic Slab Plan 'B'

SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X11" LAYOUT

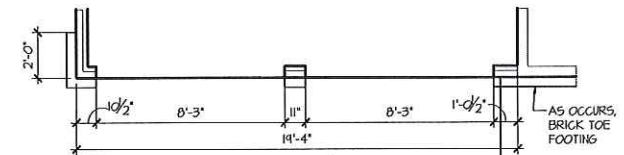
- NOTES:**
- IRRIGATION SYSTEM SHALL BE DESIGNED TO PREVENT THE SATURATION OF SOIL ADJACENT TO BUILDING.
 - THIS PERIMETER DIMENSION PLAN IS FOR DIMENSIONAL INFORMATION ONLY.
 - SLOPE ALL STOOPS AND HARDSCAPE MATERIAL AWAY FROM BUILDING - TYPICAL.
 - SLOPE GARAGE FLOOR 1/8" PER FOOT TO GARAGE DOOR OPENING.
 - VERIFY CURB CUT BLOCKOUT WITH GARAGE DOOR MANUFACTURER.
 - REFER TO CIVIL DRAWINGS FOR FINISH SURFACE ELEVATIONS.
 - FINISH GRADE SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING. REFER TO SOILS REPORT FOR ANY SPECIFIC REQUIREMENTS.
 - REFER TO STRUCTURAL DRAWINGS FOR HOLDDOWNS, FOOTING DETAILS, CURB THICKNESS, AND INFORMATION NOT SHOWN ON THIS PLAN.
 - PLUMBING FIXTURES, VENT LOCATIONS, ETC. ARE APPROXIMATE. CONTRACTOR TO VERIFY COUNT AND LOCATION.
 - VERIFY THE SUPPLY FOR SEPARATE CONDUITS TO ANY ISLAND FOR GAS, WATER OR ELECTRIC.
 - VERIFY ALL DOOR THRESHOLD HEIGHTS TO HARD SURFACES.
 - TYP STOOPT AT INSWING/SLIDER DOORS: 3/4" DEEP BY THE WIDTH OF THE DOOR SERVED, MINIMUM. (PER LOCAL CODE) PROVIDE A SLIP-RESISTANT FINISH.
 - FOR THE USE OF EXPOSED GAS WATER HEATERS IN THE GARAGE, INSTALL THE WATER HEATER PER LOCAL CODE. PROTECT THE GAS APPLIANCE FROM MOTOR VEHICLE IMPACT PROTECTION PER LOCAL CODE.
 - SOILS TREATMENT, SENTRIGON BAIT STATIONS OR BORACARE TERMITE TO BE APPLIED TO FRAMING PER PRODUCT SPECIFICATIONS. (PROVIDE CHEMICAL TREATMENT FOR PROTECTION FROM TERMITE INVESTIGATION ACCORDING TO LOCAL CODES)
 - WOOD CONTACTING CONCRETE OR MASONRY OR LESS THAN CODE REQUIRED SEPARATION TO GRADE SHALL BE PRESSURE TREATED OR FOUNDATION GRADE REDWOOD. SET ALL EXTERIOR WALL SILLS IN MASTIC.



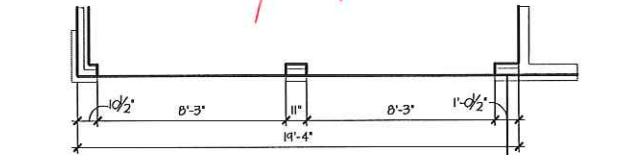
Optional 3-Car Garage - Front Load
 SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X11" LAYOUT



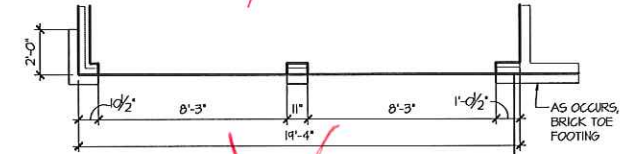
Opt. Side Load Garage
 SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X11" LAYOUT



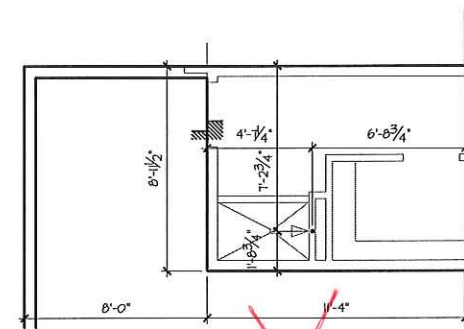
Opt. 2 Door Garage 'A'
 SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X11" LAYOUT



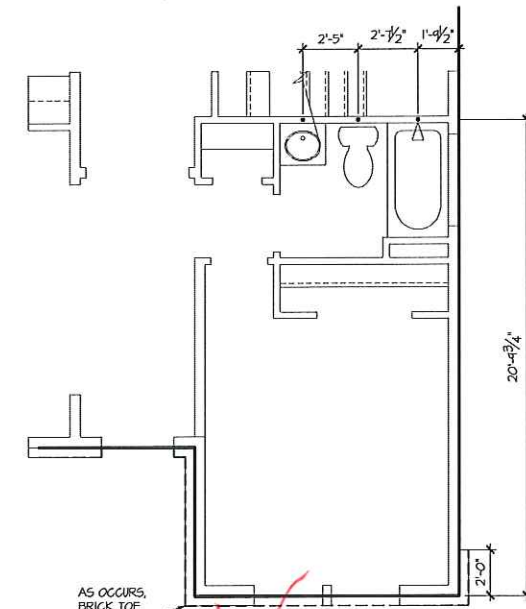
Opt. 2 Door Garage 'B'
 SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X11" LAYOUT



Opt. 2 Door Garage 'C'
 SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X11" LAYOUT



Opt. Pet Shower
 SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X11" LAYOUT



Opt. Bed 5 / Bath 3
 SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X11" LAYOUT

- NOTES:**
- IRRIGATION SYSTEM SHALL BE DESIGNED TO PREVENT THE SATURATION OF SOIL ADJACENT TO BUILDING.
 - THIS PERIMETER DIMENSION PLAN IS FOR DIMENSIONAL INFORMATION ONLY.
 - SLOPE ALL STOOPS AND HARDSCAPE MATERIAL AWAY FROM BUILDING - TYPICAL.
 - SLOPE GARAGE FLOOR 1/8" PER FOOT TO GARAGE DOOR OPENINGS.
 - VERIFY CURB CUT BLOCKOUT WITH GARAGE DOOR MANUFACTURER.
 - REFER TO CIVIL DRAWINGS FOR FINISH SURFACE ELEVATIONS.
 - FINISH GRADE SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING. REFER TO SOILS REPORT FOR ANY SPECIFIC REQUIREMENTS.
 - REFER TO STRUCTURAL DRAWINGS FOR HOLDDOWNS, FOOTING DETAILS, CURB THICKNESS, AND INFORMATION NOT SHOWN ON THIS PLAN.
 - PLUMBING FIXTURES, VENT LOCATIONS, ETC. ARE APPROXIMATE. CONTRACTOR TO VERIFY COUNT AND LOCATION.
 - VERIFY THE SUPPLY FOR SEPARATE CONDUITS TO ANY ISLAND FOR GAS, WATER OR ELECTRIC.
 - VERIFY ALL DOOR THRESHOLD HEIGHTS TO HARD SURFACES. 7 3/4" MAX AT INSULATED DOORS. (PER LOCAL CODE)
 - TYP STOOP AT INSULATED SLIDER DOORS: 36" DEEP BY THE WIDTH OF THE DOOR SERVED, MINIMUM. (PER LOCAL CODE) PROVIDE A SLIP-RESISTANT FINISH.
 - FOR THE USE OF EXPOSED GAS WATER HEATERS IN THE GARAGE, INSTALL THE WATER HEATER PER LOCAL CODE. PROTECT THE GAS APPLIANCE FROM MOTOR VEHICLE IMPACT PROTECTION PER LOCAL CODE.
 - SOILS TREATMENT: BENTRIGON BAIT STATIONS OR EXORAGARE TERMITES TO BE APPLIED TO FRAMING PER PRODUCT SPECIFICATIONS. (PROVIDE CHEMICAL TREATMENT FOR PROTECTION FROM TERMITES INVESTIGATION ACCORDING TO LOCAL CODES.)
 - WOOD CONTACTING CONCRETE OR MASONRY OR LESS THAN CODE REQUIRED SEPARATION TO GRADE SHALL BE PRESSURE TREATED OR FOUNDATION GRADE REDWOOD. SET ALL EXTERIOR HALL SILLS IN MASTIC.



ATLANTA, GEORGIA LOCATION:
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5	04/14/17	ADDITIONAL BUILDER REVISIONS

PROFESSIONAL SEAL:

PROJECT TITLE:
50' Plans

ISSUED FOR/PERMIT CONSTRUCTION

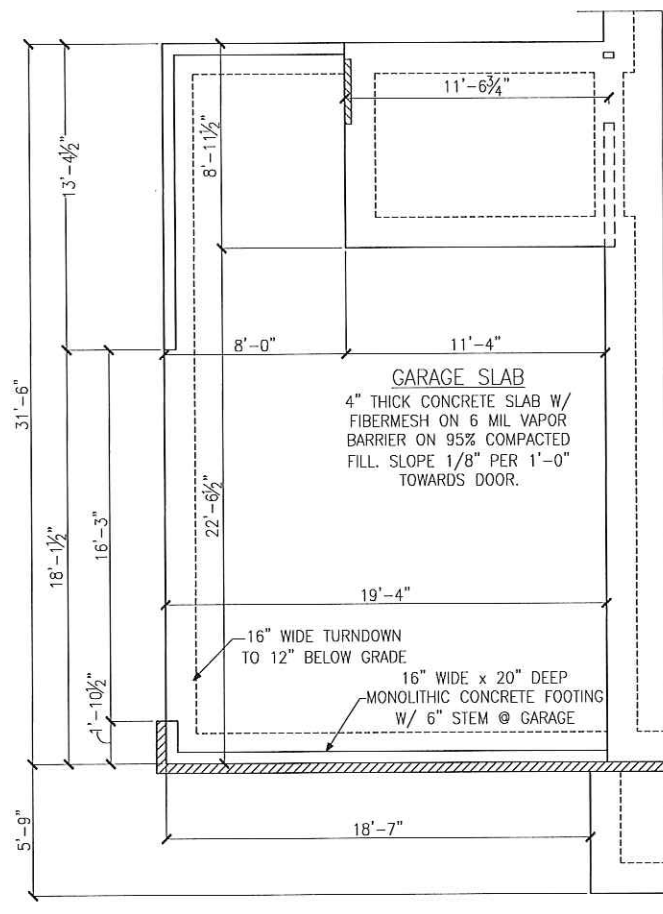


PROJECT NO: GMD-GA16014

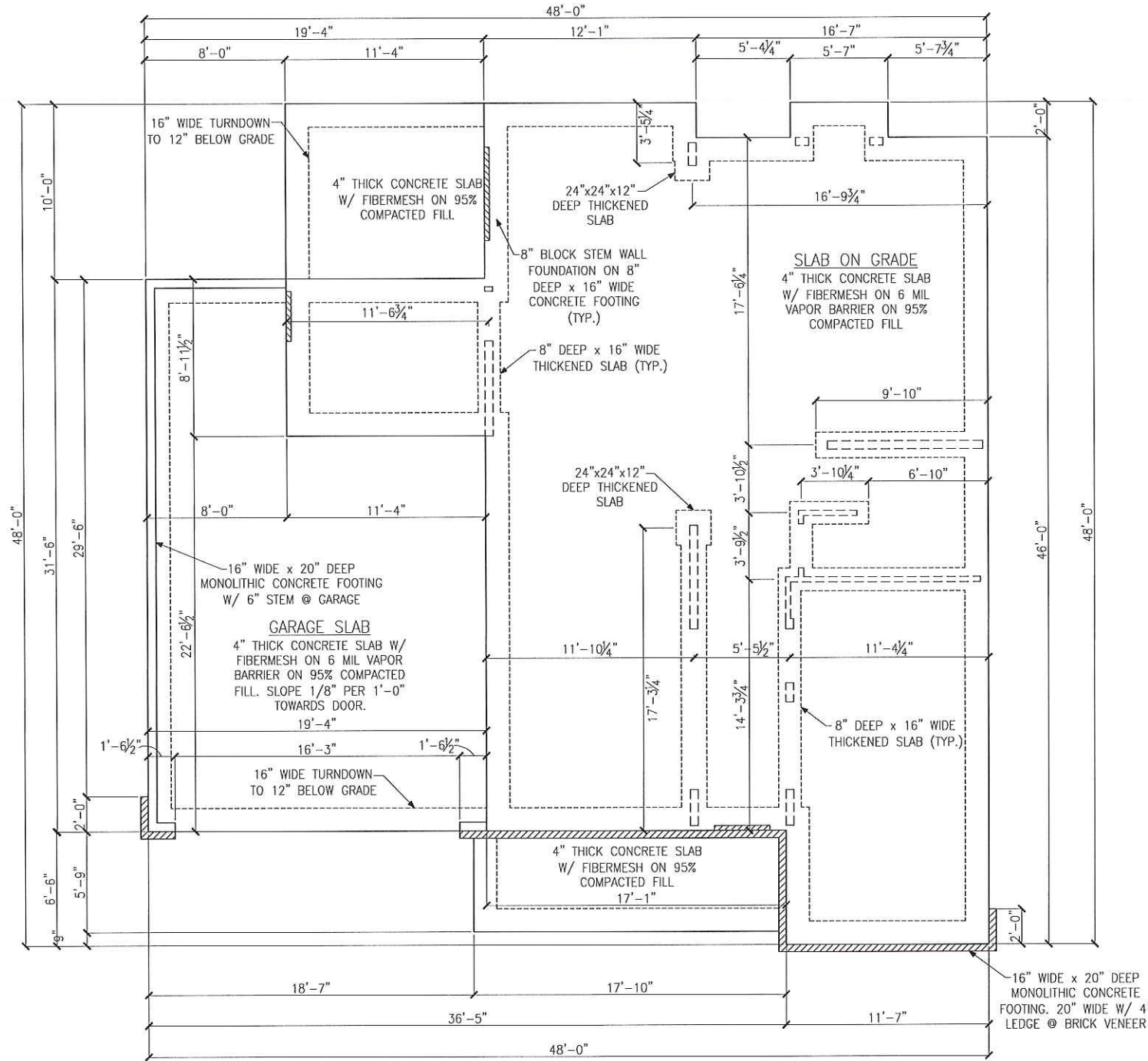
SHEET TITLE:
DOGWOOD - LH MONOLITHIC SLAB PLAN OPTIONS

PRINT DATE:
 May 31, 2016

SHEET NO:
A1.0.1



~~PARTIAL FOUNDATION PLAN
OPT. SIDE LOAD GARAGE
ELEVATION A~~



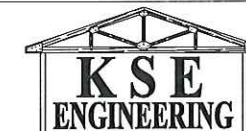
MONOLITHIC SLAB FOUNDATION PLAN
ELEVATION A



REFER TO SHEET SD-1 FOR GENERAL
STRUCTURAL NOTES AND DETAILS

LEGEND

⇒ LOCATION OF DOOR ABOVE



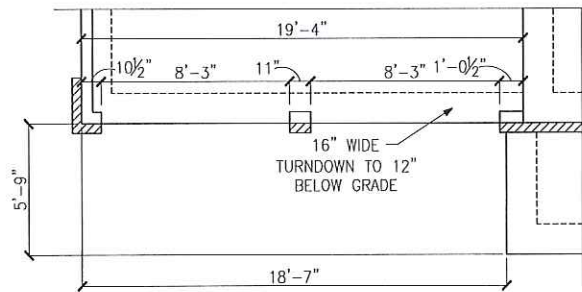
1900 AM Dr., Suite 201, Quakertown PA 18951
Phone: (215) 804-4449 FAX: (215) 804-4459
www.kse-eng.com

REVISION HISTORY

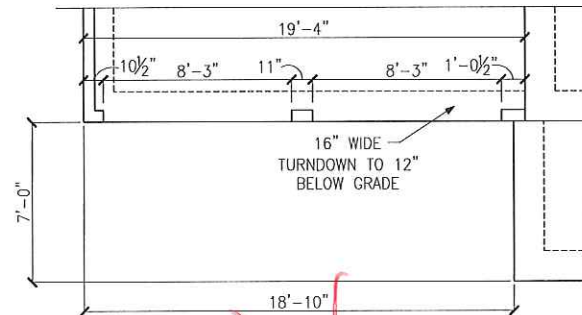


Monolithic Slab Foundation Plans
Elevation A & Options
Dogwood Model - LH
100 M.P.H.
Fayetteville, NC

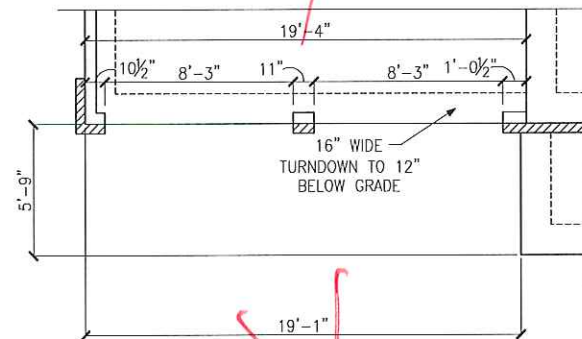
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Designed By:	KRK
Checked By:	
Issue Date:	1/16/17
Re-Issue:	2/6/17
Scale:	1/4"=1'-0"



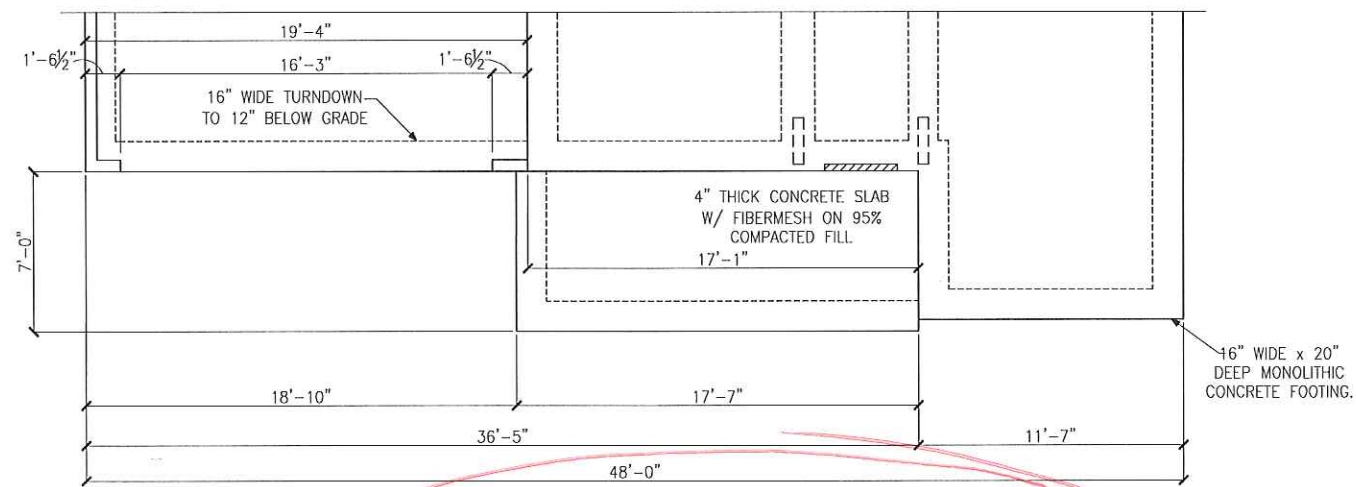
~~PARTIAL FOUNDATION PLAN
OPT. 2 DOOR GARAGE
ELEVATION A~~



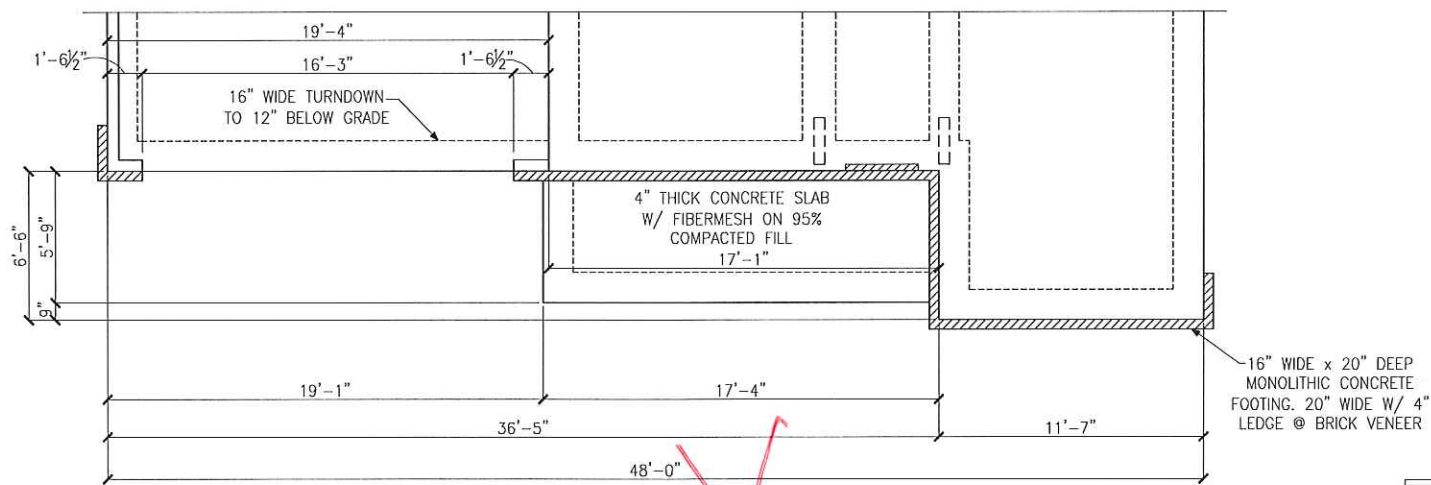
~~PARTIAL FOUNDATION PLAN
OPT. 2 DOOR GARAGE
ELEVATION B~~



~~PARTIAL FOUNDATION PLAN
OPT. 2 DOOR GARAGE
ELEVATION C~~



MONOLITHIC SLAB FOUNDATION PLAN
ELEVATION B



~~MONOLITHIC SLAB FOUNDATION PLAN
ELEVATION C~~



REFER TO SHEET SD-1 FOR GENERAL
STRUCTURAL NOTES AND DETAILS

LEGEND

▨ ⇒ LOCATION OF DOOR ABOVE



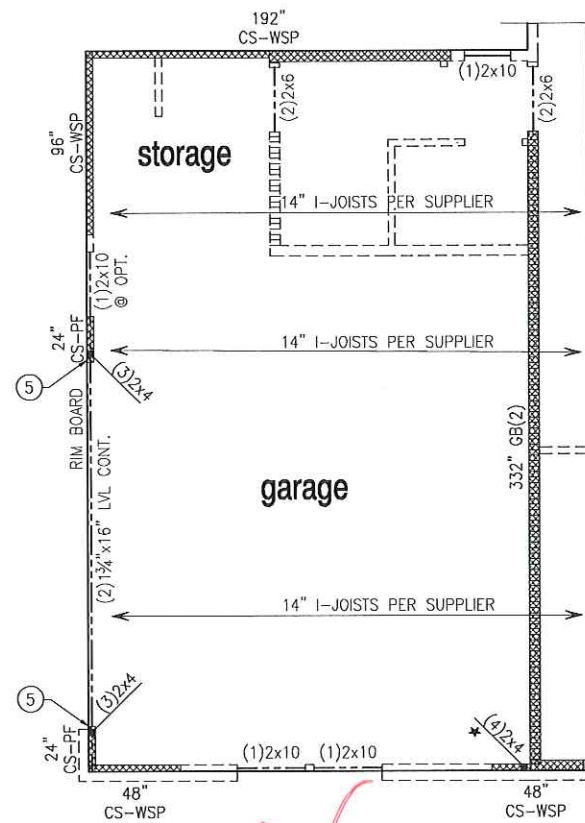
1900 AM Dr., Suite 201, Quakertown PA 18951
Phone: (215) 804-4449 FAX: (215) 804-4459
www.kse-eng.com

REVISION HISTORY

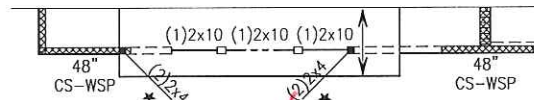


Monolithic Slab Foundation Plans
Elevations B & C
Dogwood Model - LH
100 M.P.H.
Fayetteville, NC

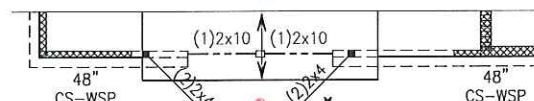
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Designed By:	KRK
Checked By:	
Issue Date:	1/16/17
Re-Issue:	2/6/17
Scale:	1/4" = 1'-0"



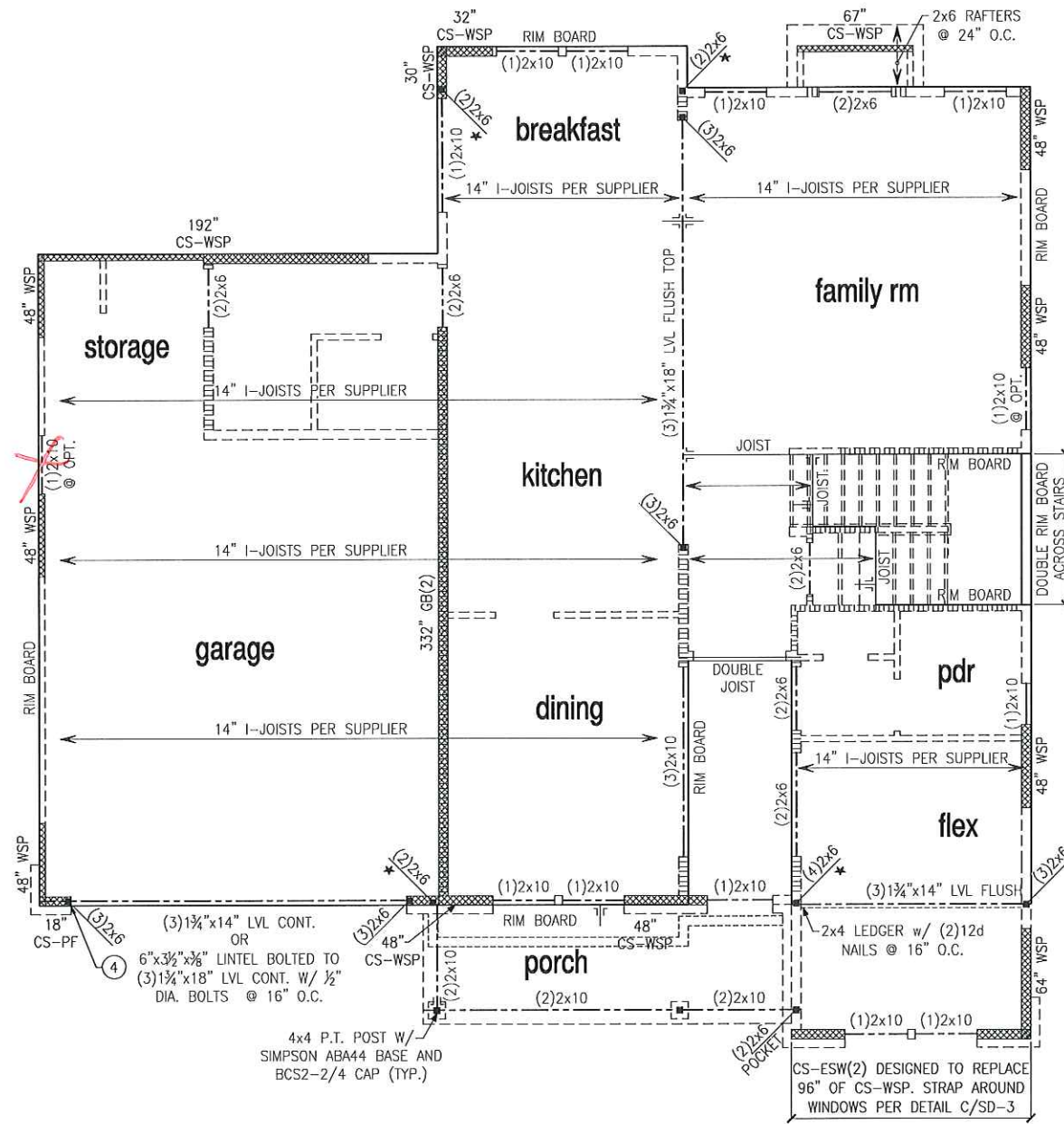
PARTIAL FRAMING PLAN
OPT. SIDE LOAD GARAGE
ELEVATION A



PARTIAL FRAMING PLAN
OPT. SIDE LOAD GARAGE
ELEVATION B



PARTIAL FRAMING PLAN
OPT. SIDE LOAD GARAGE
ELEVATION C



SECOND FLOOR FRAMING PLAN
ELEVATION A

BRACED WALL PANELS:

XXXXXX
28" INDICATES BRACED WALL PANEL
CS-WSP LENGTH AND TYPE

INTERMITTENT SHEATHED BRACED WALL PANEL TYPES:

WSP WOOD STRUCTURAL PANEL
GB(1) GYPSUM BOARD (ONE SIDE ONLY)
GB(2) GYPSUM BOARD (TWO SIDES)

CONTINUOUS SHEATHED BRACED WALL PANEL TYPES:

CS-WSP WOOD STRUCTURAL PANEL
CS-PF CONTINUOUS PORTAL FRAME
CS-ESW ENGINEERED SHEAR WALL

SEE SHEET SD-1 THRU SD-5 FOR BRACED WALL
PANEL SHEATHING FASTENING & BLOCKING DETAILS

WALL BRACING KEYNOTES:

- ④ INSTALL ONE PANEL CS-PF PORTAL FRAME PER DETAIL A OR B/SD-4.
- ⑤ INSTALL TWO PANEL CS-PF PORTAL FRAME PER DETAIL A OR B/SD-4.



THIS PLAN DESIGNED FOR 9"
NOMINAL WALL PLATE HEIGHT.

FLOOR FRAMING TO BE 14" DEEP
TJI 110 SERIES OR EQUAL,
SPACING PER MANUFACTURER.

REFER TO SHEET SD-1 FOR GENERAL
STRUCTURAL NOTES AND DETAILS

NOTE:

FACE NAIL ALL MULTI-PLY BEAMS AND HEADERS
WITH (2) ROWS 16d COMMON NAILS @ 16" O.C.,
STAGGERED, OR PER MANUFACTURERS'
SPECIFICATIONS FOR ENGINEERED LUMBER. APPLY
NAILING FROM BOTH FACES FOR (3) OR MORE PLYS.
SEE TRUSS MANUFACTURERS SHOP DRAWINGS FOR
PERMANENT LATERAL BRACING REQUIREMENTS.

* / ⇒ PROVIDE SOLID BLOCKING WITHIN FLOOR
SYSTEM TO MATCH POST SIZE ABOVE.



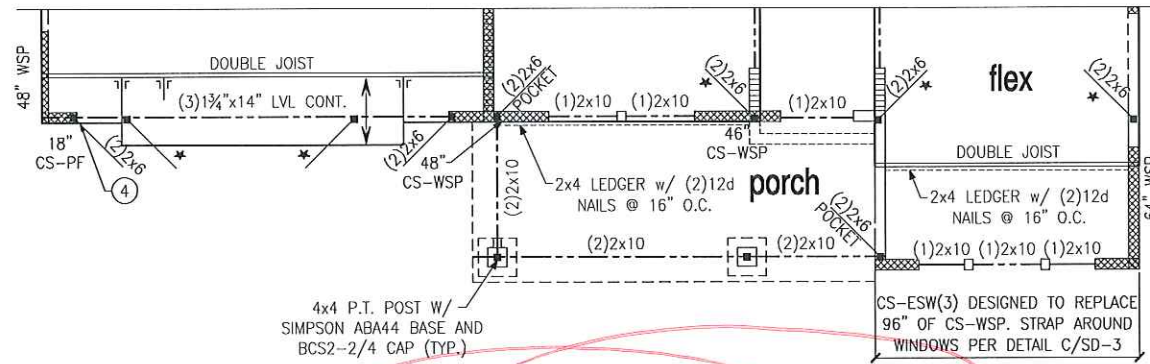
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REVISION HISTORY

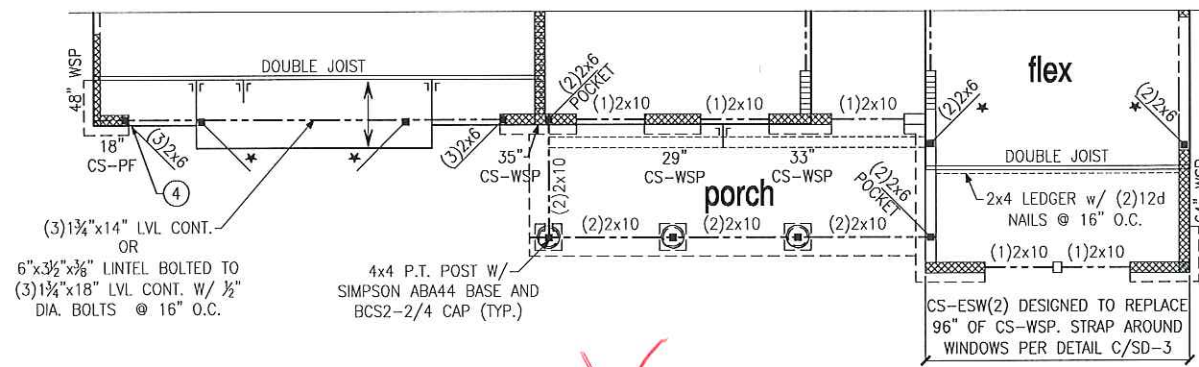


Second Floor Framing Plan
Elevation A
Dogwood Model - LH
100 M.P.H.
Fayetteville, NC

Project #: 105-16007
Designed By: KRK
Checked By:
Issue Date: 1/16/17
Re-Issue: 2/6/17
Scale: 1/4"=1'-0"



SECOND FLOOR FRAMING PLAN
ELEVATION B



SECOND FLOOR FRAMING PLAN
ELEVATION C

BRACED WALL PANELS:
 28" INDICATES BRACED WALL PANEL LENGTH AND TYPE
 CS-WSP

INTERMITTENT SHEATHED BRACED WALL PANEL TYPES:
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THIS PLAN DESIGNED FOR 9' NOMINAL WALL PLATE HEIGHT.

FLOOR FRAMING TO BE 14" DEEP TJI 110 SERIES OR EQUAL, SPACING PER MANUFACTURER.


REFER TO SHEET SD-1 FOR GENERAL STRUCTURAL NOTES AND DETAILS

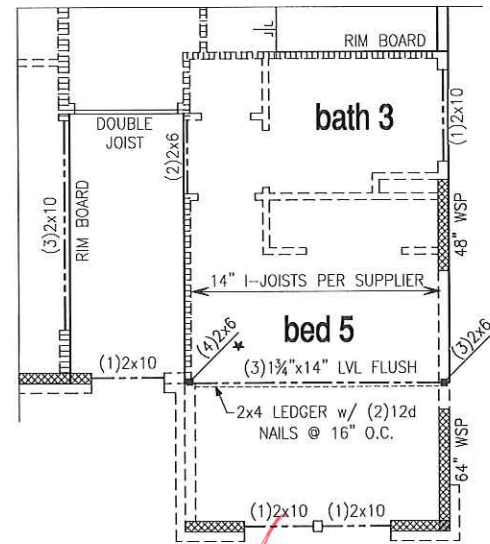
NOTE:
 FACE NAIL ALL MULTI-PLY BEAMS AND HEADERS WITH (2) ROWS 16d COMMON NAILS @ 16" O.C., STAGGERED, OR PER MANUFACTURERS' SPECIFICATIONS FOR ENGINEERED LUMBER. APPLY NAILING FROM BOTH FACES FOR (3) OR MORE PLIES.
 SEE TRUSS MANUFACTURERS SHOP DRAWINGS FOR PERMANENT LATERAL BRACING REQUIREMENTS.

* / ⇒ PROVIDE SOLID BLOCKING WITHIN FLOOR SYSTEM TO MATCH POST SIZE ABOVE.

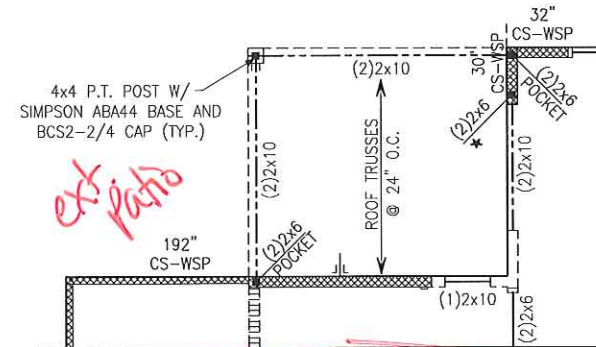


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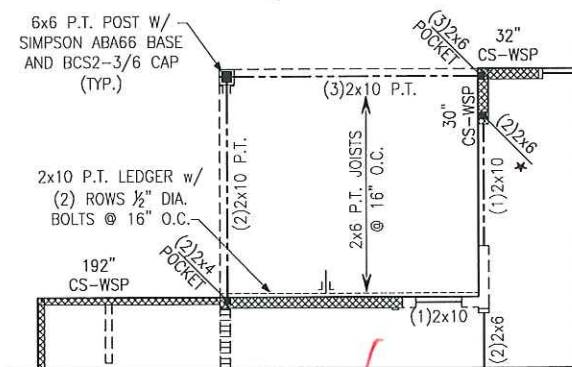
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<p>Second Floor Framing Plans Elevations B, C & Option Dogwood Model - LH 100 M.P.H. Fayetteville, NC</p>													
<p>Project #: 105-16007 Designed By: KRK Checked By: Issue Date: 1/16/17 Re-Issue: 2/6/17 Scale: 1/4"=1'-0"</p>													
<p>S-2.1</p>													



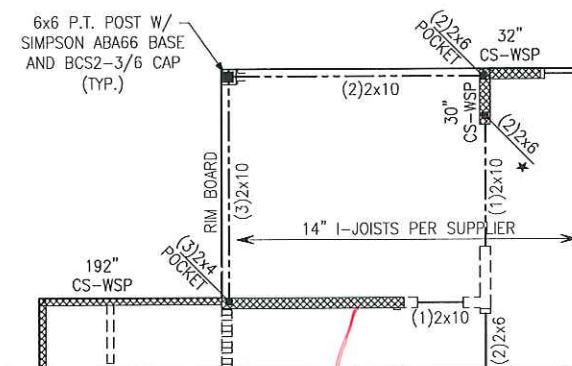
~~PARTIAL FRAMING PLAN
OPT. BED 5/BATH3~~



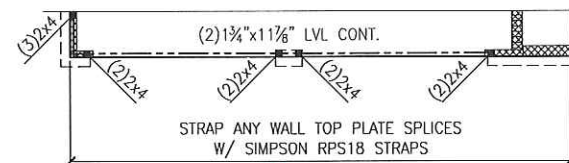
~~PARTIAL FRAMING PLAN
OPT. COVERED PATIO~~



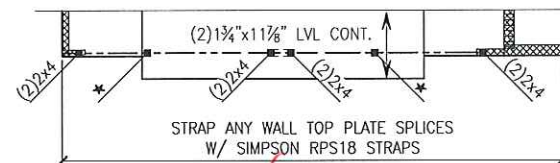
~~PARTIAL FRAMING PLAN
OPT. COVERED DECK OVER PATIO~~



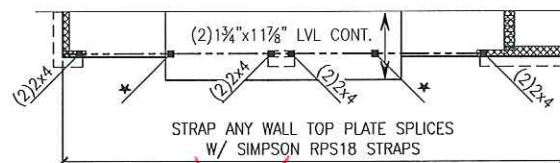
~~PARTIAL FRAMING PLAN
OPT. EXPANDED WIC OVER PATIO~~



~~PARTIAL FRAMING PLAN
OPT. 2 DOOR GARAGE
ELEVATION A~~



~~PARTIAL FRAMING PLAN
OPT. 2 DOOR GARAGE
ELEVATION B~~



~~PARTIAL FRAMING PLAN
OPT. 2 DOOR GARAGE
ELEVATION C~~

BRACED WALL PANELS:

XXXXXX INDICATES BRACED WALL PANEL
28\"/>

INTERMITTENT SHEATHED BRACED WALL PANEL TYPES:
WSP WOOD STRUCTURAL PANEL
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SEE SHEET SD-1 THRU SD-5 FOR BRACED WALL PANEL SHEATHING FASTENING & BLOCKING DETAILS

WALL BRACING KEYNOTES:

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- ⑤ INSTALL TWO PANEL CS-PF PORTAL FRAME PER DETAIL A OR B/SD-4.



THIS PLAN DESIGNED FOR 9\"/>

FLOOR FRAMING TO BE 14\"/>

REFER TO SHEET SD-1 FOR GENERAL STRUCTURAL NOTES AND DETAILS

NOTE:

FACE NAIL ALL MULTI-PLY BEAMS AND HEADERS WITH (2) ROWS 16d COMMON NAILS @ 16\"/>

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REVISION HISTORY



Second Floor Framing Plans

Options

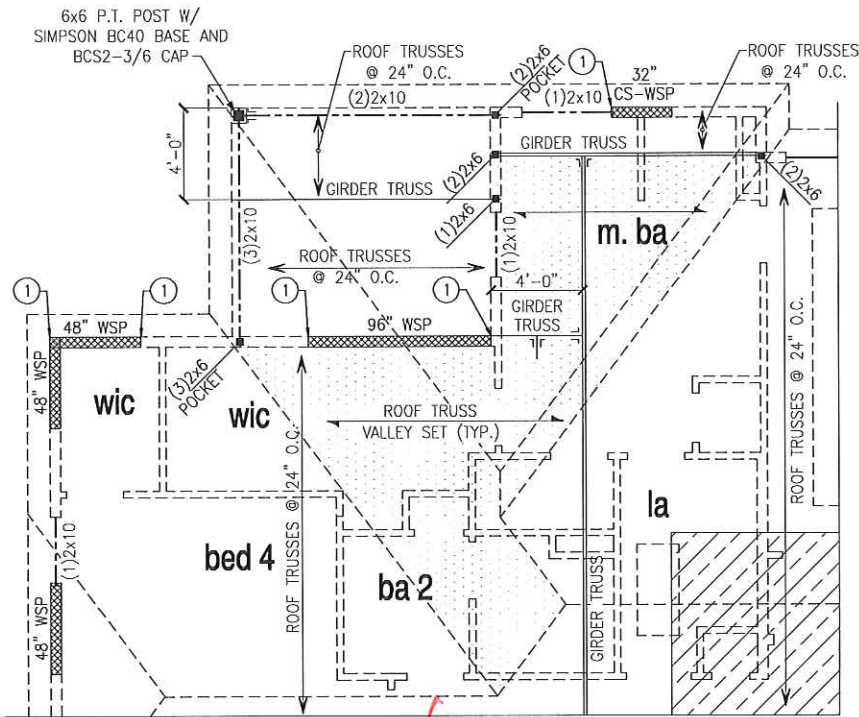
Dogwood Model - LH

100 M.P.H.

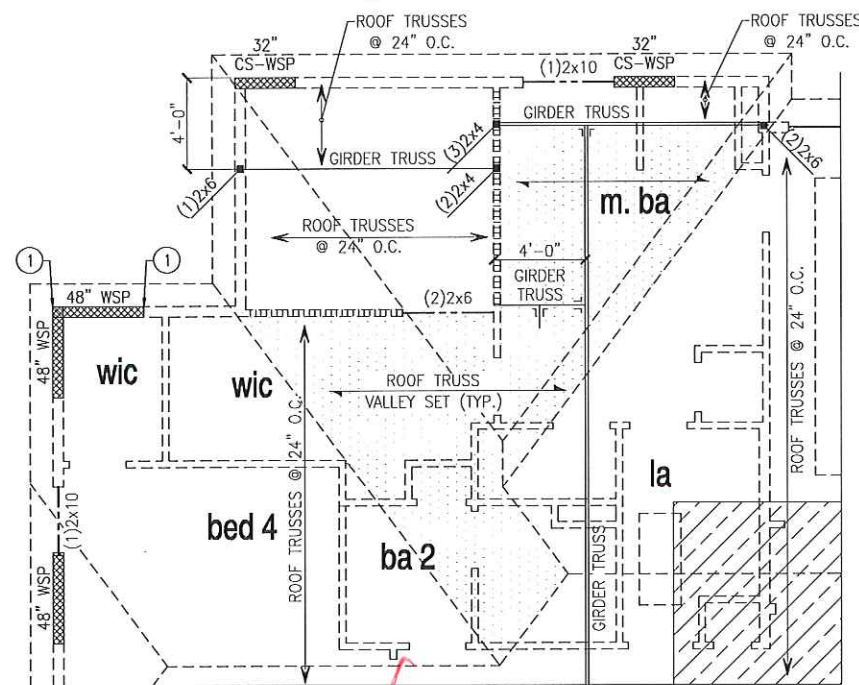
Fayetteville, NC

Project #: 105-16007
Designed By: KRK
Checked By:
Issue Date: 1/16/17
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Scale: 1/4"=1'-0"

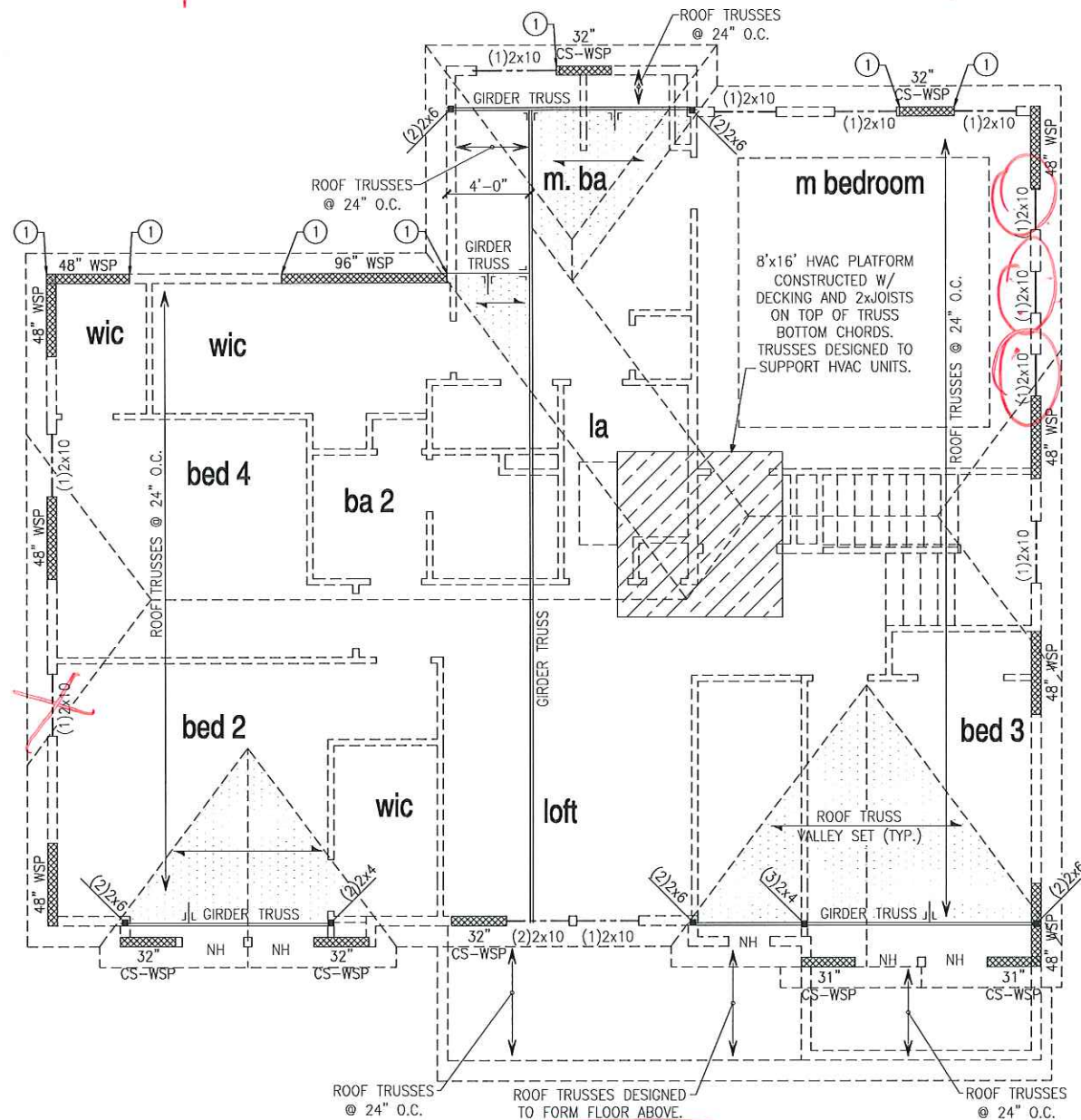
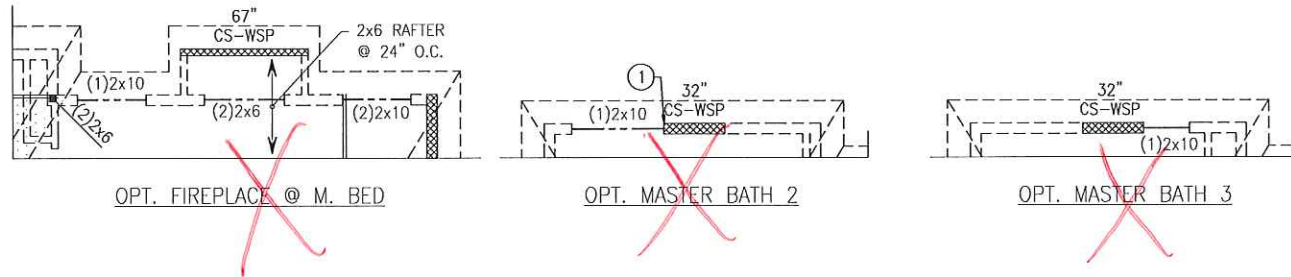
S-2.2



ROOF FRAMING PLAN
OPT. COVERED DECK



ROOF FRAMING PLAN
OPT. EXPANDED WIC



ROOF FRAMING PLAN
ELEVATION B

BRACED WALL PANELS:
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 CS-WSP LENGTH AND TYPE

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 CS-ESW ENGINEERED SHEAR WALL

SEE SHEET SD-1 THRU SD-5 FOR BRACED WALL PANEL SHEATHING FASTENING & BLOCKING DETAILS

WALL BRACING KEYNOTES:
 ① CONNECT STUD AT END OF BRACED WALL PANEL TO FRAMING BELOW WITH A 30" LONG SIMPSON CS22 COIL STRAP WITH MIN 8-10d NAILS EACH END.



THIS PLAN DESIGNED FOR 9" NOMINAL WALL PLATE HEIGHT.

REFER TO TRUSS MANUFACTURER'S SHOP DRAWINGS FOR ROOF TRUSS PROFILES

REFER TO SHEET SD-1 FOR GENERAL STRUCTURAL NOTES AND DETAILS

NOTE:
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 SEE TRUSS MANUFACTURERS SHOP DRAWINGS FOR PERMANENT LATERAL BRACING REQUIREMENTS.

→ PROVIDE SOLID BLOCKING WITHIN FLOOR SYSTEM TO MATCH POST SIZE ABOVE.



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REVISION HISTORY



Roof Framing Plans & Options
 Elevation B & Options
 Dogwood Model - LH
 100 M.P.H.
 Fayetteville, NC

Project #: 105-16007
 Designed By: KRK
 Checked By:
 Issue Date: 1/16/17
 Re-issue: 2/6/17
 Scale: 1/4"=1'-0"

NO.	DATE	REVISION
▲	05.31.16	FIRST SUBMITTAL
▲	01.29.16	FRAME HALL CHANGES
▲	02.22.11	SOUTH CAROLINA NORTH CAROLINA SETS

PROFESSIONAL SEAL:

PROJECT TITLE:

ISSUED FOR PERMIT
CONSTRUCTION

CLIENTS NAME:

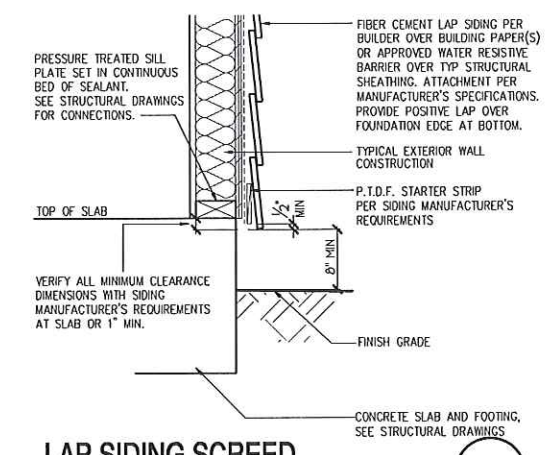


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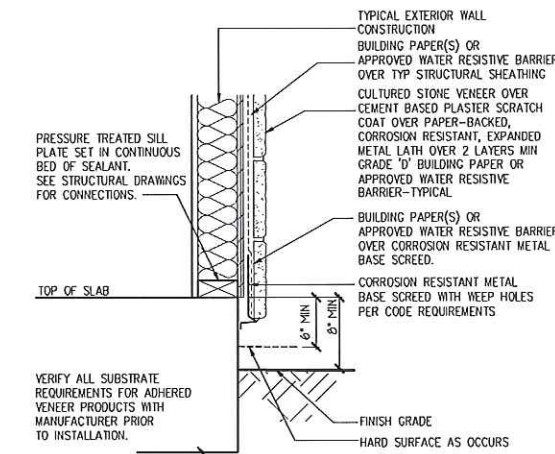
SHEET TITLE:
DETAILS

PRINT DATE:
May 31, 2016

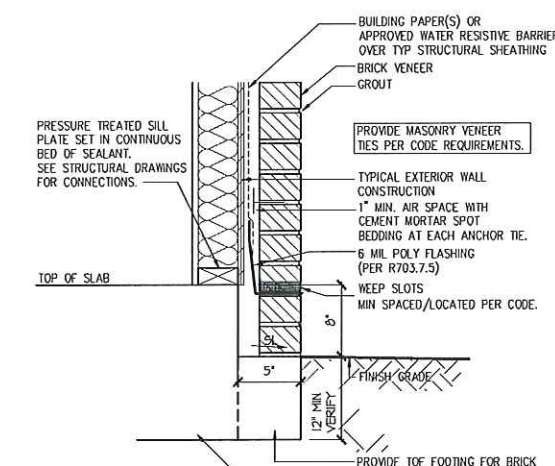
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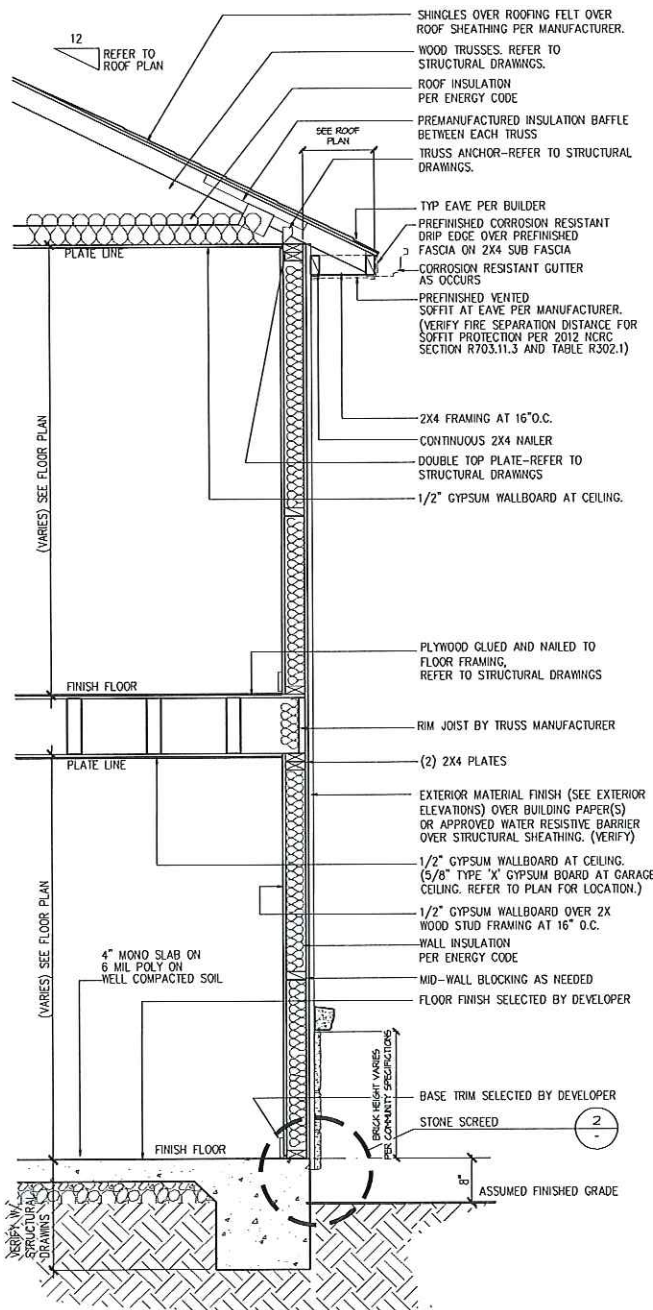
LAP SIDING SCREE 1



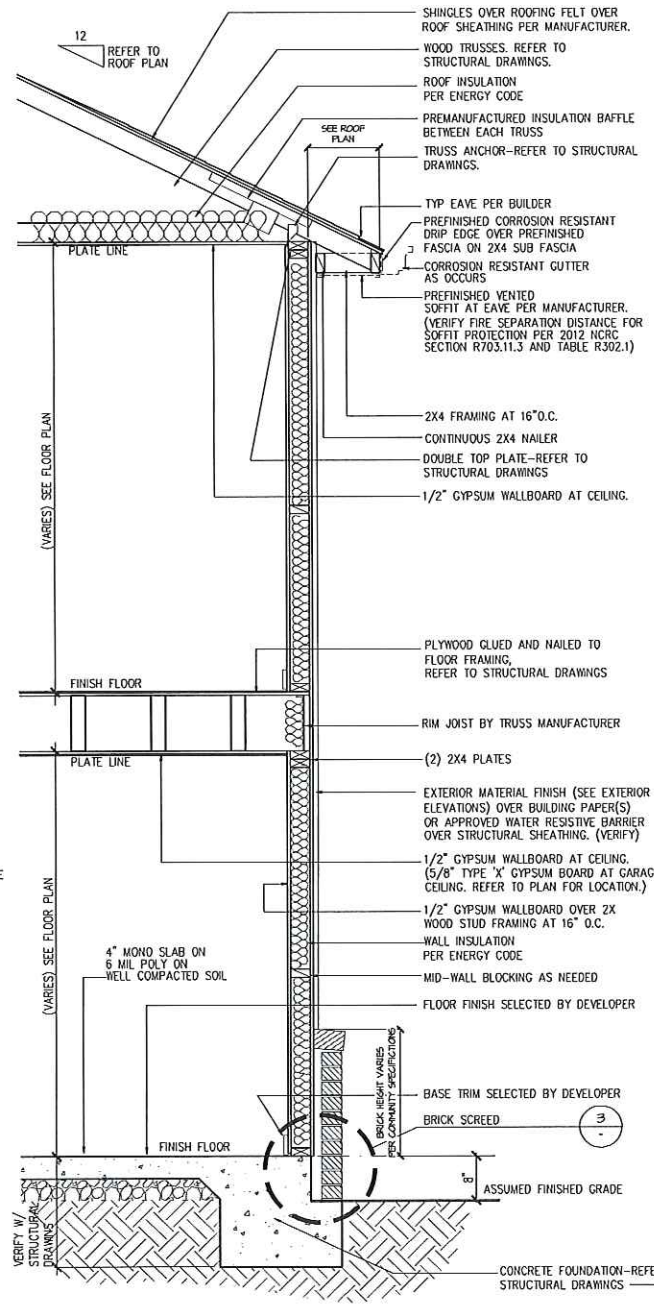
ADHERED STONE SCREE 2



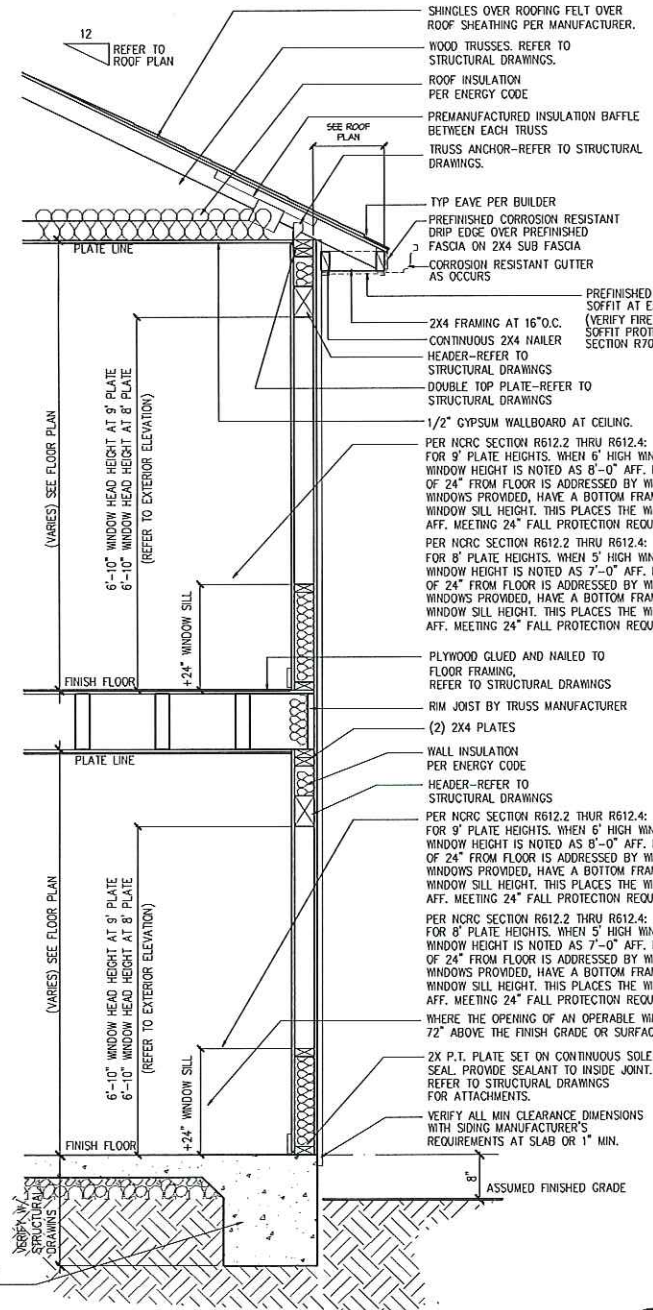
BRICK SCREE FULL BRICK 3



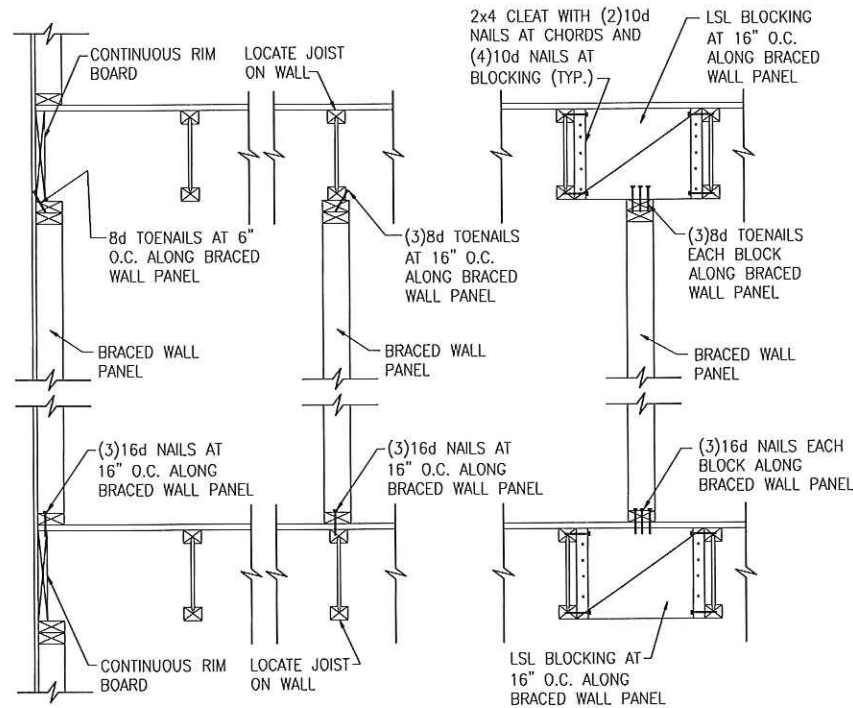
WALL SECTION 2-STORY with STONE SCREE



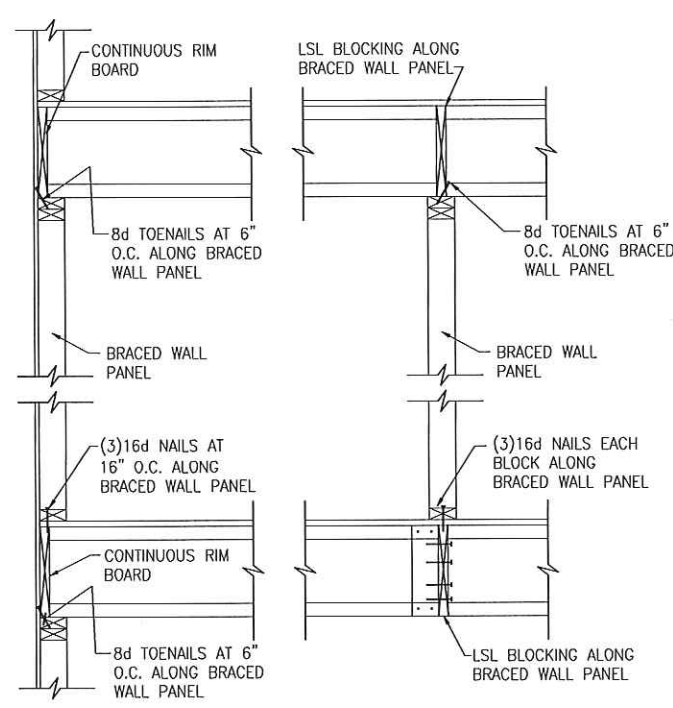
WALL SECTION 2-STORY with BRICK SCREE



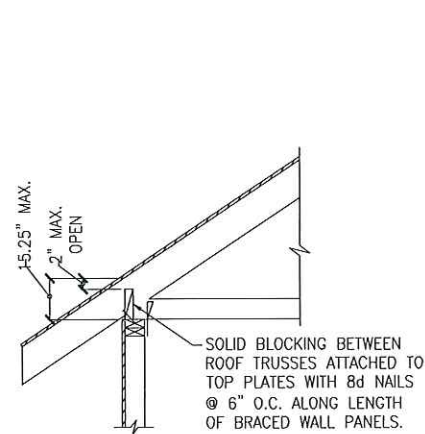
WALL SECTION 2-STORY 9



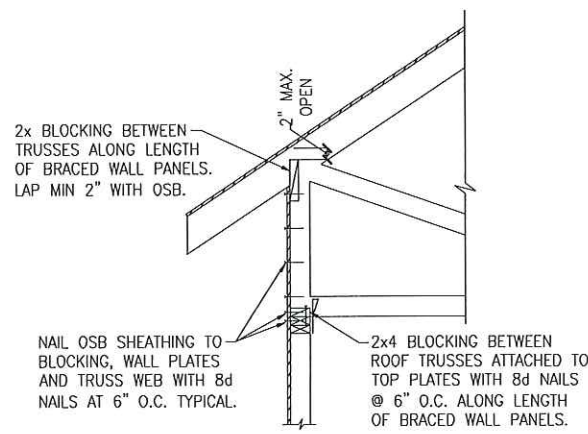
A TYPICAL BRACED WALL PANEL TO FLOOR/CEILING CONNECTION
BRACED WALL PANELS PARALLEL TO I-JOISTS



B TYPICAL BRACED WALL PANEL TO FLOOR/CEILING CONNECTION
BRACED WALL PANELS PERPENDICULAR TO I-JOISTS

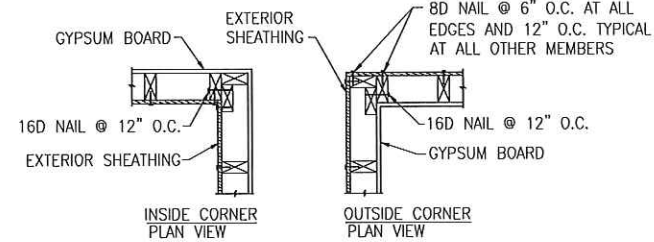


HEEL HEIGHT GREATER THAN 9.25" AND LESS THAN 15.25"

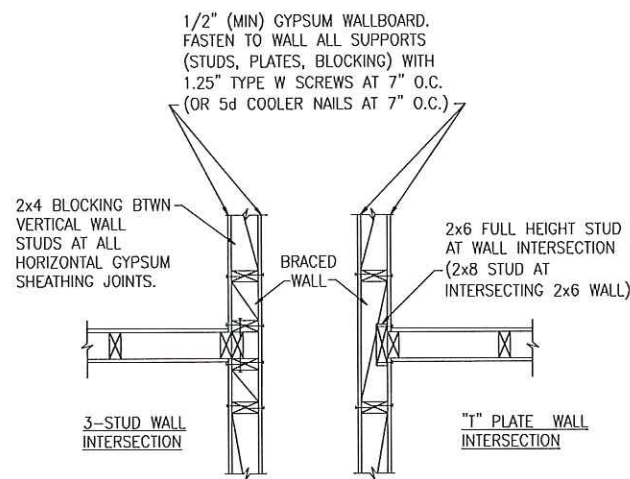


HEEL HEIGHT GREATER THAN 15.25" AND LESS THAN 48"

E ROOF TRUSS AT BRACED WALL PANELS
ONLY REQUIRED AT BRACED WALL PANELS



C TYPICAL EXTERIOR CORNER WALL FRAMING



D METHOD GB(1) AND GB(2) INTERSECTION DETAILS

BRACED WALL INTERSECTIONS MAY BE FRAMED USING EITHER THE 3-STUD OR THE T-PLATE METHOD.

PIER AND FOOTING SCHEDULE

PIER HEIGHT	PIER SIZE	MIN. FOOTING SIZE
UP TO 2'-8"	8" x 16"	24" x 24" x 12" U.N.O.
UP TO 5'-4"	16" x 16"	24" x 24" x 12" U.N.O.
UP TO 13'-4"	16" x 16"	30" x 30" x 12" U.N.O.

NOTE:
PIERS SHALL BE CAPPED WITH 8" OF SOLID MASONRY OR CONCRETE OR TOP COURSE FILLED SOLID WITH CONCRETE/MORTAR.
PIERS OVER 5'-4" SHALL BE FILLED SOLIDLY WITH CONCRETE OR TYPE M OR S MORTAR.

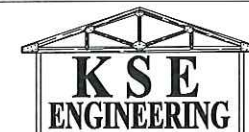
BRICK VENEER LINTEL SCHEDULE

SPAN	LINTEL SIZE	END BEARING
UP TO 3'-1"	3 1/2" x 3 1/2" x 1/4"	4"
UP TO 6'-3"	5" x 3 1/2" x 5/16" L.L.V.	8"
UP TO 9'-3"	6" x 4" x 5/16" L.L.V.	12"

LINTELS ARE NOT DESIGNED TO BE BOLTED TO HEADERS UNLESS SPECIFIED ON UNIT PLANS.
SPANS OVER 4'-0" SHALL BE SHORED UP UNTIL CURED.

GENERAL NOTES

- DESIGN IS BASED ON NORTH CAROLINA STATE BUILDING CODE: RESIDENTIAL CODE, 2012 EDITION. WALL BRACING PER INTERNATIONAL RESIDENTIAL CODE 2012 EDITION.
- WOOD DESIGN BASED ON NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION
- ALL BEAMS AND HEADERS SHALL HAVE (1) 2x JACK STUD & (1) 2x KING STUD U.N.O. THE NUMBER OF STUDS INDICATED ON PLANS ARE THE TOTAL NUMBER OF JACK STUDS REQUIRED, U.N.O. FACE NAIL MULTIPLE STUDS W/(2) ROWS 10d NAILS @ 6" O.C., STAGGERED.
- ALL LUMBER EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.
- ALL EXTERIOR WALLS AND INTERIOR BEARING WALLS TO BE ANCHORED W/ 1/2" DIA. ANCHOR BOLTS & WASHERS @ 6'-0" O.C. @ 2-STORY HOME OR 4'-0" O.C. @ 3-STORY HOME, NOT MORE THAN 12" FROM CORNERS & PLATE ENDS. BOLTS TO EXTEND 7" MIN. INTO CONCRETE. EQUIVALENT ANCHOR STRAPS ARE AN ACCEPTABLE SUBSTITUTE.
- SHEATH ALL EXTERIOR WALLS WITH 7/16" APA RATED WOOD STRUCTURAL PANEL SHEATHING. ATTACH SHEATHING PER NORTH CAROLINA RESIDENTIAL CODE TABLE R602.3 AND IRC SECTION R602.10.
- CONCRETE DESIGN BASED ON ACI 318 AND ACI 318.1. f'c = 3,000 PSI @ 28 DAYS. AIR-ENTRAINED PER TABLE R402.2
- ALL MASONRY SHALL CONFORM TO ASTM C-90, f'm=1500 PSI. ALL BRICK SHALL CONFORM TO ASTM C-216, f'm=1500 PSI. ALL MORTAR SHALL BE TYPE 'S' (TYPE 'M' BELOW GRADE) AND CONFORM TO ASTM C-270.
- DESIGN LIVE LOADS
ROOF = 20 PSF (LOAD DUR. FACTOR =1.15)
ATTIC = 20 PSF (WHERE SPECIFIED ON PLANS)
FLOOR = 40 PSF
FLOOR (SLEEPING AREAS) = 30 PSF
GROUND SNOW LOAD = 20 PSF
ALLOWABLE SOIL BEARING PRESSURE = 2000 PSF
BASIC WIND SPEED = 100 MPH
- DESIGN DEAD LOADS
ROOF TRUSS = 17 PSF (TC = 7, BC = 10)
FLOOR TRUSS = 15 PSF (TC = 10, BC = 5)
FLOOR JOIST = 10 PSF
NOTE: STRUCTURAL FRAMING HAS NOT BEEN DESIGNED FOR TILE OR OTHER MATERIALS HEAVIER THAN THE ABOVE LOADING UNLESS SPECIFICALLY NOTED ON PLANS.
- LUMBER SPECIFICATIONS
FRAMING: SPF #2
PLATES: SPF #2
STUDS: SPF STUD GRADE, EXTERIOR AND BEARING WALL SPACING PER CODE, NON-BEARING INTERIOR SPACING @ 24" O.C.
LVL BEAMS: 1.9E, Fb=2,600 PSI
- FLOOR AND ROOF TRUSSES TO BE DESIGNED AND ENGINEERED BY MANUFACTURER. REFER TO SHOP DRAWINGS FOR BRACING REQUIREMENTS.
- ALL ROOF TRUSSES SHALL BE CONNECTED AT BEARING POINTS WITH SIMPSON H2.5A OR APPROVED EQUAL



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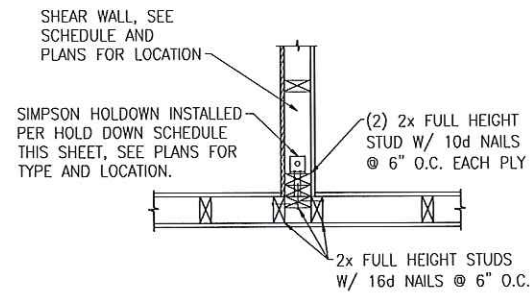
REVISION HISTORY



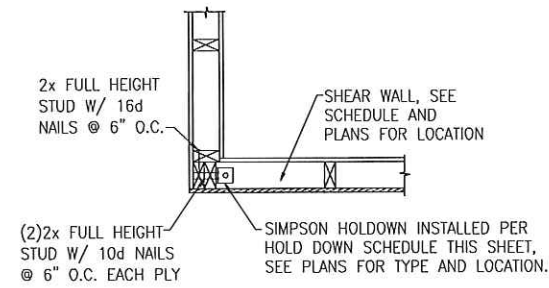
General Structural Notes
2012 North Carolina Residential Code
Single Family Homes
100 M.P.H.
Fayetteville, NC

Project #: 105-16000
Designed By: KRK
Checked By:
Issue Date: 1/16/17
Re-Issue: 1/31/17
Scale: N.T.S.

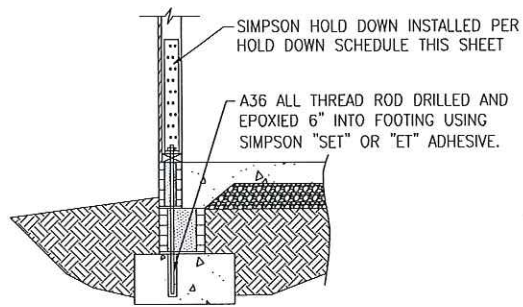
SD-1



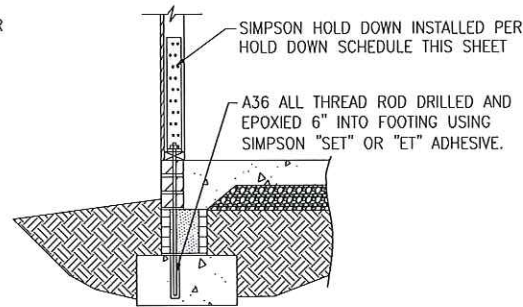
(A) TYPICAL HOLDDOWN DETAIL



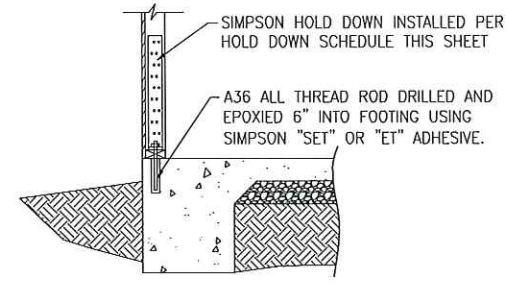
(B) TYPICAL HOLDDOWN DETAIL



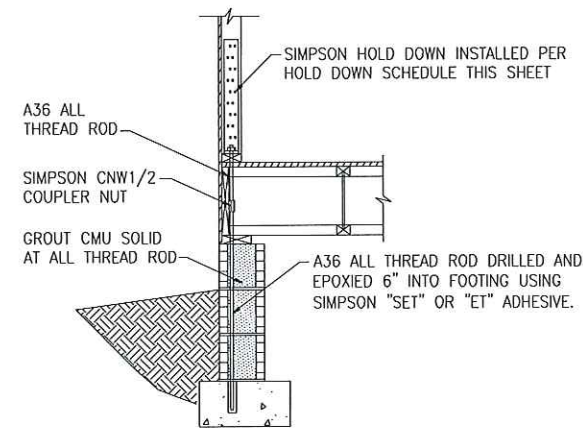
(C) HOLD DOWN AT STEMWALL SLAB



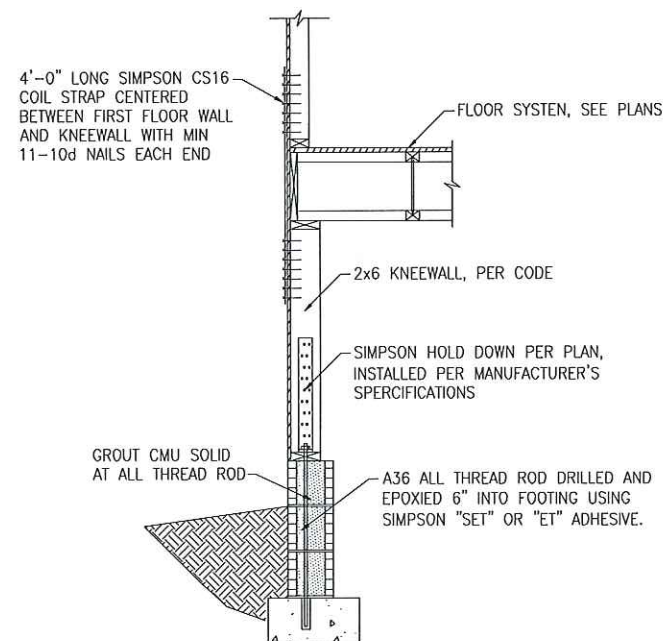
(D) HOLD DOWN AT STEMWALL SLAB



(E) HOLD DOWN AT MONOLITHIC SLAB



(F) HOLD DOWN AT CRAWL FOUNDATION
8" CMU FOUNDATION WALL



(G) SHEARWALL HOLD DOWN DETAIL
CRAWL SPACE KNEEWALL OR BASEMENT

HOLD DOWN SCHEDULE		
HOLD DOWN	ALL TREAD ROD	FASTENERS
LTT20B	1/2" DIA.	(10)10d NAILS
HTT4	5/8" DIA.	(18)16d x 2.5" LONG NAILS
HTT5	5/8" DIA.	(26)16d x 2.5" LONG NAILS

BRACED WALL PANEL AND ENGINEERED SHEAR WALL SCHEDULE			
PANEL TYPES	PANEL TYPE	MATERIAL	FASTENERS
WSP	INTERMITTENT WOOD STRUCTURAL PANEL	7/16" OSB	6D OR 8D COMMON NAILS AT 6" O.C. AT SHEET EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. ENGINEERED ALTERNATIVE: 16 GAGE BY 1.75" LONG STAPLES AT 3" O.C. AT SHEET EDGES AND 6" O.C. AT INTERMEDIATE SUPPORTS
GB(1)	INTERMITTENT GYPSUM BOARD (SHEATHING ONE FACE OF WALL)	1/2" GYPSUM	1.5" LONG GALV. ROOFING NAILS, 6d COMMON NAILS, OR 1.25" LONG TYPE W DRYWALL SCREWS AT 7" O.C. AT SHEET EDGES AND INTERMEDIATE SUPPORTS.
GB(1B)	INTERMITTENT GYPSUM BOARD (SHEATHING ONE FACE OF WALL)	1/2" GYPSUM	1.5" LONG GALV. ROOFING NAILS, 6d COMMON NAILS, OR 1.25" LONG TYPE W DRYWALL SCREWS AT 4" O.C. AT SHEET EDGES AND INTERMEDIATE SUPPORTS. PROVIDE 2X BLOCKING AT ALL HORIZONTAL SHEET EDGES.
GB(2)	INTERMITTENT GYPSUM BOARD (SHEATHING BOTH FACES OF WALL)	1/2" GYPSUM	1.5" LONG GALV. ROOFING NAILS, 6d COMMON NAILS, OR 1.25" LONG TYPE W DRYWALL SCREWS AT 7" O.C. AT SHEET EDGES AND INTERMEDIATE SUPPORTS.
CS-WSP	CONTINUOUS SHEATHED WOOD STRUCTURAL PANEL	7/16" OSB	6D OR 8D COMMON NAILS AT 6" O.C. AT SHEET EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. ENGINEERED ALTERNATIVE: 16 GAGE BY 1.75" LONG STAPLES AT 3" O.C. AT SHEET EDGES AND 6" O.C. AT INTERMEDIATE SUPPORTS
CS-PF	CONTINUOUS SHEATHED PORTAL FRAME	7/16" OSB	NAILING PER DETAIL
PFH	PORTAL FRAME WITH HOLD DOWNS	7/16" OSB	NAILING PER DETAIL
CS-ESW(1)	ENGINEERED SHEAR WALL, TYPE 1	7/16" OSB	8D COMMON NAILS AT 6" O.C. AT SHEET EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. CONTINUOUS OSB AROUND DOOR/WINDOW OPENINGS
CS-ESW(2)	ENGINEERED SHEAR WALL, TYPE 2	7/16" OSB	8D COMMON NAILS AT 4" O.C. AT SHEET EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. CONTINUOUS OSB AROUND DOOR/WINDOW OPENINGS
CS-ESW(3)	ENGINEERED SHEAR WALL, TYPE 3	7/16" OSB	8D COMMON NAILS AT 3" O.C. AT SHEET EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. CONTINUOUS OSB AROUND DOOR/WINDOW OPENINGS

BRACED WALL PANEL NOTES:

- ALL BRACED WALL PANELS, EXCEPT GB(1) & GB(2), SHALL HAVE 2x BLOCKING BETWEEN WALL STUDS AT ALL HORIZONTAL SHEET EDGES.
- PROVIDE NAILING/BLOCKING ABOVE AND BELOW ALL BRACED WALL PANELS PER DETAILS A & B/SD-1 OR C & D/SD-1.
- ALL EXTERIOR WALLS OF THE HOUSE ARE SHEATHED WITH 7/16" O.S.B., OR 15/32" PLYWOOD, FASTENED PER NC TABLE R602.3(1). AT EXTERIOR CORNERS SHEATHING SHALL BE FASTENED AS SHOWN IN DETAIL E/SD1.
- BRACED WALL PANELS AND ENGINEERED SHEAR WALLS ARE PROVIDED PER IRC 2012 SECTIONS R602.10. PANEL LENGTHS SHOWN ON PLANS ARE THE MINIMUM LENGTH REQUIRED.



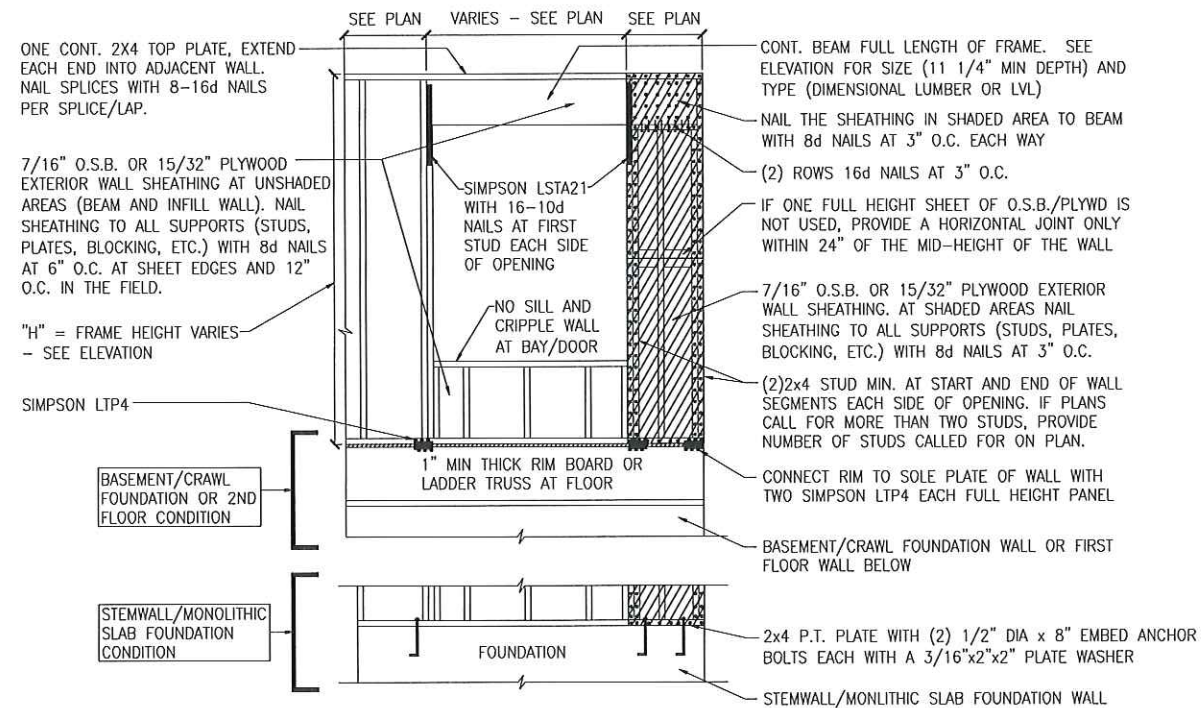
KSE ENGINEERING
 1900 AM Dr., Suite 201, Quakertown PA 18951
 Phone: (215) 804-4449 FAX: (215) 804-4459
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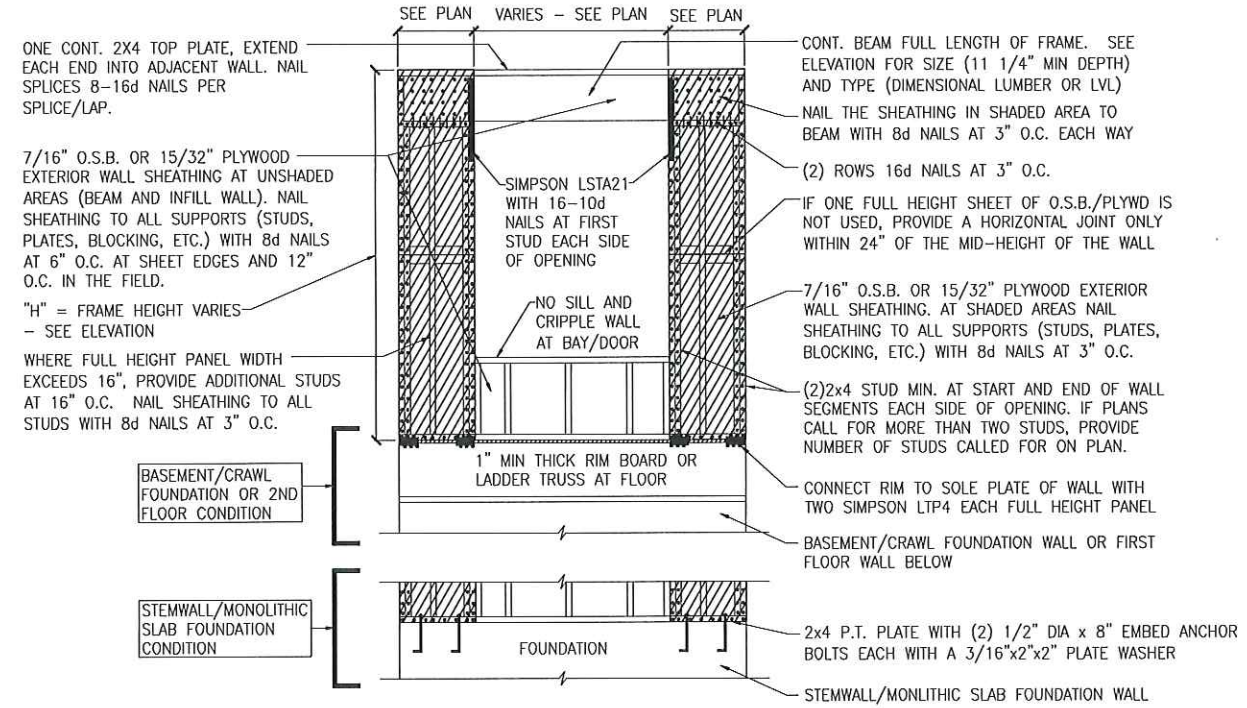


Braced Wall Notes and Details
 2012 North Carolina Residential Code
 Single Family Homes
 100 M.P.H.
 Fayetteville, NC

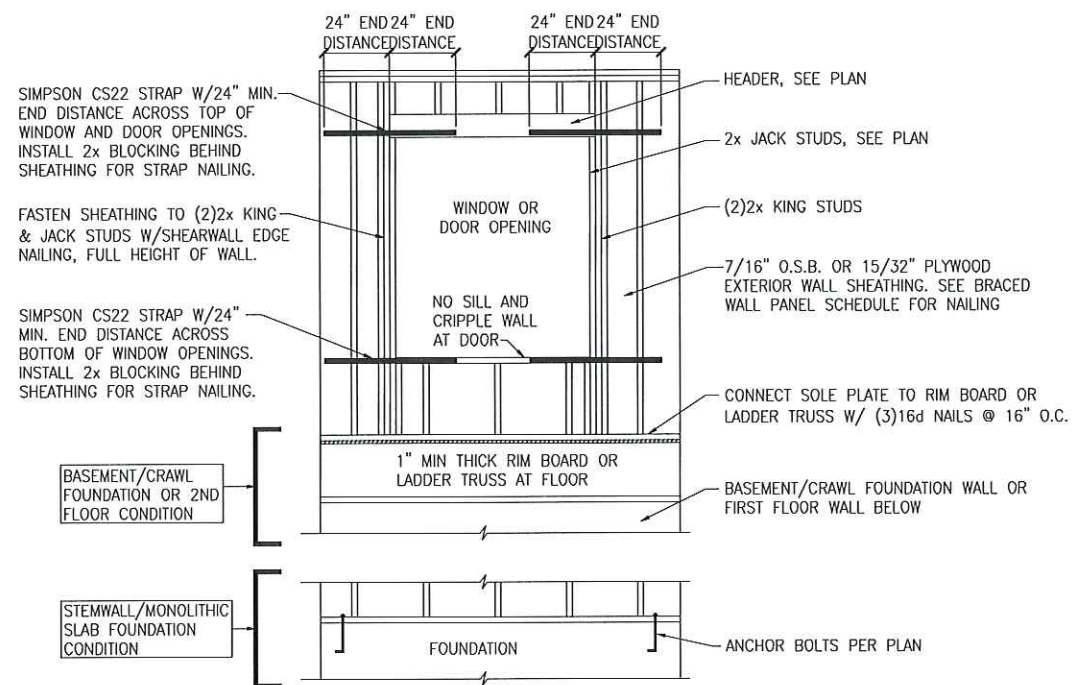
Project #: 105-16000
 Designed By: KRK
 Checked By:
 Issue Date: 1/16/17
 Re-Issue: 1/31/17
 Scale: N.T.S.



A METHOD CS-PF: CONTINUOUS PORTAL FRAME PANEL CONSTRUCTION
ONE BRACED WALL SEGMENT



B METHOD CS-PF: CONTINUOUS PORTAL FRAME PANEL CONSTRUCTION
TWO BRACED WALL SEGMENTS



C WINDOW OR DOOR REINFORCEMENT IN ENGINEERED SHEAR WALL
ONLY REQUIRED WHERE SPECIFIED ON PLANS



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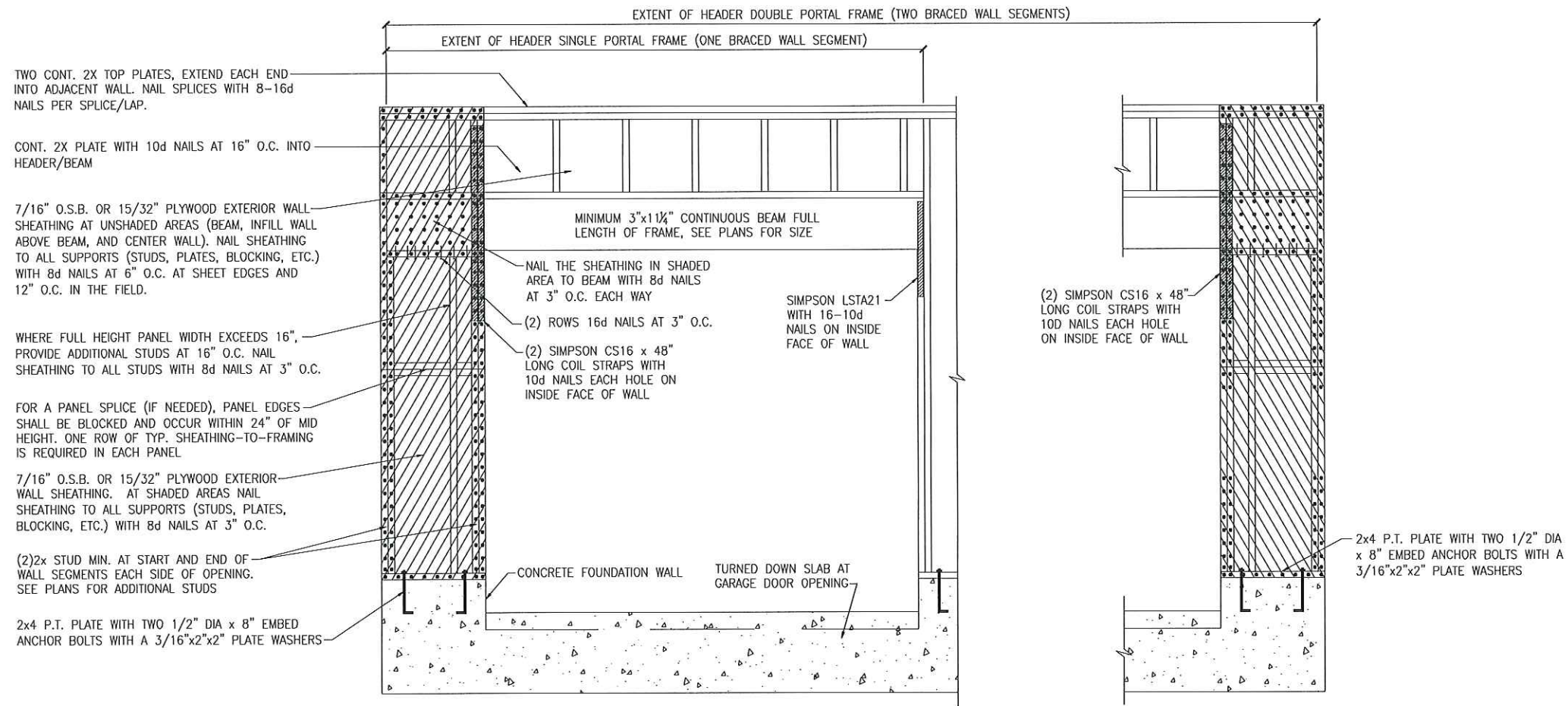
REVISION HISTORY



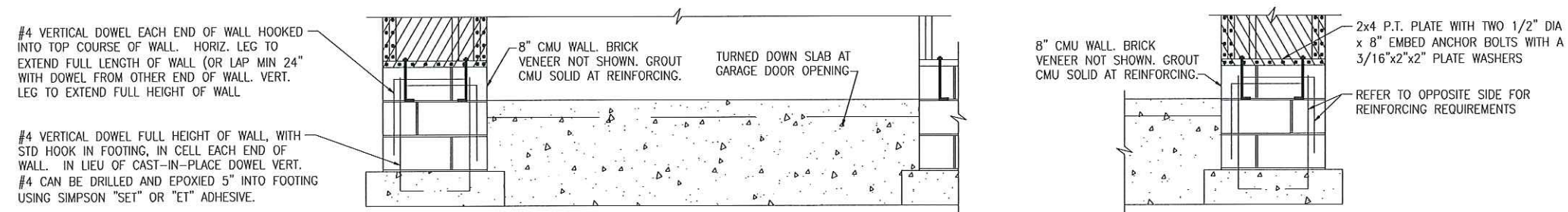
Portal Frame and Shear Wall Details
2012 North Carolina Residential Code
Single Family Homes
100 M.P.H.
Fayetteville, NC

Project #: 105-16000
Designed By: KRK
Checked By:
Issue Date: 1/16/17
Re-Issue: 1/31/17
Scale: N.T.S.

SD-3



A METHOD CS-PF: CONTINUOUS PORTAL FRAME PANEL CONSTRUCTION
MONOLITHIC SLAB OR BASEMENT FOUNDATION



B METHOD CS-PF: CONTINUOUS PORTAL FRAME PANEL CONSTRUCTION
STEMWALL SLAB OR CRAWL SPACE FOUNDATION

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Method CS-PF: Portal Frame Details
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Single Family Homes
100 M.P.H.
Fayetteville, NC

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TWO CONT. 2X TOP PLATES, EXTEND EACH END INTO ADJACENT WALL. NAIL SPLICES WITH 8-16d NAILS PER SPLICE/LAP.

CONT. 2X PLATE WITH 10d NAILS AT 16" O.C. INTO HEADER/BEAM

7/16" O.S.B. OR 15/32" PLYWOOD EXTERIOR WALL SHEATHING AT UNSHADED AREAS (BEAM AND INFILL WALL ABOVE BEAM). NAIL SHEATHING TO ALL SUPPORTS (STUDS, PLATES, BLOCKING, ETC.) WITH 8d NAILS AT 6" O.C. AT SHEET EDGES AND 12" O.C. IN THE FIELD.

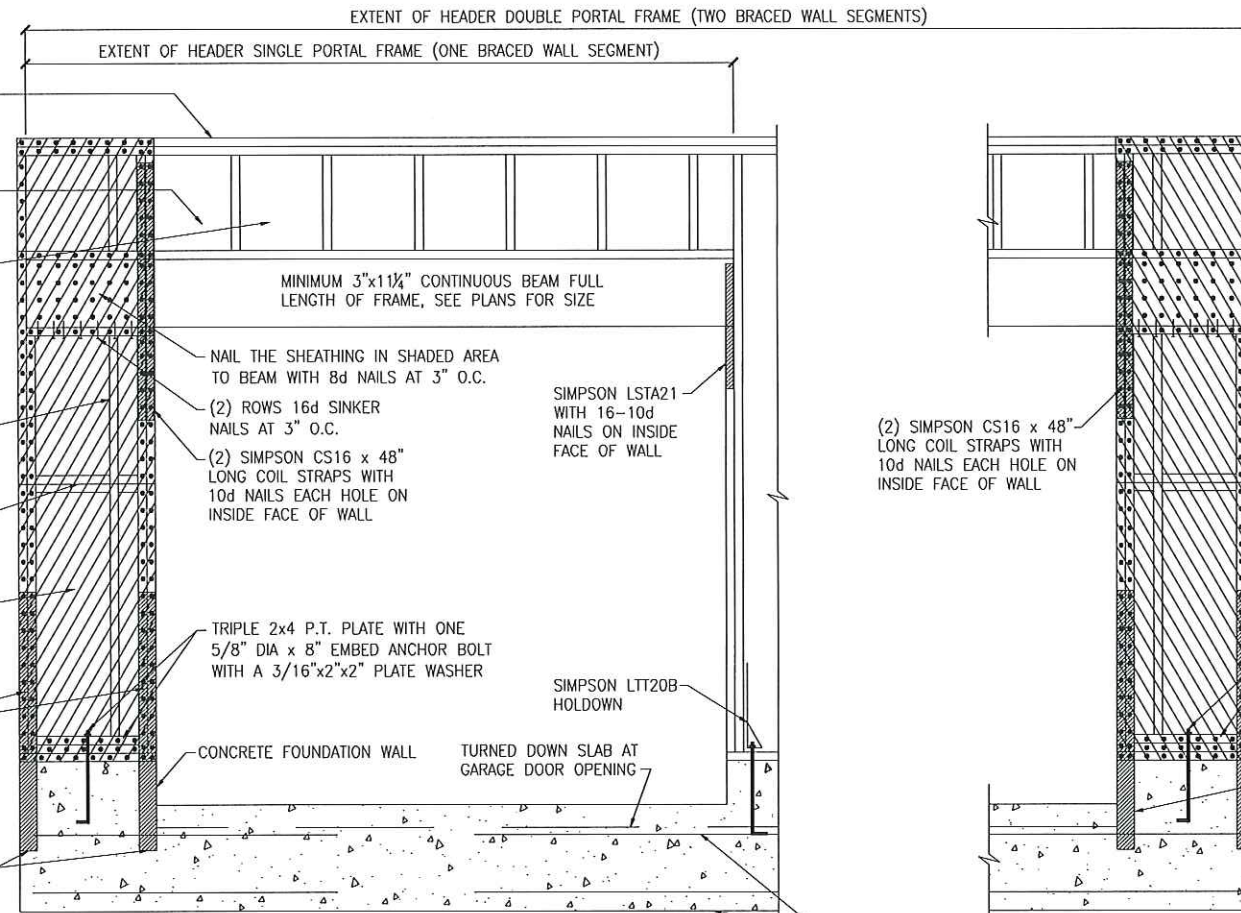
WHERE FULL HEIGHT PANEL WIDTH EXCEEDS 16", PROVIDE ADDITIONAL STUDS AT 16" O.C. NAIL SHEATHING TO ALL STUDS WITH 8d NAILS AT 3" O.C.

FOR A PANEL SPLICE (IF NEEDED), PANEL EDGES SHALL BE BLOCKED AND OCCUR WITHIN 24" OF MID HEIGHT. ONE ROW OF TYP. SHEATHING-TO-FRAMING IS REQUIRED IN EACH PANEL

7/16" O.S.B. OR 15/32" PLYWOOD EXTERIOR WALL SHEATHING. AT SHADED AREAS NAIL SHEATHING TO ALL SUPPORTS (STUDS, PLATES, BLOCKING, ETC.) WITH 8d NAILS AT 3" O.C.

(2)2x STUD MIN. AT START AND END OF WALL SEGMENTS EACH SIDE OF OPENING. SEE PLANS FOR ADDITIONAL STUDS

SIMPSON STHD14 STRAP-TIE HOLDOWN WITH (30)16d SINKERS AT STUDS. INSTALL PER MANUFACTURER'S SPECS.

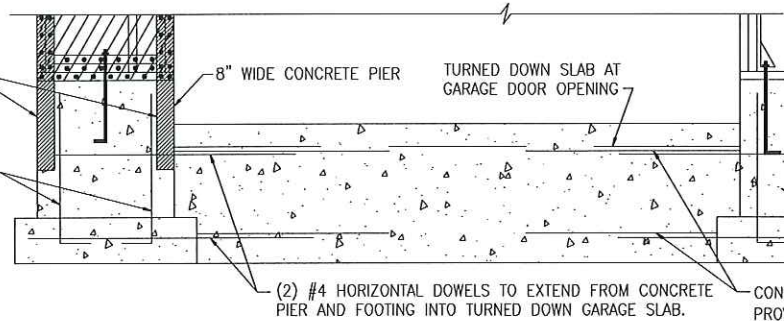


(A) METHOD PFH: PORTAL FRAME WITH HOLD-DOWNS
MONOLITHIC SLAB OR BASEMENT FOUNDATION

CONTINUOUS #4 HIGH AND LOW. PROVIDE MIN 24" LAPS WHERE SPLICED.

SIMPSON STHD14 STRAP-TIE HOLDOWN WITH (30)16d SINKERS AT STUDS. INSTALL PER MANUFACTURER'S SPECS.

(2) #4 VERTICAL DOWELS FULL HEIGHT OF WALL WITH STD HOOK IN FOOTING. IN LIEU OF CAST-IN-PLACE DOWELS #4 CAN BE DRILLED AND EPOXIED 5" INTO FOOTING USING SIMPSON "SET" OR "ET" ADHESIVE. (TYP. BOTH SIDES)



(B) METHOD PFH: PORTAL FRAME WITH HOLD-DOWNS
STEMWALL SLAB OR CRAWL SPACE FOUNDATION

8" WIDE CONCRETE PIER

(2) #4 HORIZONTAL DOWELS TO EXTEND FROM CONCRETE PIER AND FOOTING INTO TURNED DOWN GARAGE SLAB.

CONTINUOUS #4 HIGH AND LOW. PROVIDE MIN 24" LAPS WHERE SPLICED.

SIMPSON STHD14 STRAP-TIE HOLDOWN WITH (30)16d SINKERS AT STUDS. INSTALL PER MANUFACTURER'S SPECS.



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Method PFH: Portal Frame Details
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SD-5