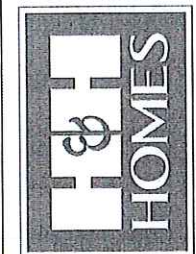


RENAISSANCE
RESIDENTIAL DESIGN, INC.
4810 OLENAH ST. | RALEIGH, NC 27612
(919) 649-4128
WWW.RDNCAROLINA.COM

"The art of transforming your vision into reality."
RENAISSANCE RESIDENTIAL DESIGN, INC. RESERVES THE RIGHT TO MAKE MODIFICATIONS TO FLOOR PLANS, SCHEDULES, MATERIALS, AND SPECIFICATIONS WITHOUT NOTICE. THESE DRAWINGS ARE FOR THE PURPOSE OF CONVEYING AN ARCHITECTURAL CONCEPT ONLY.

RENAISSANCE RESIDENTIAL DESIGN, INC. HEREBY EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, COPIED, OR COPIED IN ANY FORM OR MANNER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN CONSENT OF RENAISSANCE RESIDENTIAL DESIGN, INC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

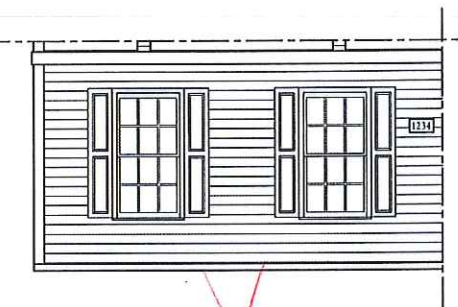
J.S. THOMPSON
ENGINEERING, INC.
605 WADE AVE., SUITE 101
RALEIGH, NC 27603
PHONE: (919) 789-9199
FAX: (919) 789-9221
N.C. LICENSE NO.: C11133



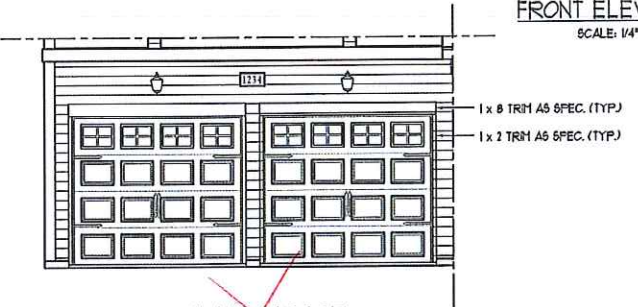
PRICES, PROMOTIONS, INCENTIVES, FEATURES, OPTIONS, FLOOR PLANS, ELEVATIONS, DESIGN, MATERIALS, SCHEDULES, SQUARE FOOTAGE AND DIMENSIONS WHICH MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF HOUSE ON LOT IS ESTIMATED AND MAY VARY IN ACTUAL CONSTRUCTION. FLOOR PLANS AND ELEVATIONS ARE THE PROPERTY OF RENAISSANCE RESIDENTIAL DESIGN, INC. AND ARE NOT TO BE REPRODUCED, COPIED, OR COPIED IN ANY FORM OR MANNER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN CONSENT OF RENAISSANCE RESIDENTIAL DESIGN, INC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.



FRONT ELEVATION-A
SCALE: 1/4" = 1'-0"

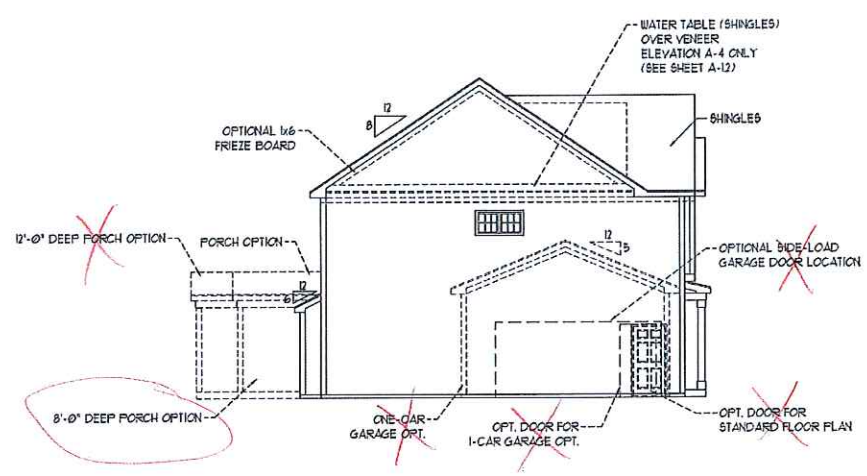


SIDE LOAD GARAGE OPTION
(NOT AVAILABLE WITH OPTIONAL ONE-CAR GARAGE)
SCALE: 1/4" = 1'-0"

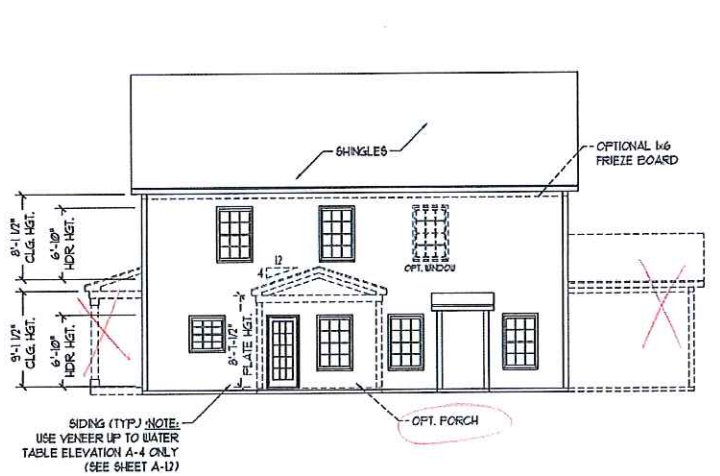


DOUBLE GARAGE DOOR OPTION
SCALE: 1/4" = 1'-0"

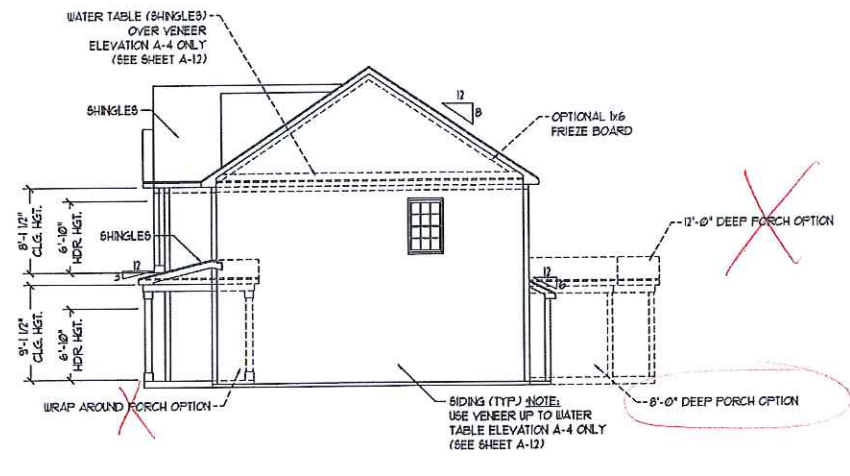
**** NOTE: SEE PAGE A-11 FOR SPECIFIC FRONT ELEVATION-A DETAILS. SEE PAGE A-12 FOR A-4 (ALL BRICK) ELEVATIONS**



LEFT ELEVATION
SCALE: 1/8" = 1'-0"



REAR ELEVATION
SCALE: 1/8" = 1'-0"



RIGHT ELEVATION
SCALE: 1/8" = 1'-0"

CPL000102
H&H HOMES, INC.
TOPSAIL
Inv. Marked

DATE: OCTOBER 18, 2017
REV.:
SCALE: AS NOTED
DRAWN BY: WG
ENGINEERED BY: WLF
REVIEWED BY: JES

A - ELEVATIONS
A-1



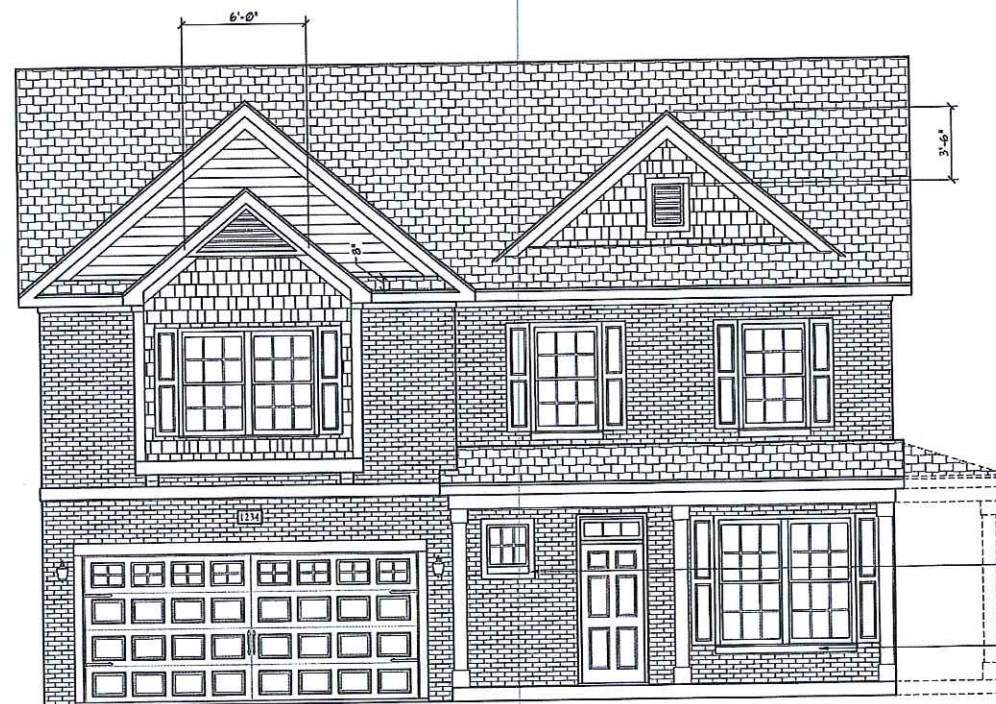
FRONT ELEVATION-A-1
SCALE: 1/4" = 1'-0"



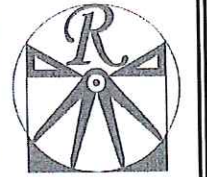
FRONT ELEVATION-A-2
SCALE: 1/4" = 1'-0"



FRONT ELEVATION-A-3
SCALE: 1/4" = 1'-0"



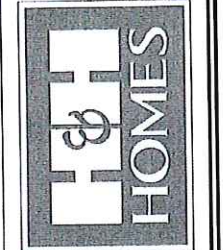
FRONT ELEVATION-A-4
SCALE: 1/4" = 1'-0"



RENAISSANCE
RESIDENTIAL DESIGN, INC.
4810 GLENMIST CT. | RALEIGH, NC 27612
(919) 849-4128
WWW.RRDCAROLINA.COM
"The art of transforming your vision into reality."

RENAISSANCE RESIDENTIAL DESIGN, INC. RESERVES THE RIGHT TO MAKE MODIFICATIONS TO FLOOR PLANS, DIMENSIONS, MATERIALS, AND SPECIFICATIONS WITHOUT NOTICE. THESE DRAWINGS ARE FOR THE PURPOSE OF CONVEYING AN ARCHITECTURAL CONCEPT ONLY. RENAISSANCE RESIDENTIAL DESIGN, INC. HEREBY EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN CONSENT OF RENAISSANCE RESIDENTIAL DESIGN, INC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

J.S. THOMPSON
REGISTERED ARCHITECT
606 WADE AVE., SUITE 104
RALEIGH, NC 27605
PHONE: (919) 789-9919
FAX: (919) 789-9921
N.C. LICENSE NO. C-1733

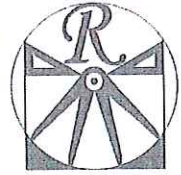


PRICES, PROMOTIONS, INCENTIVES, FEATURES, OPTIONS, FLOOR PLANS, ELEVATIONS, DESIGN, MATERIALS AND FINISHES, COORDINATION, DIMENSIONS AND CONSTRUCTION ARE SUBJECT TO CHANGE AND DIMENSIONS ARE ESTIMATED AND MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF HOUSE ON LOT WILL BE DETERMINED BY LOTS, SURVEYING, SETBACKS, CONCEPTS, FLOOR PLANS AND THE COPYRIGHTED PROPERTY OF H&H HOMES. ANY USE, REPRODUCTION, ADAPTATION OR DISPLAY OF THESE PLANS WITHOUT THE WRITTEN PERMISSION OF H&H HOMES IS PROHIBITED. COPYRIGHT 2017 H&H HOMES

H&H HOMES, INC.
TOPSAIL

DATE: OCTOBER 18, 2017
REV.:
SCALE: AS NOTED
DRAWN BY: WG
ENGINEERED BY: WLF
REVIEWED BY: JES

A - ELEVATION
OPTIONS
A-1.1



RENAISSANCE

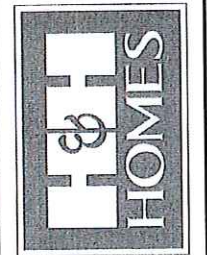
RESIDENTIAL DESIGN, INC.
4810 GLENHIST CT. 1 RALEIGH, NC 27612
(919) 640-4100

WWW.RRDGCAROLINA.COM
"The art of transforming your vision into reality."

RENAISSANCE RESIDENTIAL DESIGN, INC. PRESERVES THE RIGHT TO MAKE MODIFICATIONS TO FLOOR PLANS, DIMENSIONAL MATERIALS, AND SPECIFICATIONS WITHOUT NOTICE. THESE DRAWINGS ARE FOR THE PURPOSE OF CONVEYING AN ARCHITECTURAL CONCEPT ONLY.

RENAISSANCE RESIDENTIAL DESIGN, INC. HEREBY EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN CONSENT OF RENAISSANCE RESIDENTIAL DESIGN, INC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT THE WRITTEN PERMISSION AND CONSENT.

J.S. THOMPSON ENGINEERING, LLC
606 WADE AVE., SUITE 104
RALEIGH, NC 27605
PHONE: (919) 780-9919
FAX: (919) 789-9911
N.C. LICENSE NO.: C11131

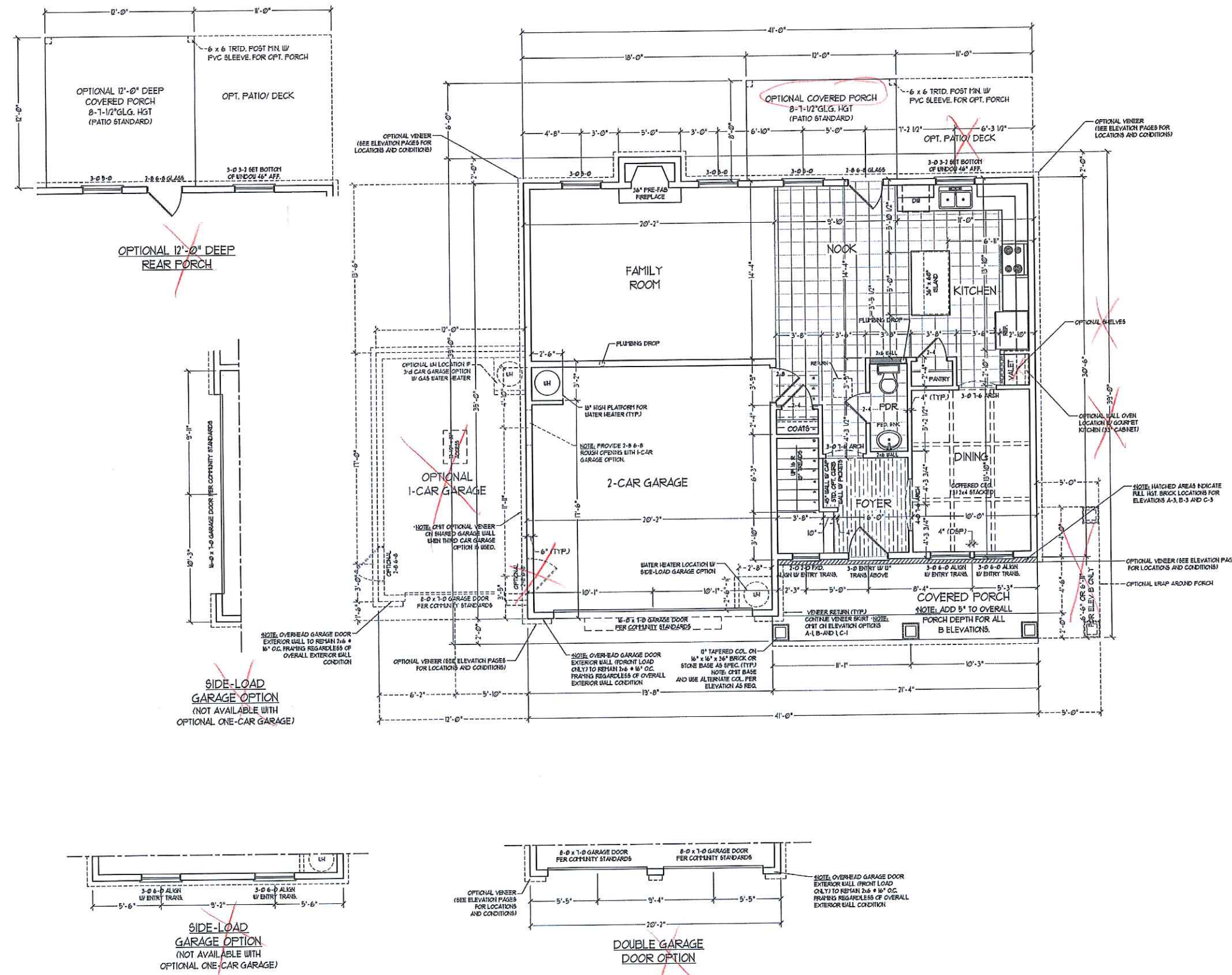


PRICES, PROMOTIONS, INCENTIVES, FEATURES, MATERIALS AND DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND MAY VARY IN ACTUAL CONSTRUCTION. THE SITE PLAN AND 2D FLOOR PLAN FLOOR PLANS AND ELEVATION DRAWINGS ARE ARTIST CONCEPTIONS. FLOOR PLANS ARE THE COPYRIGHTED PROPERTY OF RENAISSANCE RESIDENTIAL DESIGN, INC. PROHIBITED. SEE NEW HOME SALES CONSULTANT FOR CURRENT DETAILS. COPYRIGHT 2011 H&H HOMES

H&H HOMES, INC.
TOPSAIL

DATE: OCTOBER 18, 2017
REV.:
SCALE: 1/4"=1'-0"
DRAWN BY: WG
ENGINEERED BY: WLF
REVIEWED BY: JES

FIRST FLOOR PLAN
A-4



NOTE: ALL EXTERIOR WALLS AND ATTIC WALLS ARE TO BE 2 x 6 @ 16" O.C. (UNO). 2 x 4 @ 16" O.C. EXTERIOR WALLS MAY BE CONSTRUCTED IN LIEU OF 2 x 6 WALLS (UNO). ALL INTERIOR LOAD BEARING WALLS ARE TO BE 2 x 4 @ 16" O.C. (UNO) AND NON-LOAD BEARING INTERIOR WALLS ARE TO BE 2 x 4 @ 24" O.C. (UNO).

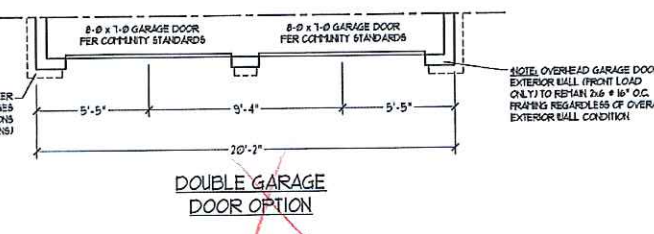
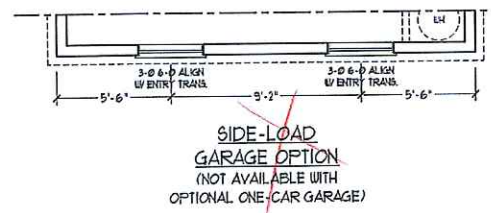
2x6 WALL
SHADED WALLS ARE TO BE 2 x 6 @ 16" O.C. (LOAD BEARING) OR 2 x 6 @ 24" O.C. (NON-LOAD BEARING) REGARDLESS OF EXTERIOR WALL CONDITION

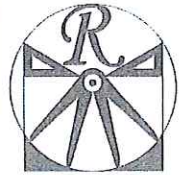
SQUARE FOOTAGE

1st FLOOR:	949 SQ. FT.
2nd FLOOR:	1351 SQ. FT.
TOTAL:	2300 SQ. FT.
FRONT PORCH:	131 SQ. FT.
STD. REAR PATIO:	96 SQ. FT.
GARAGE:	401 SQ. FT.

SQUARE FOOTAGE (OPTIONS)

FIRST FLOOR (BRICK):	939 SQ. FT.
SECOND FLOOR (BRICK):	1405 SQ. FT.
TOTAL (BRICK):	2404 SQ. FT.
GARAGE (BRICK):	418 SQ. FT.
FRONT PORCH (WRAP OPTION):	53 SQ. FT.
REAR PORCH (8'-0" DEEP):	96 SQ. FT.
REAR PORCH (12'-0" DEEP):	144 SQ. FT.
OPT. PATIO/DECK: (8'-0" DEEP):	88 SQ. FT.
OPT. PATIO/DECK: (12'-0" DEEP):	132 SQ. FT.
1-CAR GARAGE:	240 SQ. FT.





RENAISSANCE

RESIDENTIAL DESIGN, INC.

4810 GLENHAST CT. | RALEIGH, NC 27612

(919) 649-4128

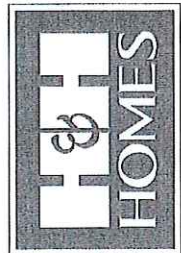
WWW.RIDCAROLINA.COM

"The art of transforming your vision into reality."

RENAISSANCE RESIDENTIAL DESIGN, INC. RESERVES THE RIGHT TO MAKE MODIFICATIONS TO FLOOR PLANS, DIMENSIONS, MATERIALS, AND SPECIFICATIONS WITHOUT NOTICE. THESE DRAWINGS ARE FOR THE PURPOSE OF CONVEYING AN ARCHITECTURAL CONCEPT ONLY.

RENAISSANCE RESIDENTIAL DESIGN, INC. HEREBY EXPRESSLY RECEIVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN CONSENT OF RENAISSANCE RESIDENTIAL DESIGN, INC. AND THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING AND WRITTEN PERMISSION AND CONSENT.

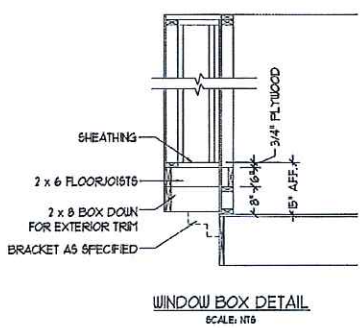
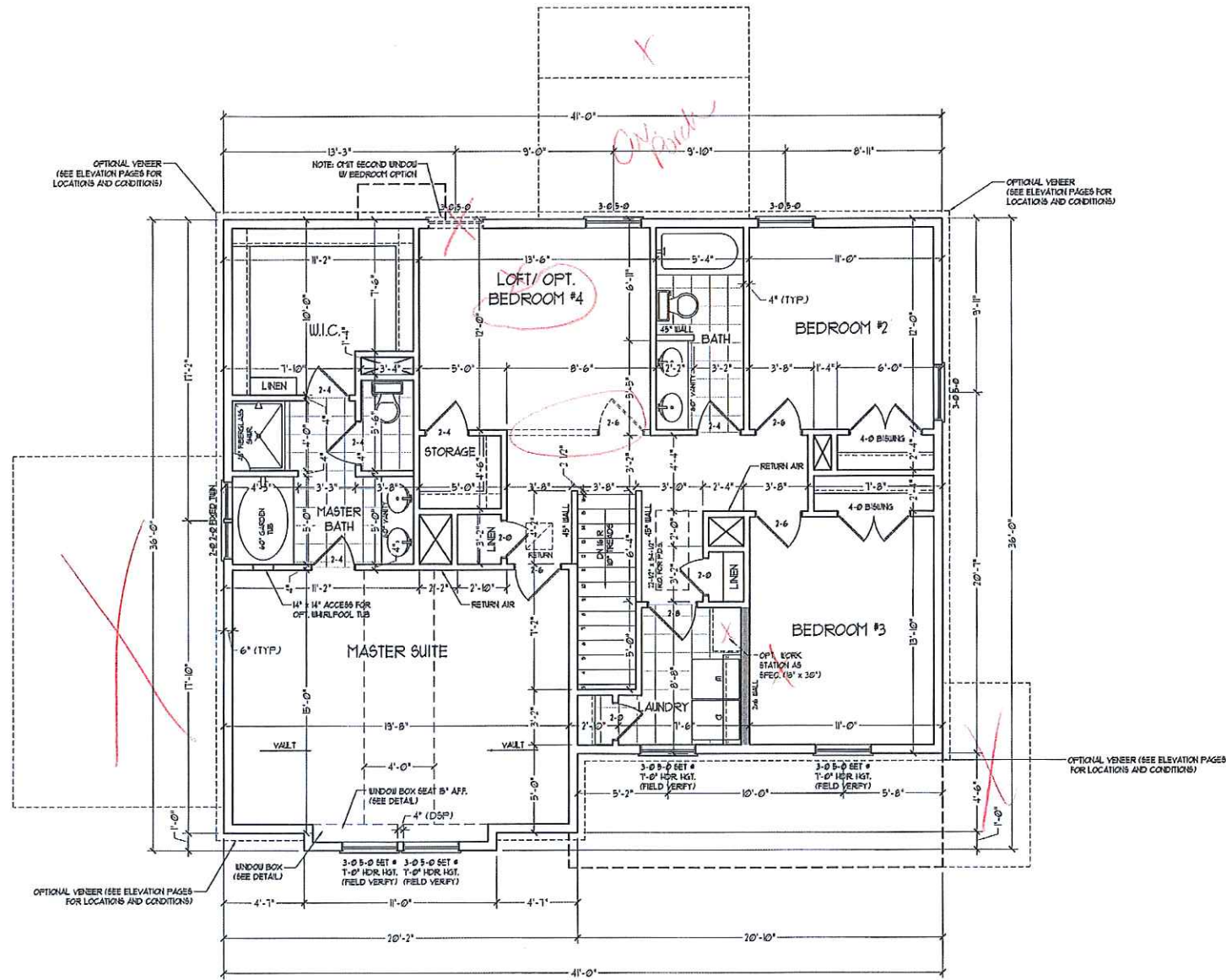
J.S. THOMPSON ENGINEERING, INC.
605 WADE AVE., SUITE 104
RALEIGH, NC 27605
PHONE: (919) 209-9119
FAX: (919) 269-9021
N.C. LICENSE NO. C-1733



NOTE: ALL EXTERIOR WALLS AND ATTIC WALLS ARE TO BE 2 x 6 @ 16" O.C. (UNO). 2 x 4 @ 16" O.C. EXTERIOR WALLS MAY BE CONSTRUCTED IN LIEU OF 2 x 6 WALLS (UNO). ALL INTERIOR LOAD BEARING WALLS ARE TO BE 2 x 4 @ 16" O.C. (UNO) AND NON-LOAD BEARING INTERIOR WALLS ARE TO BE 2 x 4 @ 24" O.C. (UNO).

2x6 WALL
SHADED WALLS ARE TO BE 2 x 6 @ 16" O.C. (LOAD BEARING) OR 2 x 6 @ 24" O.C. (NON-LOAD BEARING) REGARDLESS OF EXTERIOR WALL CONDITION

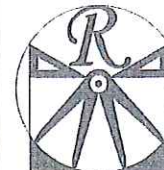
PLEASE PROMOTIONS, INSISTENT FEATURES, OPTIONS, FLOOR PLANS, ELEVATIONS, DESIGNS, MATERIALS AND DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE AND MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF HOUSE ON LOT WILL BE DETERMINED BY THE SITE PLAN AND PLOT PLAN. THESE DRAWINGS ARE THE PROPERTY OF H&H HOMES. ANY USE, REPRODUCTION, ADAPTATION OR DISPLAY OF THESE PLANS IS STRICTLY PROHIBITED WITHOUT THE WRITTEN PERMISSION OF H&H HOMES. COPYRIGHT © 2017 H&H HOMES



H&H HOMES, INC.
TOPSAIL

DATE: OCTOBER 18, 2017
REV:
SCALE: 1/4" = 1'-0"
DRAWN BY: WG
ENGINEERED BY: WLF
REVIEWED BY: JES

SECOND FLOOR PLAN
A-5



RENAISSANCE

RESIDENTIAL DESIGN, INC.

4810 GLENHURST CT. | RALEIGH, NC 27612

(919) 618-4128

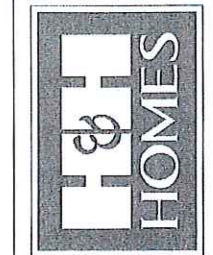
WWW.RDNCAROLINA.COM

"The art of transforming your vision into reality."

RENAISSANCE RESIDENTIAL DESIGN, INC. RESERVES THE RIGHT TO MAKE MODIFICATIONS TO FLOOR PLANS, DIMENSIONS, MATERIALS, AND SPECIFICATIONS WITHOUT NOTICE. THESE DRAWINGS ARE FOR THE PURPOSE OF CONVEYING AN ARCHITECTURAL CONCEPT ONLY.

RENAISSANCE RESIDENTIAL DESIGN, INC. HEREBY EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN CONSENT OF RENAISSANCE RESIDENTIAL DESIGN, INC. HOWEVER, THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING WRITTEN PERMISSION AND CONSENT.

J.S. THOMPSON ENGINEERING, INC.
600 WADE AVE., SUITE 101
RALEIGH, NC 27604
PHONE: (919) 789-9919
FAX: (919) 789-9921
N.C. LICENSE NO.: C-1133



FINISH, PROPORTIONS, MATERIALS, FEATURES, OPTIONS, FLOOR PLANS, ELEVATIONS, DETAILS, MATERIALS AND DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS WILL BE DETERMINED BY THE SITE PLAN AND/OR CONSTRUCTION. ACTUAL LOCATION OF WALLS, DOOR, FLOOR FINISHES AND ELEVATION REFERENCING ARE ARTIST CONCEPTS. H&H HOMES MAKES NO REPRESENTATION OR WARRANTY OF ANY KIND, EXPRESS OR IMPLIED, REGARDING THE ACCURACY OF THE INFORMATION OR ADAPTATION OR DISPLAY OF THE PLANS IS STRICTLY PROHIBITED. SEE NEW HOME SALES CONSULTANT FOR CURRENT DETAILS. COPYRIGHT © 2017 H&H HOMES

H&H HOMES, INC.
TOPSAIL

DATE: OCTOBER 18, 2017

REV.:

SCALE: 1/4"=1'-0"

DRAWN BY: WG

ENGINEERED BY: WLF

REVIEWED BY: JES

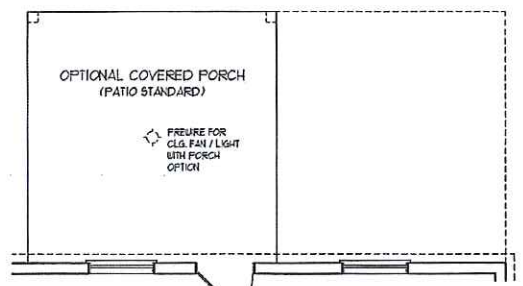
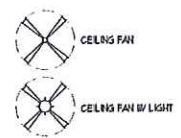
FIRST FLOOR ELECTRICAL PLAN

E-1

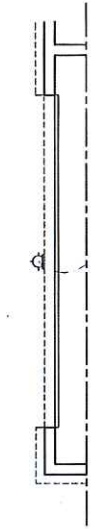
ELECTRICAL LAYOUT NOTES:

- 1) BLOCK AND USE FOR ALL CEILING FANS PER PLAN
- 2) VANITY LIGHTS TO BE SET 4" 8" AFF. (TYP)
- 3) ADDITIONAL EXTERIOR OUTLETS REQUIRED BY CODE TO BE LOCATED BY ELECTRICAL
- 4) PLACE SWITCHES 6" MIN FROM ROUGH OPENINGS.

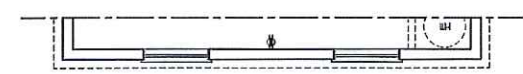
- ELECTRICAL LEGEND**
- ⊕ 10 V OUTLET
 - ⊕ 10 V GFI OUTLET
 - ⊕ 10 V SWITCHED OUTLET
 - ⊕ 10 V BASEBOARD OUTLET
 - ⊕ 4-FLX
 - ⊕ COUNTER OR FLOOR MOUNTED
 - ⊕ COUNTER OR FLOOR MOUNTED 10V GFI
 - ⊕ LEATHERPROOF
 - ⊕ 110 V OUTLET
 - ⊕ 10 V DEDICATED CIRCUIT
 - ⊕ 110 V DEDICATED CIRCUIT
 - ⊕ SPECIAL PURPOSE (740 V, ETC.)
 - ⊕ WALL MOUNT LIGHT
 - ⊕ CEILING MOUNT LIGHT
 - ⊕ PENDANT LIGHT
 - ⊕ RECESSED CAN LIGHT
 - ⊕ TRD CAN LIGHT
 - ⊕ EYEBALL LIGHT
 - ⊕ FLUORESCENT LIGHT
 - ⊕ UNDERCABINET LIGHT
 - ⊕ FLOOD LIGHT
 - ⊕ SWITCH
 - ⊕ 3-WAY SWITCH
 - ⊕ 4-WAY SWITCH
 - ⊕ DIMMER SWITCH
 - ⊕ TELEPHONE
 - ⊕ TV CONNECTION
 - ⊕ CONDUIT FOR COMPONENT WIRING
 - ⊕ SPEAKER
 - ⊕ DOORBELL CHIME
 - ⊕ 10 V SMOKE DETECTOR
 - ⊕ EXHAUST FAN
 - ⊕ LOW VOLTAGE PANEL



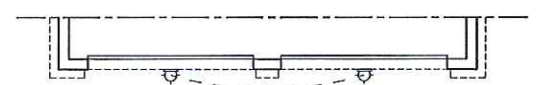
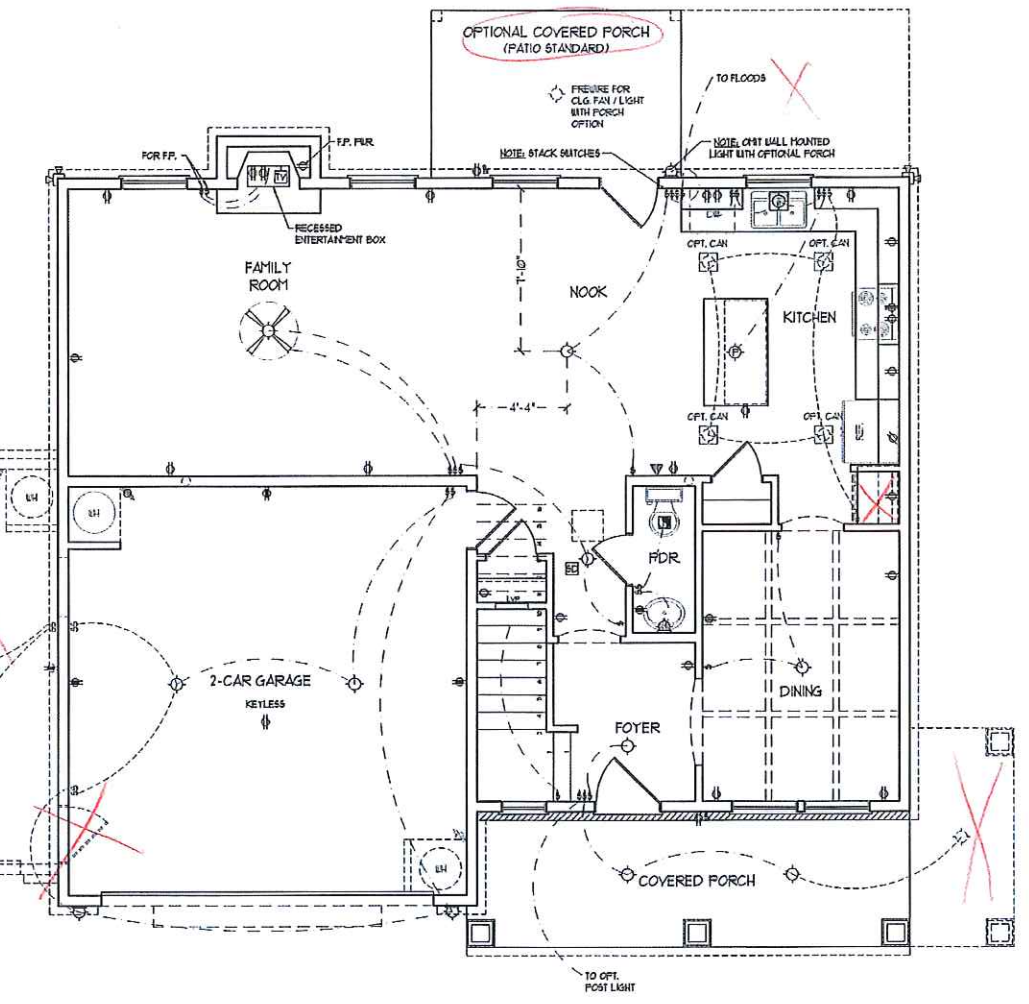
OPTIONAL 12'-0" DEEP REAR PORCH



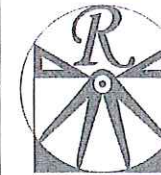
SIDE-LOAD GARAGE OPTION (NOT AVAILABLE WITH OPTIONAL ONE-CAR GARAGE)



SIDE-LOAD GARAGE OPTION (NOT AVAILABLE WITH OPTIONAL ONE-CAR GARAGE)



DOUBLE GARAGE DOOR OPTION

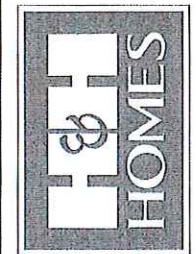


RENAISSANCE
RESIDENTIAL DESIGN, INC.
4810 GLENNIST CT. 1 RALEIGH, NC 27612
(919) 649-4128
WWW.RIDCAROLINA.COM

"The art of transforming your vision into reality."
RENAISSANCE RESIDENTIAL DESIGN, INC. RESERVES THE RIGHT TO MAKE MODIFICATIONS TO FLOOR PLANS, DIMENSIONS, MATERIALS, AND SPECIFICATIONS WITHOUT NOTICE. THESE DRAWINGS ARE FOR THE PURPOSE OF CONVEYING AN ARCHITECTURAL CONCEPT ONLY.

RENAISSANCE RESIDENTIAL DESIGN, INC. HEREBY EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN CONSENT OF RENAISSANCE RESIDENTIAL DESIGN, INC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

J.S. THOMPSON
ENGINEERING, INC.
600 WALKER AVE., SUITE 104
RALEIGH, NC 27603
PHONE: (919) 788-9919
FAX: (919) 259-9911
N.C. LICENSE NO. C-1733



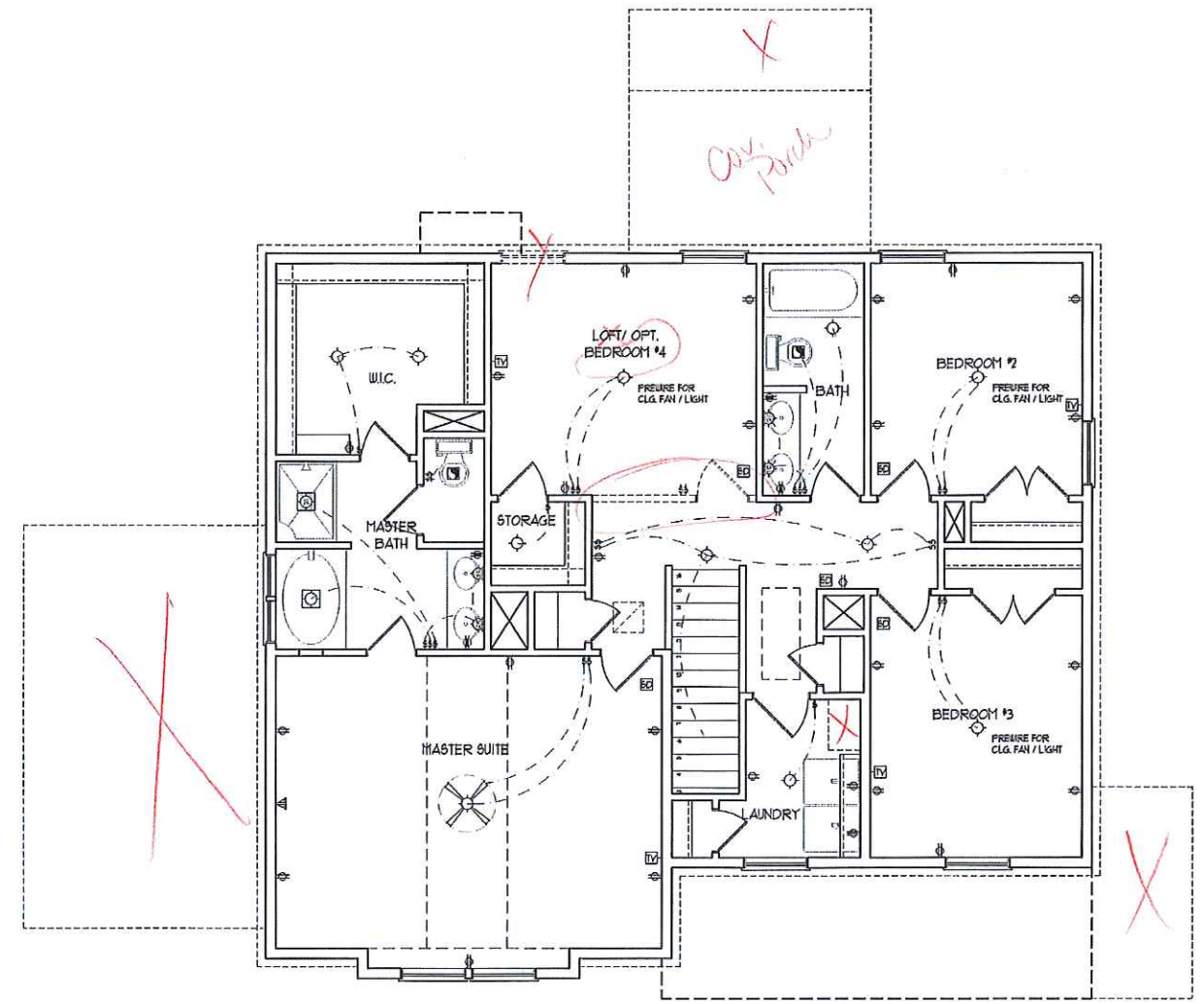
PRICES, PROMOTIONS, INCENTIVES, FEATURES, MATERIALS AND DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND MAY VARY IN ACTUAL CONSTRUCTION. FLOOR PLANS AND ELEVATION RENDERINGS ARE ARTIST CONCEPTIONS. FLOOR PLANS ARE THE COPYRIGHTED PROPERTY OF H&H HOMES. ALL RIGHTS ARE RESERVED. ADAPTATION OR REUSE OF THESE PLANS IS STRICTLY PROHIBITED. SEE NEW HOME SALES CONSULTANT FOR CURRENT DETAILS. COPYRIGHT 2017 H&H HOMES

H&H HOMES, INC.
TOPSAIL

DATE: OCTOBER 18, 2017
REV.:
SCALE: 1/4"=1'-0"
DRAWN BY: WG
ENGINEERED BY: WLF
REVIEWED BY: JES

SECOND FLOOR
ELECTRICAL
PLAN

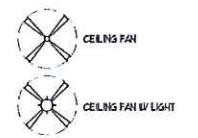
E-2

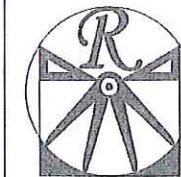


ELECTRICAL LAYOUT NOTES:

- 1) BLOCK AND WIRE FOR ALL CEILING FANS PER PLAN.
- 2) VANITY LIGHTS TO BE SET 4" 50" AFF. (TYP)
- 3) ADDITIONAL EXTERIOR OUTLETS REQUIRED BY CODE TO BE LOCATED BY ELECTRICAL.
- 4) PLACE SWITCHES 6" FROM ROUGH OPENINGS.

- ELECTRICAL LEGEND**
- 10 V. OUTLET
 - 10 V. GFI OUTLET
 - 10 V. SWITCHED OUTLET
 - 10 V. BASEBOARD OUTLET
 - ⊕ 4-FLEX
 - ⊕ COUNTER OR FLOOR MOUNTED
 - ⊕ COUNTER OR FLOOR MOUNTED 100V GFI
 - ⊕ LEATHERPROOF
 - 210 V. OUTLET
 - 10 V. DEDICATED CIRCUIT
 - 210 V. DEDICATED CIRCUIT
 - SPECIAL PURPOSE (240 V., ETC.)
 - WALL MOUNT LIGHT
 - CEILING MOUNT LIGHT
 - PENDANT LIGHT
 - RECESSED CAN LIGHT
 - MINI CAN LIGHT
 - EYEBALL LIGHT
 - FLUORESCENT LIGHT
 - UNDERCABINET LIGHT
 - FLOOD LIGHT
 - ⊕ SWITCH
 - ⊕ 3-WAY SWITCH
 - ⊕ 4-WAY SWITCH
 - ⊕ DIMMER SWITCH
 - ⊕ TELEPHONE
 - ⊕ TV CONNECTION
 - ⊕ CONDUIT FOR COMPONENT WIRING
 - ⊕ SPEAKER
 - ⊕ DOORBELL CHIME
 - ⊕ 10 V. SMOKE DETECTOR
 - ⊕ EXHAUST FAN
 - ⊕ LOW VOLTAGE PANEL





RENAISSANCE
RESIDENTIAL DESIGN, INC.

4810 GLENMIST CT. | RALEIGH, NC 27612

(919) 848-4188

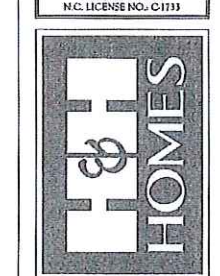
WWW.RENDESIGN.COM

"The art of transforming your vision into reality."

RENAISSANCE RESIDENTIAL DESIGN, INC. HEREBY EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, COPIED, OR COPIED IN ANY FORM OR MANNER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN CONSENT OF RENDESIGN RESIDENTIAL DESIGN, INC. AND ARE TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING END WRITTEN PERMISSION AND CONSENT.

RENAISSANCE RESIDENTIAL DESIGN, INC. HEREBY EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, COPIED, OR COPIED IN ANY FORM OR MANNER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN CONSENT OF RENDESIGN RESIDENTIAL DESIGN, INC. AND ARE TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING END WRITTEN PERMISSION AND CONSENT.

J.S. THOMPSON
ENGINEERING, INC.
626 WADE AVE., SUITE 104
RALEIGH, NC 27609
PHONE: (919) 789-9919
FAX: (919) 789-9921
N.C. LICENSE NO. C11113



PRECISE. PROMOTIONS. INCENTIVES. FEATURES. OPTIONS. FLOOR PLANS. ELEVATIONS. DESIGN. WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF HOUSE ON LOT AND EXISTING UTILITIES ARE TO BE DETERMINED BY SURVEY. FLOOR PLANS AND ELEVATIONS ARE THE PROPERTY OF H&H HOMES. ANY USE, REPRODUCTION, MODIFICATION OR DISPLAY OF THESE PLANS WITHOUT THE WRITTEN PERMISSION OF H&H HOMES IS PROHIBITED.

PRECISE. PROMOTIONS. INCENTIVES. FEATURES. OPTIONS. FLOOR PLANS. ELEVATIONS. DESIGN. WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF HOUSE ON LOT AND EXISTING UTILITIES ARE TO BE DETERMINED BY SURVEY. FLOOR PLANS AND ELEVATIONS ARE THE PROPERTY OF H&H HOMES. ANY USE, REPRODUCTION, MODIFICATION OR DISPLAY OF THESE PLANS WITHOUT THE WRITTEN PERMISSION OF H&H HOMES IS PROHIBITED.

H&H HOMES, INC.
TOPSAIL

DATE: OCTOBER 18, 2017

REV:

SCALE: 1/4"=1'-0"

DRAWN BY: WG

ENGINEERED BY: WLF

REVIEWED BY: JES

MONO SLAB FOUNDATION PLAN

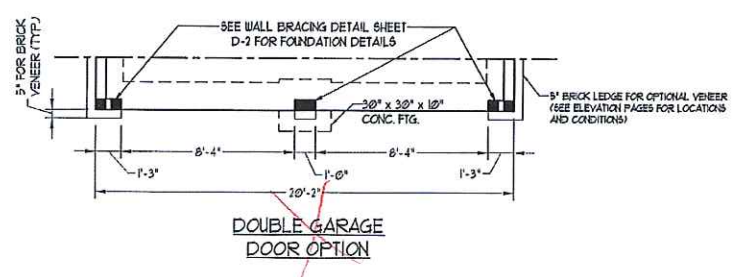
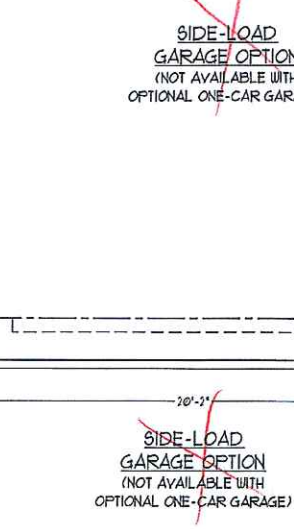
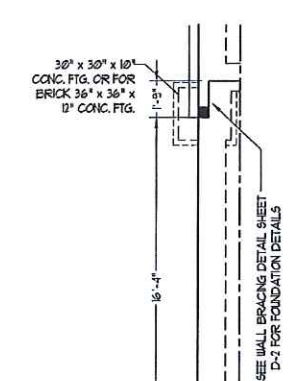
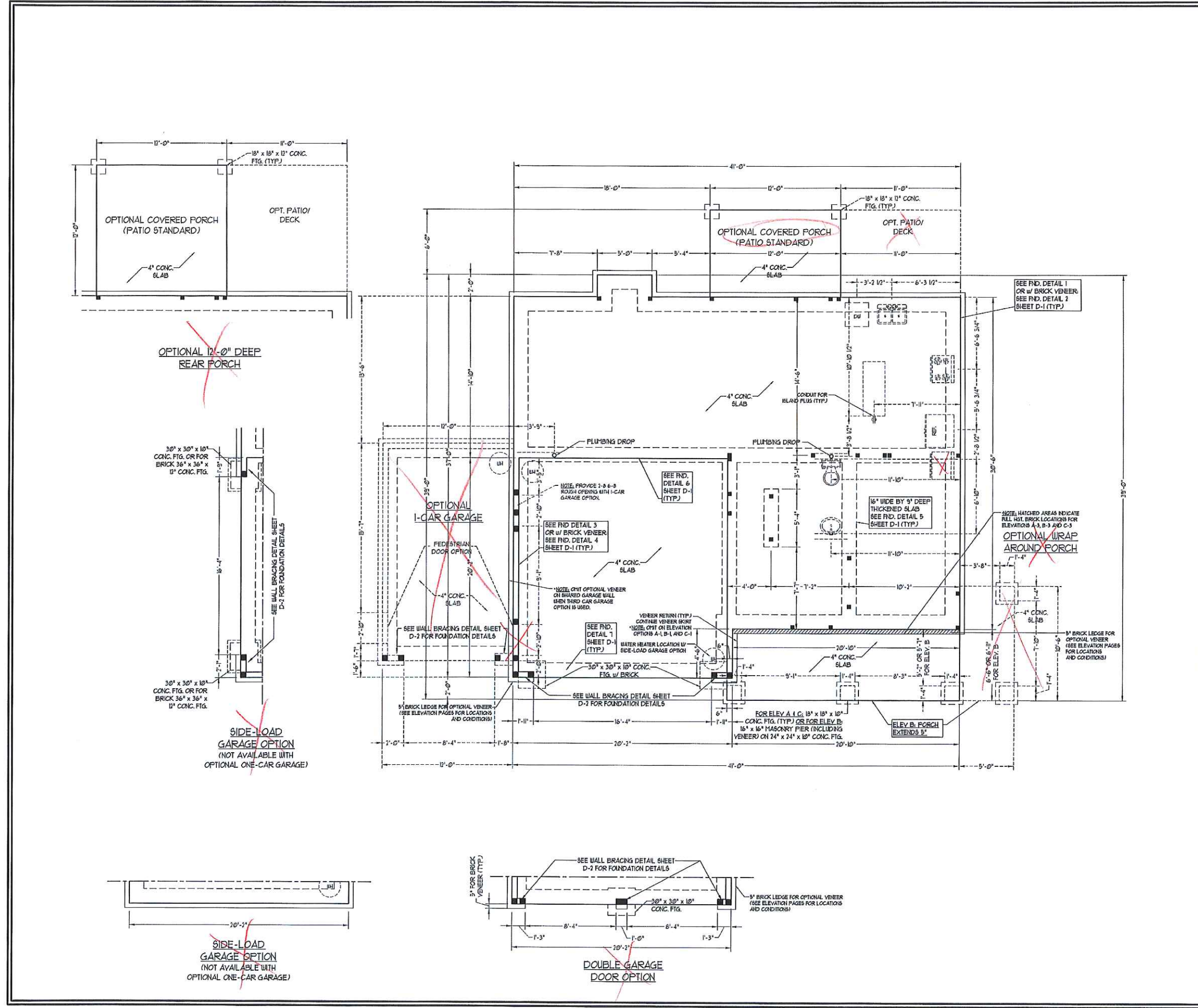
S-1

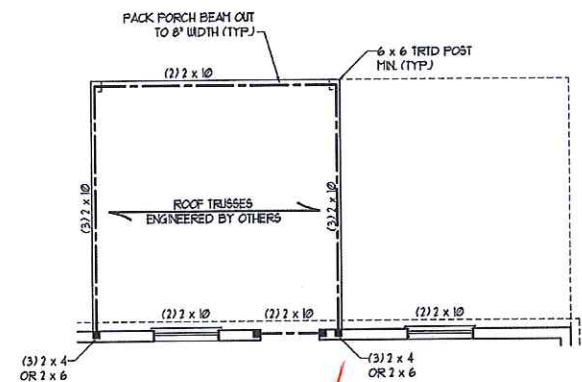
120-MPH WIND ZONE NOTES FOR LESS THAN 30' MEAN ROOF HEIGHT:

- ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS. ENGINEER'S SEAL DOES NOT CERTIFY DIMENSIONAL ACCURACY OR ARCHITECTURAL LAYOUT INCLUDING ROOF SYSTEM.
- STRUCTURAL DESIGN PER NORTH CAROLINA RESIDENTIAL CODE, 2003 EDITION WITH SPECIAL CONSIDERATION TO CHAPTER 45 (HIGH WIND ZONES) FOR 120 MPH WINDS.
- BUILDER IS TO PROVIDE FRAMING CONNECTIONS AS REQUIRED BY CHAPTER 45 (HIGH WIND ZONES) FOR 120 MPH WINDS OF THE NORTH CAROLINA RESIDENTIAL CODE, 2003 EDITION.
- FOUNDATION ANCHORAGE TO COMPLY WITH SECTION 4504 OF THE NORTH CAROLINA RESIDENTIAL CODE, 2003 EDITION.
- MEAN ROOF HEIGHT IS LESS THAN 30 FEET.
- WALL CLADDING DESIGNED FOR 40.1 PSF (POSITIVE AND NEGATIVE).
- ROOF CLADDING DESIGNED FOR 35.6 PSF (POSITIVE AND NEGATIVE) FOR ROOF PITCHES 1/2 TO 3/4 AND 58.1 PSF (POSITIVE AND NEGATIVE) FOR ROOF PITCHES 7/8 TO 1/2.
- 1/2" OSB SHEATHING IS REQUIRED ON ALL EXTERIOR WALLS.
- WALLS TO BE BRACED IN ACCORDANCE WITH SECTION R603.6 OF THE NORTH CAROLINA RESIDENTIAL CODE, 2003 EDITION.
- ENERGY EFFICIENCY COMPLIANCE AND INSULATION VALUES OF THE BUILDING TO BE IN ACCORDANCE WITH CHAPTER 4 OF THE NRC, 2003 EDITION.

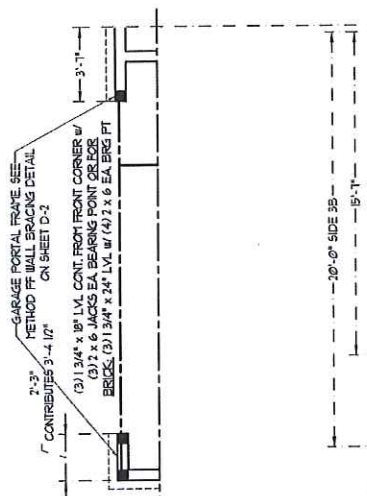
120-MPH WIND ZONE NOTES FOR LESS THAN 30' MEAN ROOF HEIGHT:

- ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS. ENGINEER'S SEAL DOES NOT CERTIFY DIMENSIONAL ACCURACY OR ARCHITECTURAL LAYOUT INCLUDING ROOF SYSTEM.
- STRUCTURAL DESIGN PER NORTH CAROLINA RESIDENTIAL CODE, 2003 EDITION.
- INSTALL 1/2" ANCHOR BOLTS 6" O.C. AND WITHIN 1'-0" FROM END OF EACH PLATE. ANCHOR BOLTS MUST EXTEND A MINIMUM OF 1" INTO MASONRY OR CONCRETE.
- MEAN ROOF HEIGHT IS LESS THAN 30 FEET.
- EXTERIOR WALLS DESIGNED FOR 120 MPH WINDS.
- WALL CLADDING DESIGNED FOR 24.1 PSF (POSITIVE AND NEGATIVE).
- ROOF CLADDING DESIGNED FOR 21.0 PSF (POSITIVE AND NEGATIVE) FOR ROOF PITCHES 1/2 TO 3/4 AND 34.8 PSF (POSITIVE AND NEGATIVE) FOR ROOF PITCHES 7/8 TO 1/2.
- INSTALL 1/2" OSB SHEATHING ON ALL EXTERIOR WALLS OF ALL STORES IN ACCORDANCE WITH SECTION R603.6 OF THE NRC, 2003 EDITION. SEE THE WALL BRACING NOTES AND DETAILS SHEET FOR MORE INFORMATION.
- ENERGY EFFICIENCY COMPLIANCE AND INSULATION VALUES OF THE BUILDING TO BE IN ACCORDANCE WITH CHAPTER 4 OF THE NRC, 2003 EDITION.
- REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.

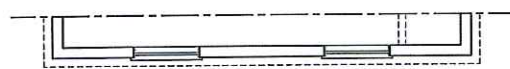




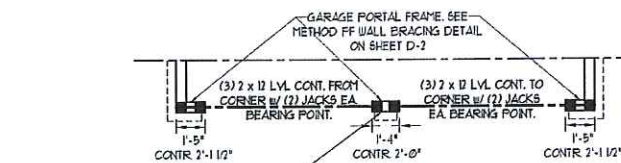
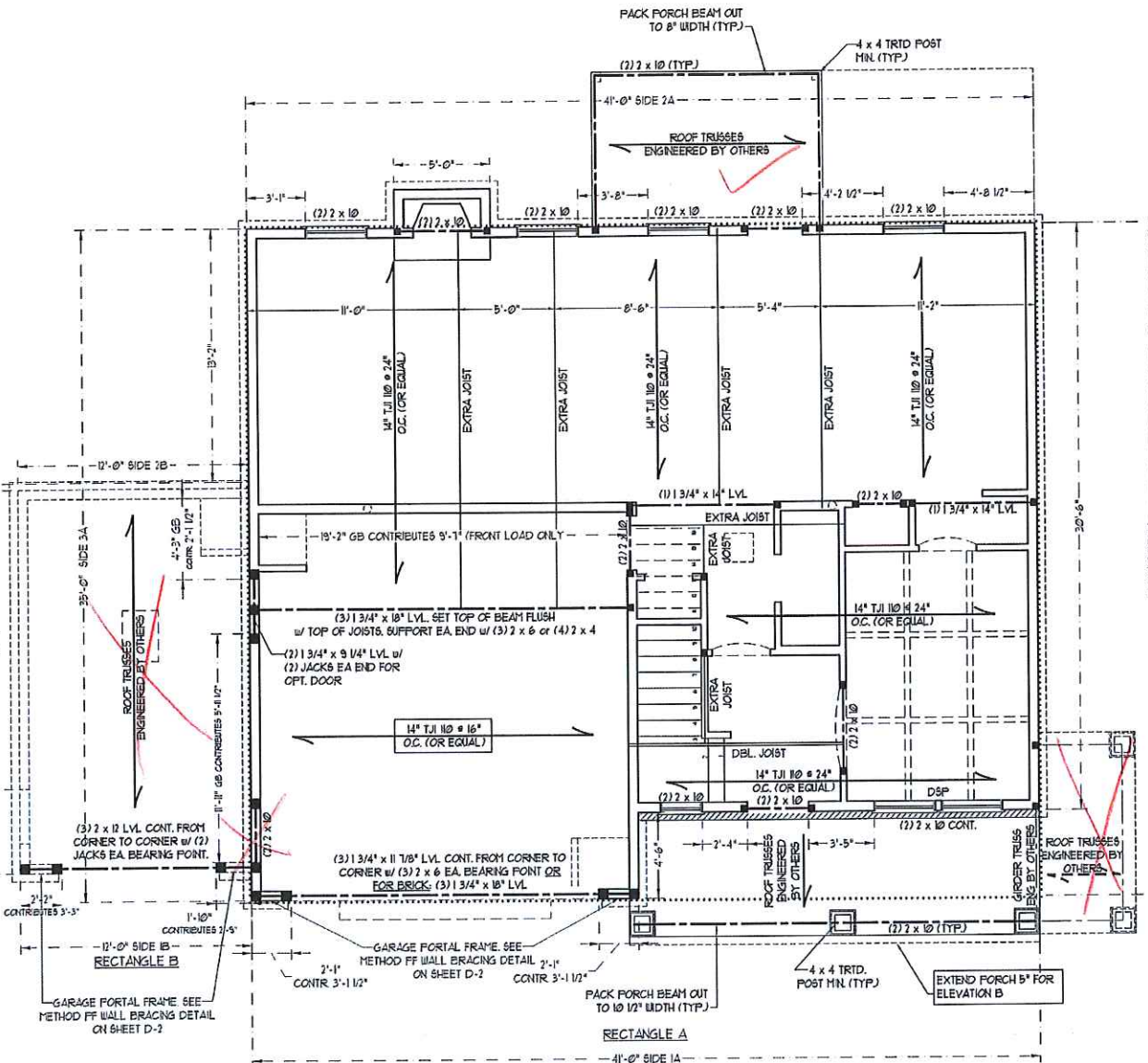
~~OPTIONAL 12'-0" DEEP REAR PORCH~~



~~SIDE-LOAD GARAGE OPTION (NOT AVAILABLE WITH OPTIONAL ONE-CAR GARAGE)~~



~~SIDE-LOAD GARAGE OPTION (NOT AVAILABLE WITH OPTIONAL ONE-CAR GARAGE)~~



~~DOUBLE GARAGE DOOR OPTION~~

- BRACED WALL DESIGN NOTES:**
- BRACED WALL DESIGN PER SECTION R6.02.10 OF THE SIMPLIFIED WALL BRACING CRITERIA EFFECTIVE SEPTEMBER 1, 2013.
 - C5-USP REFERS TO 'CONTINUOUS SHEATHING - WOOD STRUCTURAL PANELS' CONTRACTOR IS TO INSTALL 7/16" OSB ON ALL EXTERIOR WALLS ATTACHED w/ 8d NAILS SPACED 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN THE FIELD.
 - *GB REFERS TO 'GYPSUM BOARD' CONTRACTOR IS TO INSTALL 1/2" (MIN) GYPSUM WALL BOARD WHERE NOTED ON THE PLANS. FASTEN GB WITH 1 1/4" SCREWS OR 1 5/8" NAILS SPACED 12" O.C. ALONG PANEL EDGES AND IN THE FIELD INCLUDING TOP AND BOTTOM PLATES.
 - BRACED WALL DESIGN APPLIES IN WIND ZONES UP TO 10 MPH FOR HIGH WIND ZONES, BRACE WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH CHAPTER 45 OF THE NRC, 2003 EDITION. SEE NOTES AND DETAIL SHEETS FOR ADDITIONAL BRACED WALL INFORMATION.

BRACED WALL DESIGN

RECTANGLE A	RECTANGLE B
SIDE 1A (FRONT LOAD) METHOD: C5-USP/FF/GB TOTAL REQUIRED LENGTH 15' TOTAL PROVIDED LENGTH 216'	SIDE 1B METHOD: C5-USP/FF TOTAL REQUIRED LENGTH: 456' TOTAL PROVIDED LENGTH: 6'
SIDE 2A METHOD: C5-USP TOTAL REQUIRED LENGTH 15' TOTAL PROVIDED LENGTH 2066'	SIDE 2B METHOD: C5-USP TOTAL REQUIRED LENGTH: 456' TOTAL PROVIDED LENGTH: 17'
SIDE 3A (SIDE LOAD) METHOD: C5-USP/FF/GB TOTAL REQUIRED LENGTH 1155' TOTAL PROVIDED LENGTH: 2001'	SIDE 3B METHOD: C5-USP TOTAL REQUIRED LENGTH: 313' TOTAL PROVIDED LENGTH: 558'
SIDE 4A METHOD: C5-USP TOTAL REQUIRED LENGTH 1155' TOTAL PROVIDED LENGTH: 33'	SIDE 4B (CAPILLARY) METHOD: C5-USP/GB TOTAL REQUIRED LENGTH: 2074' TOTAL PROVIDED LENGTH: 3145'

NOTE: ALL EXTERIOR WALLS AND ATTIC WALLS ARE TO BE 2 x 6 @ 16" O.C. (UNO). 2 x 4 @ 16" O.C. EXTERIOR WALLS MAY BE CONSTRUCTED IN LIEU OF 2 x 6 WALLS (UNO). ALL INTERIOR LOAD BEARING WALLS ARE TO BE 2 x 4 @ 16" O.C. (UNO) AND NON-LOAD BEARING INTERIOR WALLS ARE TO BE 2 x 4 @ 24" O.C. (UNO).

LINTEL SCHEDULE FOR BRICK/NATURAL STONE SUPPORT

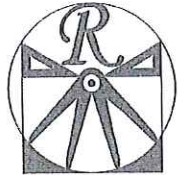
LENGTH (FT.)	SIZE OF LINTEL
UP TO 4 FT.	L 3 1/2 x 3 1/2 x 1/4
4-8	L 5 x 3 1/2 x 5/16 LLV
8 AND GREATER	L 6 x 4 x 5/16 LLV

NOTES:

- LINTEL SCHEDULE APPLIES TO ALL OPENINGS IN BRICK VENEER (UNO). SEE ARCH DWGS. FOR SIZE AND LOCATION OF OPENINGS.
- (LLV) = LONG LEG VERTICAL
- LENGTH = CLEAR OPENING
- EREBD ALL ANGLE IRONS MIN 4" EACH SIDE INTO VENEER TO PROVIDE BEARINGS.
- FOR ALL HEADERS 8'-0" AND GREATER IN LENGTH, ATTACH STEEL ANGLE TO HEADER W/ 1/2" LAG SCREWS @ 12" O.C. STAGGERED.
- FOR ALL BRICK SUPPORT @ ROOF LINES, FASTEN A 5" x 3 1/2" x 5/16" STEEL ANGLE TO 2 x 10 BLOCKING INSTALLED BETWEEN WALL STUDS W/ 1/2" LAG SCREWS 12" O.C. STAGGERED AND IN ACCORDANCE TO SECTION R103.122 OF THE NORTH CAROLINA RESIDENTIAL CODE, 2012 EDITION.
- PRE-CAST REINFORCED CONCRETE LINTELS ENGINEERED BY OTHERS MAY BE USED IN LIEU OF STEEL LINTELS.



- STRUCTURAL NOTES:**
- ALL FRAMING LUMBER TO BE 7' SPF (UNO). ALL TREATED LUMBER TO BE 7' SPY (UNO).
 - ALL LOAD BEARING HEADERS TO BE (2) 2 x 6 (UNO).
 - PROVIDE EXTRA JOIST UNDER WALLS PARALLEL TO FLOOR JOISTS WHERE NOTED ON THE PLAN.
 - ALL BEAMS ARE TO BE SUPPORTED WITH (2) JACK STUDS EA. END (UNO). WINDOW AND DOOR HEADERS TO BE SUPPORTED w/ (1) JACK STUD AND (1) KING STUD EA. END (UNO).
 - FOR HIGH WIND ZONES, PROVIDE (2) 2 x 6 KING STUDS EA. SIDE OF EXTERIOR WINDOW AND DOOR HEADERS w/ CLEAR OPENINGS LESS THAN 6'-0" AND (3) 2 x 6 KING STUDS EA. SIDE OF HEADERS w/ CLEAR OPENINGS GREATER THAN 6'-0".
 - FOR HIGH WIND ZONES, ALL EXTERIOR WALLS TO BE SHEATHED WITH 7/16" OSB SHEATHING WITH JOINTS BLOCKED AND SECURED WITH 8d NAILS AT 3" O.C. ALONG EDGES AND 6" O.C. IN THE FIELD.
 - FOR HIGH WIND ZONES, SECURE ALL EXTERIOR WALL SHEATHING PANELS TO DOUBLE TOP PLATES, BANDS, JOISTS, AND GIRDERS WITH (2) ROUS OF 8d NAILS STAGGERED AT 3" O.C. PANELS SHALL EXTEND 12" BEYOND CONSTRUCTION JOINTS AND SHALL OVERLAP GIRDERS AND DOUBLE SILL PLATES THEIR FULL DEPTH.
 - SQUARES DENOTE POINT LOADS WHICH REQUIRE SOLID BLOCKING TO GIRDER OR FOUNDATION. ALL SQUARES TO BE (2) STUDS (UNO).
 - ALL 4 x 4 POSTS SHALL BE ANCHORED TO SLABS w/ SIMPSON ABU44 POST BASES (OR EQUAL) AND 6 x 6 POSTS w/ ABU66 POST BASES (OR EQUAL) (UNO). ALL 4 x 4 AND 6 x 6 POSTS TO BE INSTALLED WITH 100 LB CAPACITY UPLIFT CONNECTORS AT TOP (UNO).
 - FOR FIBERGLASS, ALUMINUM OR COLUMN ENG. BY OTHERS, SECURE TO SLAB w/ (2) METAL ANGLES USING 1" CONC. SCREWS. FASTEN ANGLES TO COLUMN w/ 1/4" THROUGH BOLTS w/ NUTS AND WASHERS. LOCATE ANGLES ON OPPOSITE SIDES OF COLUMN. THROUGH BOLTS MUST BE INSTALLED PRIOR TO SETTING COLUMN.
 - REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.
- NOTE: DSP DENOTES DOUBLE STUD POCKET**

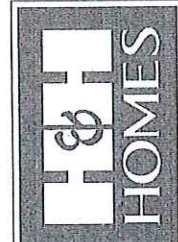


RENAISSANCE
RESIDENTIAL DESIGN, INC.
4810 GREENHURST CT. 1 FLOOR BLDG. NC 27612
(919) 648-4128
WWW.RENDESIGN.COM

"The art of transforming your vision into reality."

RENAISSANCE RESIDENTIAL DESIGN, INC. HEREBY EXPRESSLY RESERVES ITS COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN CONSENT OF RENAISSANCE RESIDENTIAL DESIGN, INC. NO PART OF THESE PLANS ARE TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION AND CONSENT.

J.S. THOMPSON
ENGINEERING, INC.
606 WARE AVE., SUITE 101
RALEIGH, NC 27605
PHONE: (919) 789-9919
FAX: (919) 789-9911
N.C. LICENSE NO. C-1713



H&H HOMES

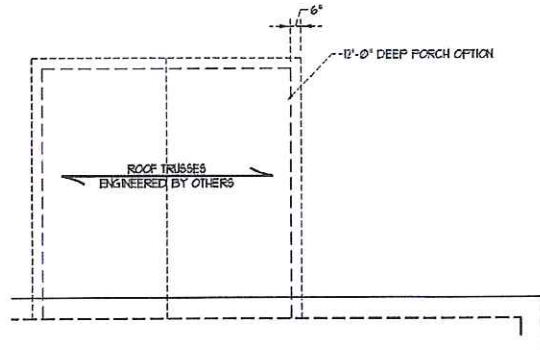
PRICES, PROMOTIONS, INCENTIVES, FEATURES, MATERIALS AND DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND MAY VARY IN ACTUAL CONSTRUCTION. ALL DIMENSIONS SHALL BE DETERMINED BY THE SITE TEAM AND NOT PLAN DIMENSIONS. FLOOR PLANS AND ELEVATION DRAWINGS ARE ARTIST CONCEPTIONS. FLOOR PLANS ARE THE COPYRIGHTED PROPERTY OF H&H HOMES. NO PART OF THESE PLANS OR DRAWINGS ARE TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN PERMISSION OF H&H HOMES. CURRENT DETAILS. COPYRIGHT 2017 H&H HOMES

H&H HOMES, INC.
TOPSAIL

DATE: OCTOBER 18, 2017
REV.:
SCALE: 1/4"=1'-0"
DRAWN BY: WG
ENGINEERED BY: WLF
REVIEWED BY: JES

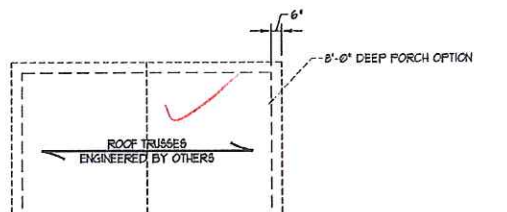
SECOND FLOOR FRAMING PLAN
S-2

ATTIC VENT CALCULATION:
163 SQ. FT. OF ATTIC DIVIDED BY 150 REQUIRES 11 SQ. FT. OF NET FREE VENTILATING AREA (MIN).



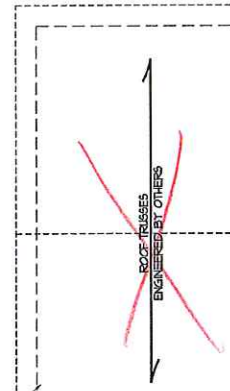
~~12'-0" DEEP REAR PORCH OPTION
SCALE: 1/4" = 1'-0"~~

ATTIC VENT CALCULATION:
111 SQ. FT. OF ATTIC DIVIDED BY 150 REQUIRES 0.7 SQ. FT. OF NET FREE VENTILATING AREA (MIN).

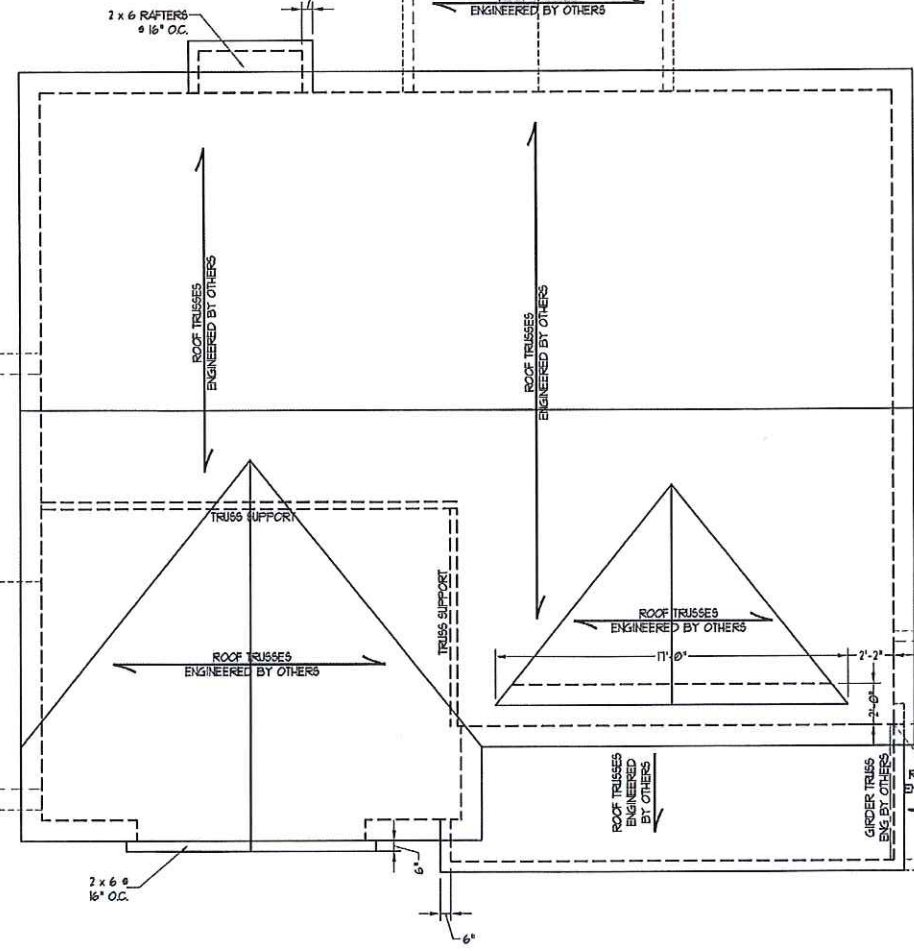


ATTIC VENT CALCULATION:
1630 SQ. FT. OF ATTIC DIVIDED BY 150 REQUIRES 109 SQ. FT. OF NET FREE VENTILATING AREA (MIN).

ATTIC VENT CALCULATION:
286 SQ. FT. OF ATTIC DIVIDED BY 150 REQUIRES 19 SQ. FT. OF NET FREE VENTILATING AREA (MIN).



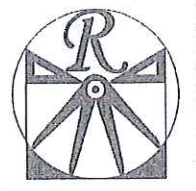
ATTIC VENT CALCULATION:
63 SQ. FT. OF ATTIC DIVIDED BY 150 REQUIRES 0.4 SQ. FT. OF NET FREE VENTILATING AREA (MIN).



ELEVATION A

- STRUCTURAL NOTES:**
- ALL FRAMING LUMBER TO BE #2 SPF (LNO).
 - CIRCLES DENOTE (3) 2 x 4 POSTS FOR ROOF SUPPORT.
 - FRAME DORMER WALLS ON TOP OF DOUBLE OR TRIPLE RAFTERS.
 - HIP SPLICES ARE TO BE SPACED A MIN. OF 8'-0". FASTEN MEMBERS WITH THREE ROWS OF 10d NAILS @ 16" O.C. (TYP).
 - STICK FRAME OVER-FRAMED ROOF SECTIONS W/ 2 x 8 RIDGES, 2 x 6 RAFTERS @ 16" O.C. AND FLAT 2 x 10 VALLEYS OR USE VALLEY TRUSSES.
 - FASTEN FLAT VALLEYS TO RAFTERS OR TRUSSES WITH SIMPSON H25A HURRICANE TIES @ 31" O.C. MAX. PASS HURRICANE TIES THROUGH NOTCH IN ROOF SHEATHING. EACH RAFTER IS TO BE FASTENED TO THE FLAT VALLEY WITH A MIN. OF (6) 10d TOE NAILS.
 - REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.

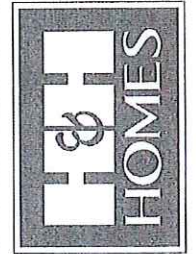
- BRICK SUPPORT NOTE:**
- FOR BRICK SUPPORT @ ROOF LINES, BOLT A 5" x 3 1/2" x 5/16" STEEL ANGLE TO 2 x 10 BLOCKS INSTALLED BETWEEN WALL STUDS W/ 1/2" LAG SCREWS 12" O.C. STAGGERED AND IN ACCORDANCE WITH SECTION R103.122 OF THE NORTH CAROLINA RESIDENTIAL CODE, 2012 EDITION.
 - WHERE ROOF SLOPES EXCEED 1:10, INSTALL 3" x 3" x 1/4" STEEL PLATE STOPS AT 24" O.C. PER SECTION R103.121 OF THE NORTH CAROLINA RESIDENTIAL CODE, 2012 EDITION.



RENAISSANCE
RESIDENTIAL DESIGN, INC.
4810 GLENVIEW CT. | RALEIGH, NC 27612
(919) 649-4128
WWW.RRDCAROLINA.COM

The art of transforming your vision into reality.
RENAISSANCE RESIDENTIAL DESIGN, INC. RESERVES THE RIGHT TO MAKE MODIFICATIONS TO FLOOR PLANS, DIMENSIONS, MATERIALS, AND SPECIFICATIONS WITHOUT NOTICE. THESE DRAWINGS ARE FOR THE PURPOSE OF CONVEYING AN ARCHITECTURAL CONCEPT ONLY.
RENAISSANCE RESIDENTIAL DESIGN, INC. HEREBY DISCLAIMS ANY REPRESENTATIVE CONTRACT LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, COPIED, OR COPIED IN ANY FORM OR MANNER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN CONSENT OF RENAISSANCE RESIDENTIAL DESIGN, INC. NO PARTS ARE TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION AND CONSENT.

J.S. THOMPSON
ENGINEERING, INC.
606 WADE AVE., SUITE 104
RALEIGH, NC 27605
PHONE: (919) 259-9919
FAX: (919) 259-9921
N.C. LICENSE NO. C1713



THESE DRAWINGS, INCLUDING FEATURES, MATERIALS, DIMENSIONS, ELEVATIONS, DISCREPANCIES, AND DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS ARE LISTED AS APPROXIMATE. SQUARE FOOTAGE ON LOT WILL BE DETERMINED BY THE SITE PLAN AND PLAT PLAN. FLOOR PLANS AND ELEVATION DIMENSIONS ARE INTENT TO BE CONSIDERED APPROXIMATE. THESE DRAWINGS ARE NOT TO BE ADAPTED, COPIED, REPRODUCED, OR DISPLAYED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF H&H HOMES. CURRENT DETAILS: COPYRIGHT 2017 H&H HOMES

H&H HOMES, INC.
TOPSAIL

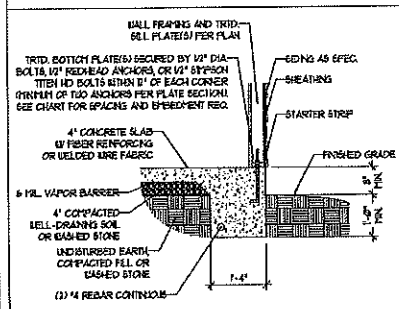
DATE: OCTOBER 18, 2017
REV:
SCALE: 1/4" = 1'-0"
DRAWN BY: WG
ENGINEERED BY: WLF
REVIEWED BY: JES

ROOF PLAN
ELEVATION - A
S-4



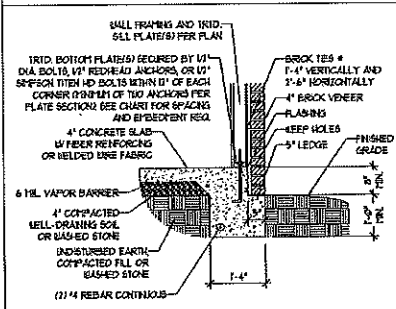
MONOLITHIC SLAB DETAILS

DETAIL 1



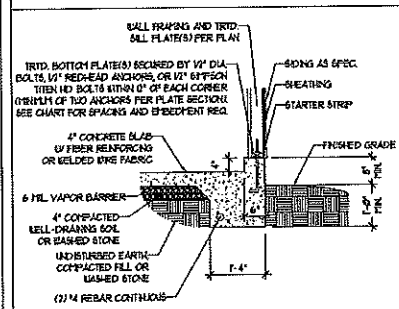
TYPICAL SLAB DETAIL

DETAIL 2



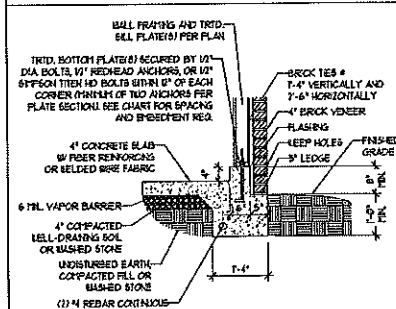
BRICK VENEER DETAIL

DETAIL 3



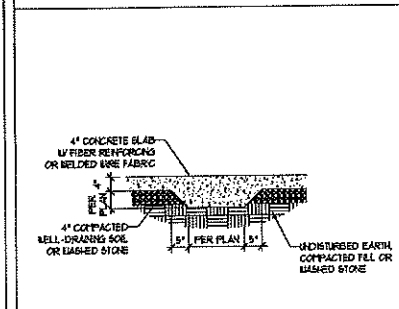
GARAGE CURB DETAIL

DETAIL 4



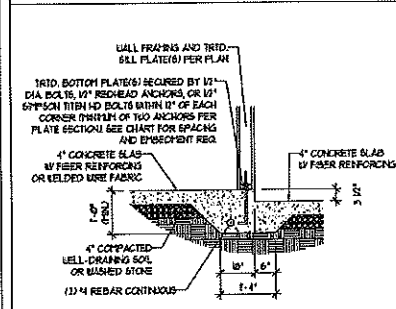
GARAGE CURB BRICK LEDGE DETAIL

DETAIL 5



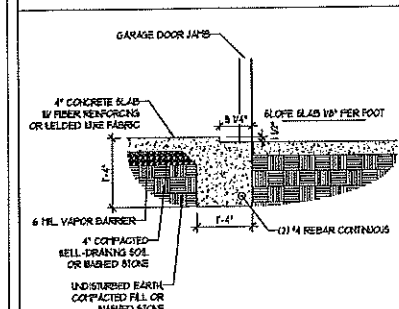
THICKENED SLAB DETAIL

DETAIL 6



STEP IN GARAGE DETAIL

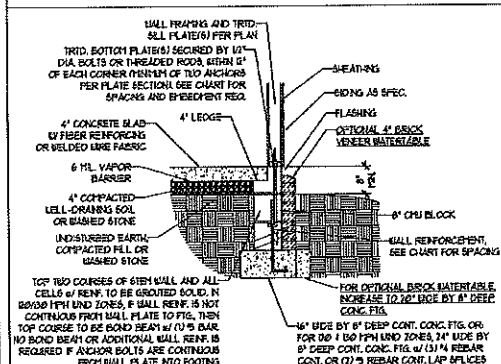
DETAIL 1



SLAB AT GARAGE DOOR DETAIL

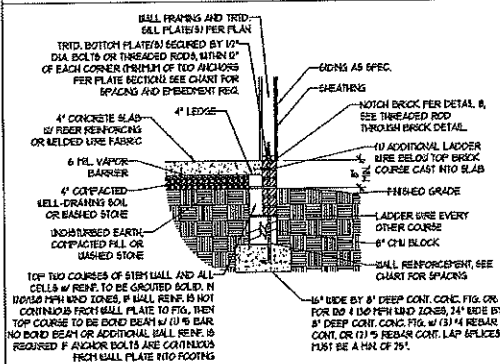
STEMWALL DETAILS

DETAIL 1



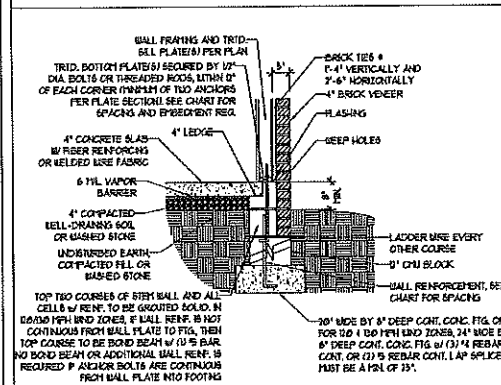
TYPICAL STEM WALL DETAIL
(w/ OPTIONAL WATERTABLE)

OPTIONAL DETAIL 1



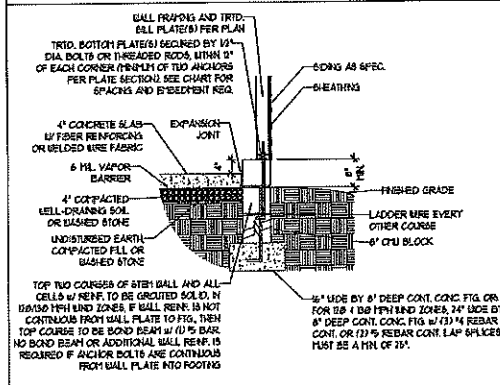
OPTIONAL STEM WALL DETAIL

DETAIL 2



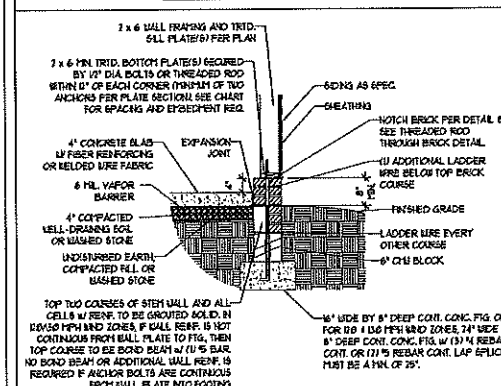
TYPICAL STEM WALL FND. W/ BRICK DETAIL

DETAIL 3



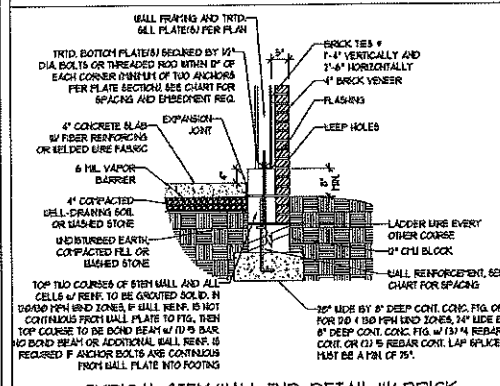
TYPICAL STEM WALL FND. DETAIL W/ CURB @ GARAGE

OPTIONAL DETAIL 3



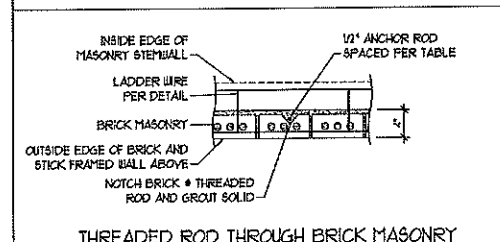
OPTIONAL STEM WALL FND. DETAIL W/ CURB @ GARAGE

DETAIL 4



TYPICAL STEM WALL FND. DETAIL W/ BRICK AND CURB @ GARAGE

DETAIL 8



THREADED ROD THROUGH BRICK MASONRY

MASONRY STEMWALL SPECIFICATIONS

WALL HEIGHT (FEET)	MASONRY WALL TYPE			
	8" CMU	4" BRICK AND 4" CMU	4" BRICK AND 8" CMU	8" CMU
2 AND BELOW	UNROUTED	GROUT SOLID	UNROUTED	UNROUTED
3	UNROUTED	GROUT SOLID	UNROUTED	UNROUTED
4	GROUT SOLID	GROUT SOLID w/ #4 REBAR @ 48" O.C.	GROUT SOLID	GROUT SOLID w/ #4 REBAR @ 64" O.C.
5	GROUT SOLID w/ #4 REBAR @ 36" O.C.	NOT APPLICABLE	GROUT SOLID w/ #4 REBAR @ 36" O.C.	GROUT SOLID w/ #4 REBAR @ 64" O.C.
6	GROUT SOLID w/ #4 REBAR @ 24" O.C.	NOT APPLICABLE	GROUT SOLID w/ #4 REBAR @ 24" O.C.	GROUT SOLID w/ #4 REBAR @ 64" O.C.
1 AND GREATER	ENGINEERED DESIGN BASED ON SITE CONDITIONS			

STRUCTURAL NOTES:

- WALL HEIGHT MEASURED FROM TOP OF FOOTING TO TOP OF THE WALL.
- THE MULTIPLE UNITS TOGETHER WITH LADDER WIRE AT 16" O.C. VERTICALLY.
- CHART APPLICABLE FOR HOUSE FOUNDATION ONLY. CONSULT ENGINEER FOR DESIGN OF GARAGE FOUNDATION NOT COVERED TO HOUSE.
- BACKFILL OF CLEAN #1 / #11 WASHED STONE IS ALLOWABLE.
- BACKFILL OF WELL DRAINED OR SAND - GRAVEL MIXTURE SOILS (45 PPF/FT BELOW GRADE) CLASSIFIED AS GROUP 1 ACCORDING TO UNIFIED SOILS CLASSIFICATION SYSTEM IN ACCORDANCE WITH TABLE 2002.1 OF THE 2012 INTERNATIONAL RESIDENTIAL CODE ARE ALLOWABLE.
- PREP SLAB PER 2002.2 AND 2002.2.2 BASE OF THE 2012 INTERNATIONAL RESIDENTIAL CODE. MINIMUM 24" LAP SPlice LENGTH.
- LOCATE REBAR IN CENTER OF FOUNDATION WALL.
- WHERE REQUIRED, FILL BLOCK SOLID WITH TYPE "S" MORTAR OR 3000 PSI GROUT. USE OF LOW LIFT GROUTING METHOD REQUIRED WHEN FILLING WALLS WITH GROUT AT HEIGHTS OF 5' AND GREATER.

ANCHOR SPACING AND EMBEDMENT

WIND ZONE	100 MPH		130 MPH	
	SPACING	EMBEDMENT	SPACING	EMBEDMENT
100 MPH	6'-0" O.C. 3'-0" O.C. FOR STRAPS	1"	130 MPH	6'-0" O.C. w/ DBL SILL PLATE OR 4'-0" O.C. w/ SINGLE SILL PLATE w/ 2" x 2" x 1/8" WASHERS
130 MPH	4'-0" O.C. 2'-0" O.C. FOR STRAPS	5" INTO MASONRY 1" INTO CONCRETE	130 MPH	6'-0" O.C. w/ DBL SILL PLATE OR 4'-0" O.C. w/ SINGLE SILL PLATE w/ 2" x 2" x 1/8" WASHERS
130 MPH	6'-0" O.C. w/ DBL SILL PLATE OR 4'-0" O.C. w/ SINGLE SILL PLATE w/ 2" x 2" x 1/8" WASHERS	5" INTO MASONRY 1" INTO CONCRETE	130 MPH	6'-0" O.C. w/ DBL SILL PLATE OR 4'-0" O.C. w/ SINGLE SILL PLATE w/ 2" x 2" x 1/8" WASHERS
130 MPH	6'-0" O.C. w/ DBL SILL PLATE OR 4'-0" O.C. w/ SINGLE SILL PLATE w/ 2" x 2" x 1/8" WASHERS	5" INTO MASONRY 1" INTO CONCRETE	130 MPH	6'-0" O.C. w/ DBL SILL PLATE OR 4'-0" O.C. w/ SINGLE SILL PLATE w/ 2" x 2" x 1/8" WASHERS

NOTE: HORIZONTAL FOOTING REBAR REQUIRED IN HIGH WIND ZONES ONLY (120 MPH - 130 MPH)

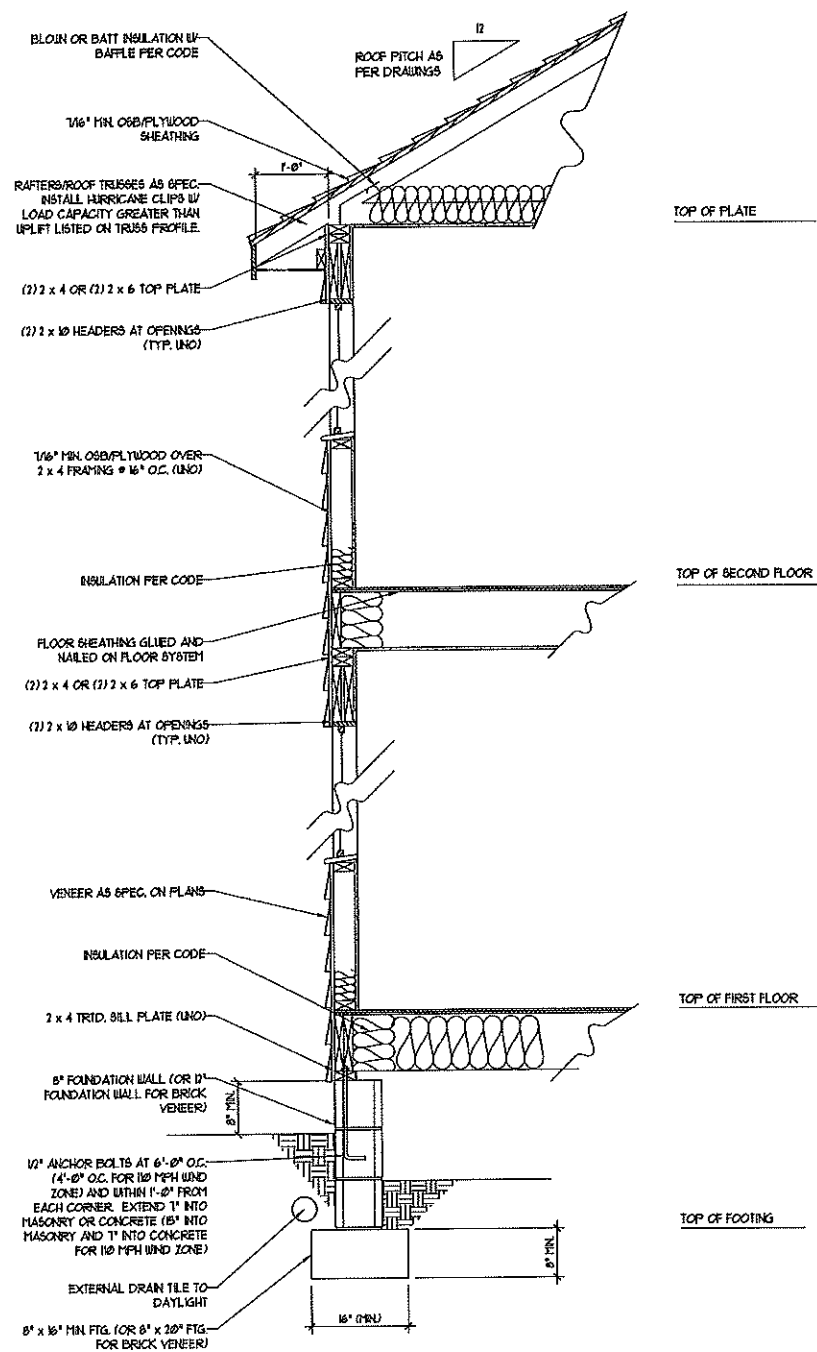
J.S. THOMPSON ENGINEERING, INC.
 606 WADE AVE., SUITE 104 RALEIGH, NC 27605
 PHONE (919) 789-9919 FAX (919) 789-9921
 N.C. LICENSE NO. C-11213

FOUNDATION DETAILS

DATE: AUGUST 14, 2015
 SCALE: NTS
 DRAWN BY: JST
 ENGINEERED BY: JES

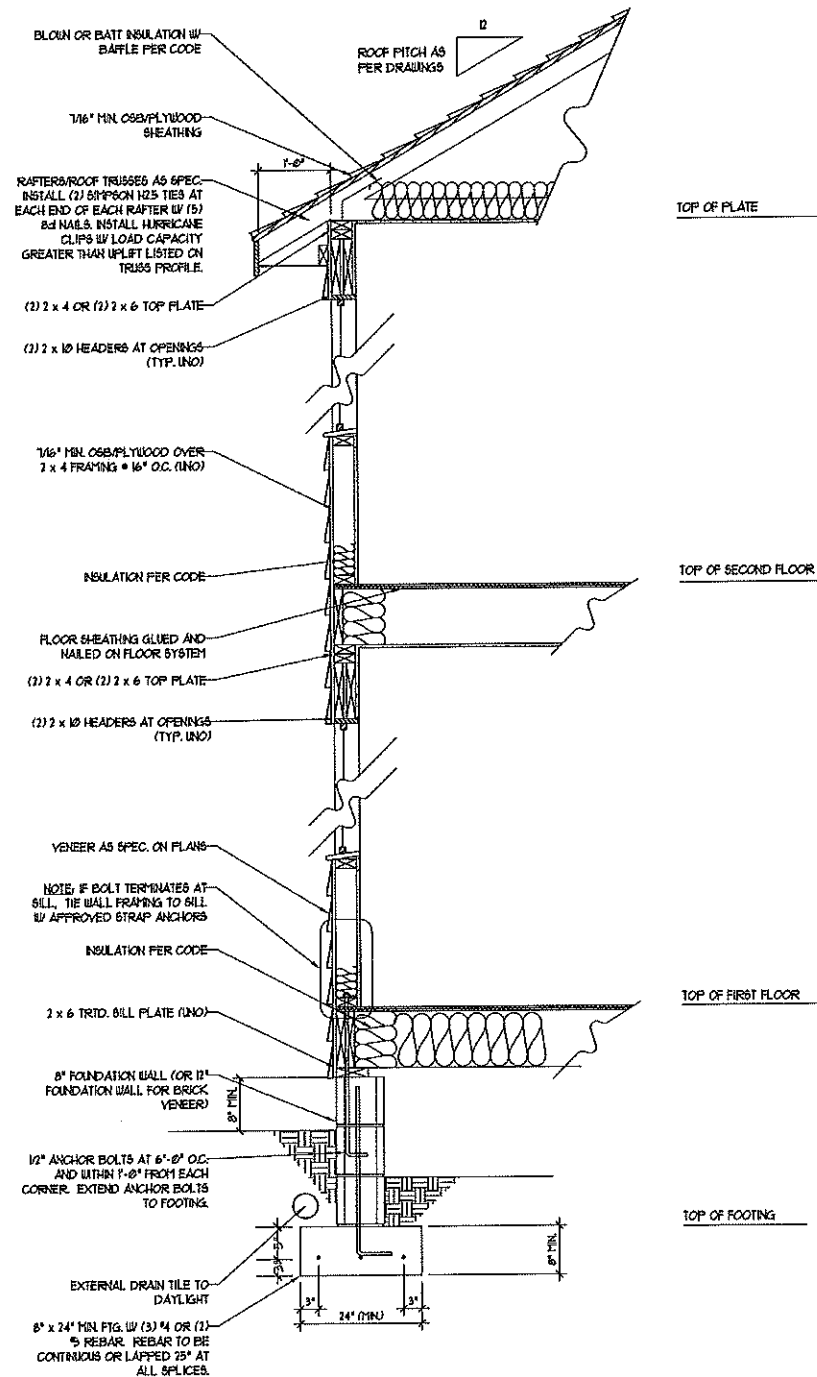


100/110 MPH WIND ZONE



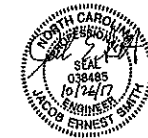
WALL SECTION W/ CRAWL SPACE
W/ STD. SIDING SHOWN (NTS)

120/130 MPH WIND ZONE



WALL SECTION W/ CRAWL SPACE
W/ STD. SIDING SHOWN (NTS)

NOTE:
- BUILDER IS TO PROVIDE FRAMING CONNECTIONS AS REQUIRED BY CHAPTER 45 ("HIGH WIND ZONES" FOR 100/120/130 MPH WINDS) AND CHAPTER 46 (COASTAL AND FLOOD PLAIN CONSTRUCTION STANDARDS) OF THE NORTH CAROLINA STATE BUILDING CODE, 2012 EDITION.



**J.S. THOMPSON
ENGINEERING, INC**
606 WADE AVE., SUITE 104, RALEIGH, NC 27603
PHONE: (919) 789-9919 FAX: (919) 789-9921
N.C. LICENSE NO.: C-1733

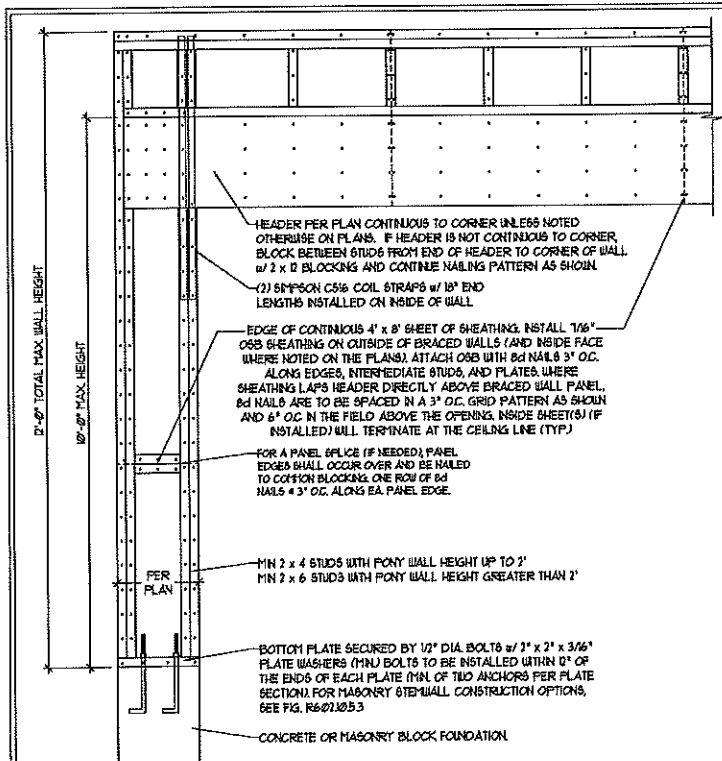
DETAILS

DATE: JULY 12, 2012
SCALE: NTS
DRAWN BY: JST
ENGINEERED BY: JST
REVIEWED BY: MGS

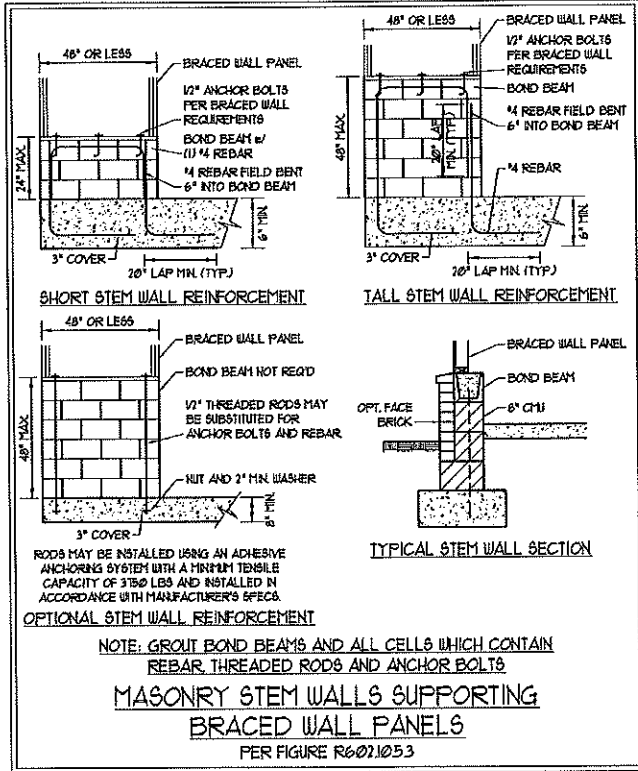
TYPICAL WALL SECTION

GENERAL WALL BRACING NOTES:

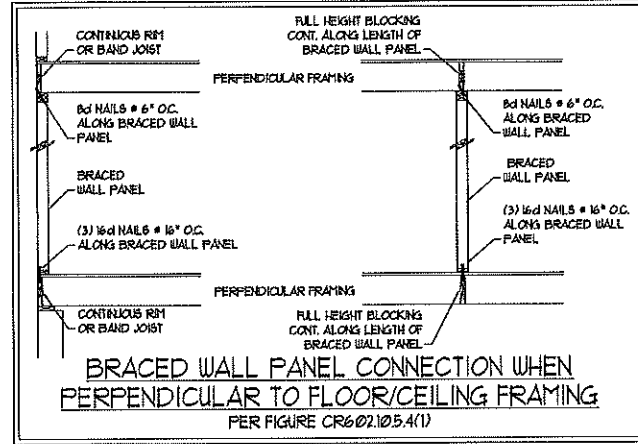
1. WALL BRACING DESIGNED IN ACCORDANCE WITH CHAPTER 6 OF THE 2012 NC RESIDENTIAL BUILDING CODE (NCR). TABLES AND FIGURES REFERENCED ARE FROM THE 2012 NCR.
2. SEE THIS SHEET FOR GENERAL DETAILS. REFER TO THE 2012 NCR FOR ADDITIONAL INFORMATION AS NEEDED.
3. SEE STRUCTURAL SHEETS FOR BRACED WALL LOCATIONS, DIMENSIONS, HOLD DOWN TYPE AND LOCATIONS, BRACED WALL LINE KEY WITH WALL DESIGN SUMMARY OF REQUIRED/PROVIDED TOTALS FOR EACH WALL LINE AND ANY SPECIAL NOTES OR REQUIREMENTS.
4. ALL EXTERIOR WALLS ARE TO BE SHEATHED WITH CS-USP IN ACCORDANCE WITH SECTION R602.10.3 UNLESS NOTED OTHERWISE.
5. ALL EXTERIOR AND INTERIOR WALLS TO HAVE 1/2" GYPSUM INSTALLED. WHEN NOT USING METHOD "GB", GYPSUM TO BE FASTENED PER TABLE R602.10.3. METHOD GB TO BE FASTENED PER TABLE R602.10.3.
6. CS-USP REFERS TO THE "CONTINUOUS SHEATHING - WOOD STRUCTURAL PANELS" WALL BRACING METHOD. 1/4" OSB SHEATHING IS TO BE INSTALLED ON ALL EXTERIOR WALLS ATTACHED w/ 6d COMMON NAILS OR 6d (1 1/2" LONG x 0.13" DIAMETER) NAILS SPACED 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN THE FIELD (N.O.).
7. CS-USP REFERS TO THE "GYPSUM BOARD" WALL BRACING METHOD. 1/2" (MNU) GYPSUM WALL BOARD IS TO BE INSTALLED ON BOTH SIDES OF THE BRACED WALL FASTENED WITH 1 1/4" SCREWS OR 1 5/8" NAILS SPACED 1" O.C. ALONG PANEL EDGES INCLUDING TOP AND BOTTOM PLATES AND INTERMEDIATE SUPPORTS (N.O.). VERIFY ALL FASTENER OPTIONS FOR 1/2" AND 5/8" GYPSUM PRIOR TO CONSTRUCTION. FOR INTERIOR FASTENER OPTIONS SEE TABLE R602.10.3. FOR EXTERIOR FASTENER OPTIONS SEE TABLE R602.10.3. EXTERIOR GB TO BE INSTALLED VERTICALLY.
8. REQUIRED BRACED WALL LENGTH FOR EACH SIDE OF THE CIRCUMSCRIBED RECTANGLE ARE INTERPOLATED PER TABLE R602.10.3. METHOD CS-USP CONTRIBUTES ITS ACTUAL LENGTH, METHOD GB CONTRIBUTES 5 TIMES ITS ACTUAL LENGTH, AND METHOD PF CONTRIBUTES 15 TIMES ITS ACTUAL LENGTH.



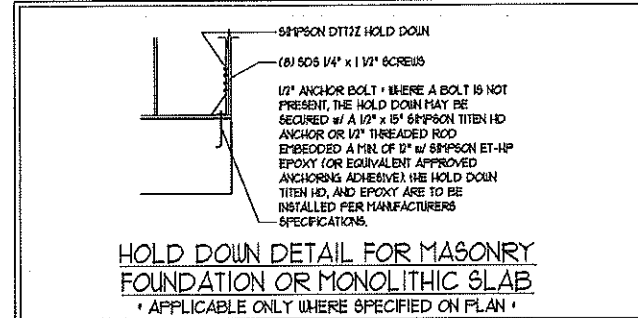
METHOD PF-PORTAL FRAME DETAIL



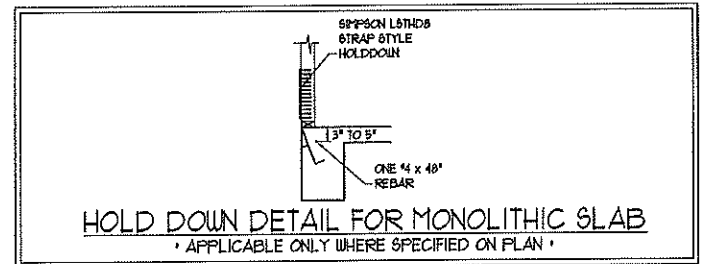
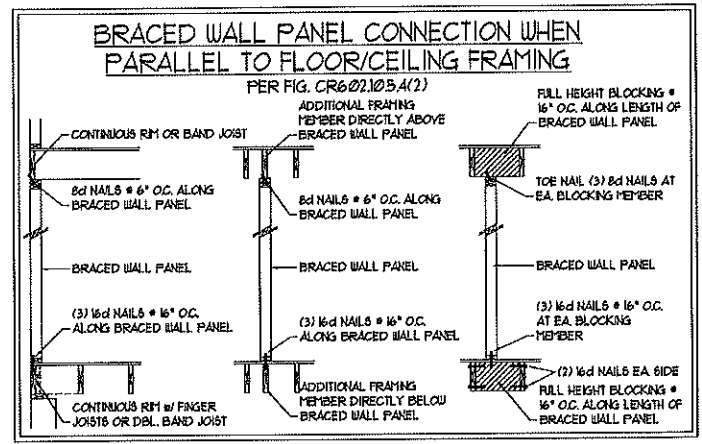
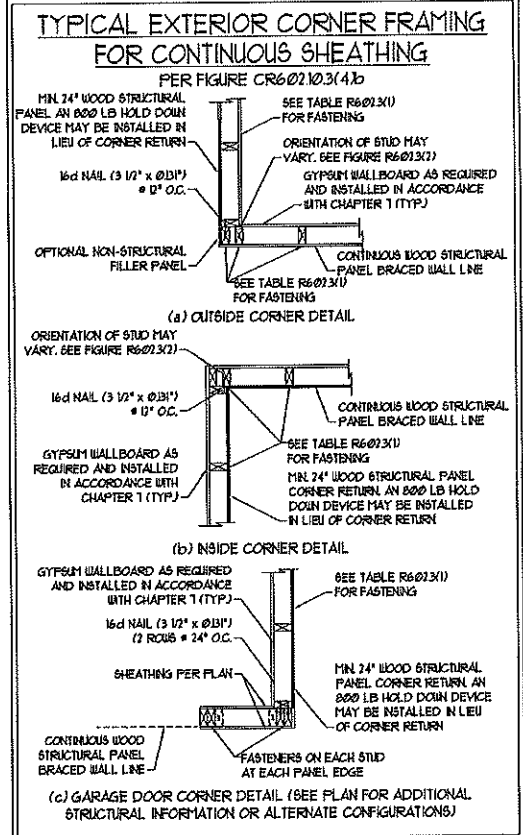
MASONRY STEM WALLS SUPPORTING BRACED WALL PANELS
PER FIGURE R602.10.5.3



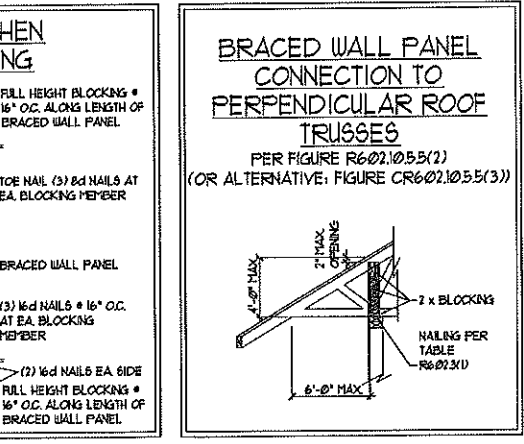
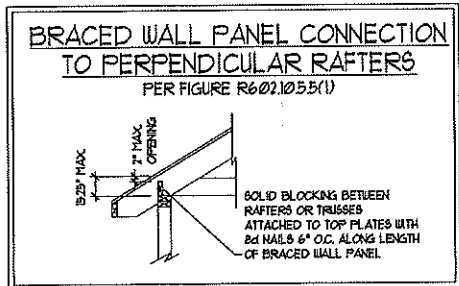
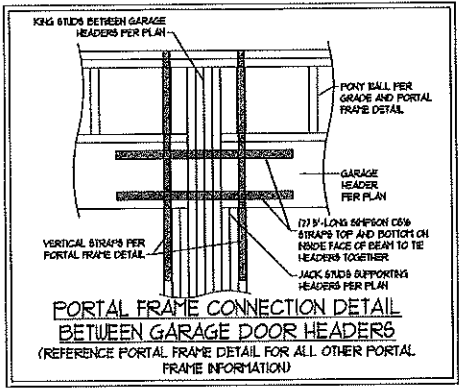
BRACED WALL PANEL CONNECTION WHEN PERPENDICULAR TO FLOOR/CEILING FRAMING
PER FIGURE CR602.10.5.4(1)



HOLD DOWN DETAIL FOR MASONRY FOUNDATION OR MONOLITHIC SLAB
* APPLICABLE ONLY WHERE SPECIFIED ON PLAN *



HOLD DOWN DETAIL FOR MONOLITHIC SLAB
* APPLICABLE ONLY WHERE SPECIFIED ON PLAN *



J.S. THOMPSON ENGINEERING, INC.
606 WADE AVE. SUITE 104 RALEIGH, NC 27605
PHONE: (919) 789-9919 FAX: (919) 789-9921
N.C. LICENSE NO. C-1733

WALL BRACING NOTES AND DETAILS

DATE: MAY 17, 2017
SCALE: NONE
DRAWN BY: JST
ENGINEERED BY: JST
REVIEWED BY: JES

BRACED WALL NOTES AND DETAILS AND PF DETAIL

GENERAL NOTES

- ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS INCLUDING ROOF RAFTERS, HIPS, VALLEYS, RIDGES, FLOORS, WALLS, BEAMS, HEADERS, COLUMNS, CANTILEVERS, OFFSET LOAD BEARING WALLS, PIERS, GIRDER SYSTEM AND FOOTING. ENGINEER'S SEAL DOES NOT CERTIFY DIMENSIONAL ACCURACY OF ARCHITECTURAL LAYOUT INCLUDING ROOF. ENGINEER'S SEAL DOES NOT APPLY TO I-JOIST OR FLOOR/ROOF TRUSS LAYOUT DESIGN AND ACCURACY.
- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REQUIREMENTS OF THE NORTH CAROLINA RESIDENTIAL CODE (NRC), 2003 EDITION, PLUS ALL LOCAL CODES AND REGULATIONS. THE STRUCTURAL ENGINEER IS NOT RESPONSIBLE FOR, AND WILL NOT HAVE CONTROL OF, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE CONSTRUCTION WORK. NOR WILL THE ENGINEER BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE CONSTRUCTION WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- STRUCTURAL DESIGN BASED ON THE PROVISIONS OF THE NRC, 2003 EDITION (R301.4 - R301.7)

DESIGN CRITERIA:	LIVE LOAD (PSF)	DEAD LOAD (PSF)	DEFLECTION (IN)
ATTIC WITH LIMITED STORAGE	20	10	L/740
ATTIC WITHOUT STORAGE	10	10	L/360
DECKS	40	10	L/360
EXTERIOR BALCONIES	40	10	L/360
FIRE ESCAPES	40	10	L/360
HANDRAIL GUARDRAILS	200 LB OR 10 (PLF)	10	L/360
PASSENGER VEHICLE GARAGE	50	10	L/360
ROOMS OTHER THAN SLEEPING ROO	40	10	L/360
SLEEPING ROOMS	30	10	L/360
STAIRS	40	10	L/360
WIND LOAD	(BASED ON FIGURE R301.4(4) WIND ZONE AND EXPOSURE)		
GROUND (SNOW) LOAD: Pg	20 (PSF)		

- I-JOIST SYSTEMS DESIGNED WITH 10 PSF DEAD LOAD
- FLOOR TRUSS SYSTEMS DESIGNED WITH 10 PSF DEAD LOAD

- FOR 80 AND 100 MPH WIND ZONES, FOUNDATION ANCHORAGE IS TO COMPLY WITH SECTION R403.16 OF THE NRC, 2003 EDITION. FOR 110 MPH, 120 MPH, AND 130 MPH WIND ZONES, FOUNDATION ANCHORAGE IS TO COMPLY WITH SECTION 450.4 OF THE NRC, 2003 EDITION.
- ENERGY EFFICIENCY COMPLIANCE AND INSULATION VALUES OF THE BUILDING TO BE IN ACCORDANCE WITH CHAPTER II OF THE NRC, 2003 EDITION.

FOOTING AND FOUNDATION NOTES

- FOUNDATION DESIGN BASED ON A MINIMUM ALLOWABLE BEARING CAPACITY OF 2000 PSF. CONTACT GEOTECHNICAL ENGINEER IF BEARING CAPACITY IS NOT ACHIEVED.
- FOR ALL CONCRETE SLABS AND FOOTINGS, THE AREA WITHIN THE PERIMETER OF THE BUILDING ENVELOPE SHALL HAVE ALL VEGETATION, TOP SOIL, AND FOREIGN MATERIAL REMOVED. FILL MATERIAL SHALL BE FREE OF VEGETATION AND FOREIGN MATERIAL. THE FILL SHALL BE COMPACTED TO ASSURE UNIFORM SUPPORT OF THE SLAB, AND EXCEPT WHERE APPROVED, THE FILL DEPTHS SHALL NOT EXCEED 24" FOR CLEAN SAND OR GRAVEL. A 4" THICK BASE COURSE CONSISTING OF CLEAN GRADED SAND OR GRAVEL SHALL BE PLACED. A BASE COURSE IS NOT REQUIRED WHERE A CONCRETE SLAB IS INSTALLED ON WELL-DRAINED OR SAND-GRAVEL MIXTURE SOILS CLASSIFIED AS GROUP 1, ACCORDING TO THE UNITED SOIL CLASSIFICATION SYSTEM IN ACCORDANCE WITH TABLE R405 OF THE NRC, 2003 EDITION.
- PROPERLY DEWATER EXCAVATION PRIOR TO POURING CONCRETE WHEN BOTTOM OF CONCRETE SLAB IS AT OR BELOW WATER TABLE. IF APPLICABLE, 3/4" - 1" DEEP CONTROL JOINTS ARE TO BE SAVED WITHIN 4 TO 8 HOURS OF CONCRETE FINISHING AND WALL LOCATIONS HAVE BEEN MARKED. ADJUST WHERE NECESSARY.
- CONCRETE SHALL CONFORM TO SECTION R402.2 OF THE NRC, 2003 EDITION. CONCRETE REINFORCING STEEL TO BE ASTM A615 GRADE 60, WELDED WIRE FABRIC TO BE ASTM A186. MAINTAIN A MINIMUM CONCRETE COVER AROUND REINFORCING STEEL OF 3" IN FOOTINGS AND 1 1/2" IN SLABS. FOR POURED CONCRETE WALLS, CONCRETE COVER FOR REINFORCING STEEL MEASURED FROM THE INSIDE FACE OF THE WALL SHALL NOT BE LESS THAN 3/4". CONCRETE COVER FOR REINFORCING STEEL MEASURED FROM THE OUTSIDE FACE OF THE WALL SHALL NOT BE LESS THAN 1 1/2" FOR #5 BARS OR SMALLER, AND NOT LESS THAN 2" FOR #6 BARS OR LARGER.
- MASONRY UNITS TO CONFORM TO ACE 530/ASCE 5/THS 407. MORTAR SHALL CONFORM TO ASTM C270.
- THE UNSUPPORTED HEIGHT OF MASONRY PIERS SHALL NOT EXCEED FOUR TIMES THEIR LEAST DIMENSION FOR UNFILLED HOLLOW CONCRETE MASONRY UNITS AND TEN TIMES THEIR LEAST DIMENSION FOR SOLID OR SOLID FILLED PIERS. PIERS MAY BE FILLED SOLID WITH CONCRETE OR TYPE M OR S MORTAR. PIERS AND WALLS SHALL BE CAPPED WITH 8" OF SOLID MASONRY.
- THE CENTER OF EACH OF THE PIERS SHALL BEAR IN THE MIDDLE THIRD OF ITS RESPECTIVE FOOTING. EACH GIRDER SHALL BEAR IN THE MIDDLE THIRD OF THE PIER.
- ALL CONCRETE AND MASONRY FOUNDATION WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF SECTION R404 OF THE NRC, 2003 EDITION OR IN ACCORDANCE WITH ACI 318, ACI 332, NCHA 1768-A OR ACE 530/ASCE 5/THS 407. MASONRY FOUNDATION WALLS ARE TO BE REINFORCED PER TABLE R404.1(1), R404.1(2), R404.1(3), OR R404.1(4) OF THE NRC, 2003 EDITION. CONCRETE FOUNDATION WALLS ARE TO BE REINFORCED PER TABLE R404.1(5) OF THE NRC, 2003 EDITION. STEP CONCRETE FOUNDATION WALLS TO 2 x 6 FRAMED WALLS AT 16" O.C. WHERE GRADE PERMITS (N.O.).

FRAMING NOTES

- ALL FRAMING LUMBER SHALL BE #2 SYP MINIMUM (Fb = 675 PSI, Fv = 375 PSI, E = 1600000 PSI) UNLESS NOTED OTHERWISE (N.O.). ALL TREATED LUMBER SHALL BE #2 SYP MINIMUM (Fb = 575 PSI, Fv = 375 PSI, E = 1600000 PSI) UNLESS NOTED OTHERWISE (N.O.).
- LAMINATED VENEER LUMBER (LVL) SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fb = 2600 PSI, Fv = 285 PSI, E = 1800000 PSI. LAMINATED STRAND LUMBER (LSL) SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fb = 2375 PSI, Fv = 310 PSI, E = 5500000 PSI. PARALLEL STRAND LUMBER (PSL) UP TO 1" DEPTH SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fc = 2500 PSI, E = 1800000 PSI. PARALLEL STRAND LUMBER (PSL) MORE THAN 1" DEPTH SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fc = 2500 PSI, E = 2000000 PSI. INSTALL ALL CONNECTIONS PER MANUFACTURER'S SPECIFICATIONS.
- STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING ASTM SPECIFICATIONS:

A. W AND WT SHAPES:	ASTM A992
B. CHANNELS AND ANGLES:	ASTM A36
C. PLATES AND BARS:	ASTM A36
D. HOLLOW STRUCTURAL SECTIONS:	ASTM A500 GRADE B
E. STEEL PIPE:	ASTM A53, GRADE B, TYPE E OR 6
- STEEL BEAMS SHALL BE SUPPORTED AT EACH END WITH A MINIMUM BEARING LENGTH OF 3 1/2" AND FULL FLANGE WIDTH (N.O.). PROVIDE SOLID BEARINGS FROM BEAM SUPPORT TO FOUNDATION. BEAMS SHALL BE ATTACHED AT THE BOTTOM FLANGE TO EACH SUPPORT AS FOLLOWS (N.O.):

A. WOOD FRAMING:	(1) 1/2" DIA. x 4" LONG LAG SCREWS
B. CONCRETE:	(1) 1/2" DIA. x 4" WEDGE ANCHORS
C. MASONRY (FULLY GROUTED):	(1) 1/2" DIA. x 4" LONG SIMPSON TITEN HD ANCHORS

- LATERAL SUPPORT IS CONSIDERED ADEQUATE PROVIDING THE JOISTS ARE TOE NAILED TO THE 2x NAILER ON TOP OF THE STEEL BEAM, AND THE 2x NAILER IS SECURED TO THE TOP OF THE STEEL BEAM w/ (1) ROWS OF SELF TAPPING SCREWS @ 16" O.C. OR (2) ROWS OF 1/2" DIAMETER BOLTS @ 16" O.C. IF 1/2" BOLTS ARE USED TO FASTEN THE NAILER, THE STEEL BEAM SHALL BE FABRICATED w/ (2) ROWS OF 9/16" DIAMETER HOLES @ 16" O.C.
- SQUARES DENOTE POINT LOADS WHICH REQUIRE SOLID BLOCKING TO GIRDER OR FOUNDATION. SHADED SQUARES DENOTE POINT LOADS FROM ABOVE WHICH REQUIRE SOLID BLOCKING TO SUPPORTING MEMBER BELOW.
 - ALL LOAD BEARING HEADERS TO CONFORM TO TABLE R502.5(1) AND R502.5(2) OF THE NRC, 2003 EDITION OR BE (1) 2 x 6 WITH (1) JACK AND (1) KING STUD EACH END (N.O.) WHICHEVER IS GREATER. ALL HEADERS TO BE SECURED TO EACH JACK STUD WITH (4) 8d NAILS. ALL BEAMS TO BE SUPPORTED WITH (2) STUDS AT EACH BEARING POINT (N.O.).

- ALL BEAMS, HEADERS, OR GIRDER TRUSSES PARALLEL TO WALL ARE TO BEAR FULLY ON (1) JACK OR (2) STUDS MINIMUM OR THE NUMBER OF JACKS OR STUDS NOTED. ALL BEAMS OR GIRDER TRUSSES PERPENDICULAR TO WALL AND SUPPORTED BY (3) STUDS OR LESS ARE TO HAVE 1 1/2" MINIMUM BEARING (N.O.). ALL BEAMS OR GIRDER TRUSSES PERPENDICULAR TO WALL AND SUPPORTED BY MORE THAN (3) STUDS OR OTHER NOTED COLUMN ARE TO BEAR FULLY ON SUPPORT COLUMN FOR ENTIRE WALL DEPTH (N.O.). BEAM ENDS THAT BUTT INTO ONE ANOTHER ARE TO EACH BEAR EQUAL LENGTHS (N.O.).
- RITCH BEAMS SHALL BE BOLTED TOGETHER USING 1/2" DIAMETER BOLTS (ASTM A307) WITH WASHERS PLACED AT THREADED END OF BOLT. BOLTS SHALL BE SPACED AT 24" CENTERS (MAXIMUM), AND STAGGERED AT TOP AND BOTTOM OF BEAM (7" EDGE DISTANCE) WITH (2) BOLTS LOCATED AT 6" FROM EACH END (N.O.).
- ALL I-JOIST OR TRUSS LAYOUTS ARE TO BE IN COMPLIANCE WITH THE OVERALL DESIGN SPECIFIED ON THE PLANS. ALL DEVIATIONS ARE TO BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD PRIOR TO INSTALLATION.
- BRACED WALL PANELS SHALL BE CONSTRUCTED ACCORDING TO THE CURRENT NORTH CAROLINA RESIDENTIAL CODE WALL BRACING CRITERIA. THE AMOUNT, LENGTH, AND LOCATION OF BRACING SHALL COMPLY WITH ALL APPLICABLE TABLES IN SECTION R602.10.
- PROVIDE DOUBLE JOIST UNDER ALL WALLS PARALLEL TO FLOOR JOISTS. PROVIDE SUPPORT UNDER ALL WALLS PARALLEL TO FLOOR TRUSSES OR I-JOISTS PER MANUFACTURER'S SPECIFICATIONS. INSTALL BLOCKING BETWEEN JOISTS OR TRUSSES FOR POINT LOAD SUPPORT FOR ALL POINT LOADS ALONG OFFSET LOAD LINES.
- FOR ALL HEADERS SUPPORTING BRICK VENEER THAT ARE LESS THAN 8'-0" IN LENGTH, REST A 6" x 4" x 5/8" STEEL ANGLE WITH 6" MINIMUM EMBEDMENT AT SIDES FOR BRICK SUPPORT. FOR ALL HEADERS 8'-0" AND GREATER IN LENGTH, BOLT A 6" x 4" x 5/8" STEEL ANGLE TO HEADER WITH 1/2" LAG SCREWS AT 12" O.C. STAGGERED FOR BRICK SUPPORT. FOR ALL BRICK SUPPORT AT ROOF LINES, BOLT A 6" x 4" x 5/8" STEEL ANGLE TO 2 x 10 BLOCKING INSTALLED BETWEEN WALL STUDS WITH 1/2" LAG SCREWS AT 12" O.C. STAGGERED AND IN ACCORDANCE WITH SECTION R703.2(2) OF THE NRC, 2003 EDITION.
- FOR STICK FRAMED ROOFS, CIRCLES DENOTE (3) 2 x 4 POSTS FOR ROOF MEMBER SUPPORT. HIP SPLICES ARE TO BE SPACED A MINIMUM OF 8'-0". FASTEN MEMBERS WITH THREE ROWS OF 12d NAILS AT 16" O.C. FRAME DORMER WALLS ON TOP OF DOUBLE OR TRIPLE RAFTERS AS SHOWN (N.O.).
- FOR TRUSSED ROOFS, FRAME DORMER WALLS ON TOP OF 2 x 4 LADDER FRAMING AT 24" O.C. BETWEEN ADJACENT ROOF TRUSSES. STICK FRAME OVER-FRAMED ROOF SECTIONS WITH 2 x 8 RIDGES, 2 x 6 RAFTERS AT 16" O.C. AND FLAT 2 x 10 VALLEYS (N.O.).
- ALL 4 x 4 AND 6 x 6 POSTS TO BE INSTALLED WITH 1000 LB CAPACITY UPLIFT CONNECTORS TOP AND BOTTOM (N.O.). POSTS MAY BE SECURED USING ONE SIMPSON U6 OR L152 UPLIFT CONNECTOR FASTENED TO THE BAND AT THE BOTTOM AND THE BEAM AT THE TOP OF EACH POST. ONE 1/2" SECTION OF SIMPSON C516 COIL STRAPPING WITH (8) 8d HDG NAILS AT EACH END MAY BE USED IN LIEU OF EACH TWIST STRAP IF DESIRED. FOR MASONRY OR CONCRETE FOUNDATION USE SIMPSON POST BASE.

J.S. THOMPSON ENGINEERING, INC.
 606 WADE AVE., SUITE 104, RALEIGH, NC 27603
 PHONE: (919) 789-9919 FAX: (919) 789-9921
 N.C. LICENSE NO.: C-1233

STANDARD STRUCTURAL NOTES

DATE: AUGUST 27, 2013
SCALE: N/A
DRAWN BY: JES
ENGINEERED BY: JES
REVIEWED BY: JST



SHEET:
STRUCTURAL NOTES