

Initial Application Date: ~~10-29-06~~ 12/14/06

Application # DU50016014R

COUNTY OF HARNETT LAND USE APPLICATION

Central Permitting 108 E. Front Street, Lillington, NC 27546 Phone: (910) 893-7525 Fax: (910) 893-2793 www.harnett.org

LANDOWNER: BARRY HARBBY Mailing Address: 25 HAMILTON RD

City: BUNN LEVEL State: NC Zip: 28323 Home #: 910 893 9072 Contact #:

APPLICANT: COLIN - CHOO CHOO HOMES Mailing Address: 4209 BRAGG BLVD

City: FAYETTEVILLE State: NC Zip: 28303 Home #: 910 860 8787 Contact #: 910 818 7731

*Please fill out applicant information if different than landowner

PROPERTY LOCATION: State Road #: 2006 State Road Name: TEMPLE ROAD

Parcel: 012 0548 0010 18 PIN: 010547-38-5030.000

Zoning: R200R Subdivision: Constance Harbbu Lot #: 110A Lot Size: 1.50 AC

Flood Plain: X Panel: 0095 Watershed: IV Deed Book/Page: 2004/243 Plat Book/Page: 2006/100

SPECIFIC DIRECTIONS TO THE PROPERTY FROM LILLINGTON: TAKE HWY 210^{SH} FOR 4 MILES 2006/1082
T/L INTO TEMPLE ROAD (S/R2067) FOR APPROX 200 YARDS TO LOT ON LEFT

PROPOSED USE:

Circle:

- SFD (Size x) # Bedrooms # Baths Basement (w/wo bath) Garage Deck Crawl Space / Slab
- Modular: On frame Off frame (Size x) # Bedrooms # Baths Garage (site built?) Deck (site built?)
- Multi-Family Dwelling No. Units No. Bedrooms/Unit
- Manufactured Home: SW DW TW (Size 32 x 76) # Bedrooms 4 Garage (site built?) Deck (site built?)
- Business Sq. Ft. Retail Space Type # Employees: Hours of Operation:
- Industry Sq. Ft. Type # Employees: Hours of Operation:
- Church Seating Capacity # Bathrooms Kitchen
- Home Occupation (Size x) # Rooms Use Hours of Operation:
- Accessory/Other (Size x) Use
- Addition to Existing Building (Size x) Use Closets in addition ()yes ()no

Water Supply: County Well (No. dwellings) Other

Sewage Supply: New Septic Tank (Need to fill out New Tank Checklist) Existing Septic Tank County Sewer Other

Property owner of this tract of land own land that contains a manufactured home w/in five hundred feet (500') of tract listed above? YES NO

Structures on this tract of land: Single family dwellings Manufactured Homes 086 WIDE Other (specify)

Required Residential Property Line Setbacks:	Comments:
Front Minimum <u>35</u> Actual <u>90'</u>	<u>lot had to combined w/ lot next door. Moved house per Owner. No Fee</u>
Rear <u>25</u> <u>125'</u>	
Side <u>10</u> <u>86'</u>	
Corner/Sidestreet <u>20</u> <u>N/A</u>	
Nearest Building on same lot <u>10</u> <u>N/A</u>	

If permits are granted I agree to conform to all ordinances and the laws of the State of North Carolina regulating such work and the specifications of plans submitted. I hereby state that the foregoing statements are accurate and correct to the best of my knowledge. This permit is subject to revocation if false information is provided on this form.

[Signature]
Signature of Owner or Owner's Agent

10-29-06
Date

This application expires 6 months from the initial date if no permits have been issued

A RECORDED SURVEY MAP, RECORDED DEED (OR OFFER TO PURCHASE) AND PLAT ARE REQUIRED WHEN APPLYING FOR LAND USE APPLICATION

Please use Blue or Black Ink ONLY

SITE PLAN APPROVAL
DISTRICT RAZOR USE DUMH
#BEDROOMS 4

revisions

12/14/06

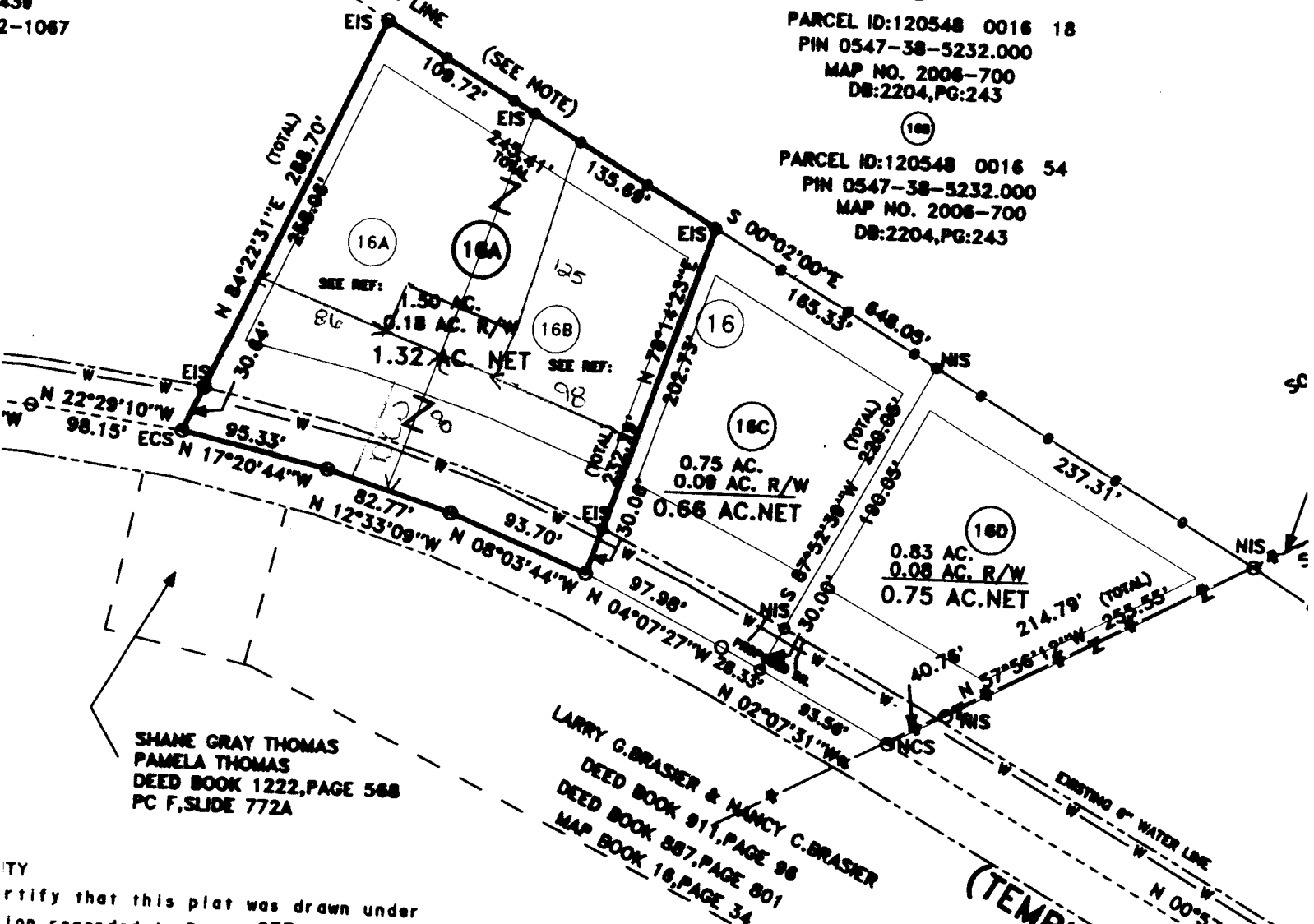
[Signature]
Zoning Administrator

TRACT INFORMATION

PARCEL ID:120548 0016 18
PIN 0547-38-5232.000
MAP NO. 2006-700
DB:2204,PG:243

PARCEL ID:120548 0016 54
PIN 0547-38-5232.000
MAP NO. 2006-700
DB:2204,PG:243

MARK DUVAL
439
2-1067



SHANE GRAY THOMAS
PAMELA THOMAS
DEED BOOK 1222, PAGE 568
PC F, SLIDE 772A

LARRY G. BRASIER & NANCY C. BRASIER
DEED BOOK 911, PAGE 98
DEED BOOK 887, PAGE 801
MAP BOOK 16, PAGE 34

I hereby certify that this plat was drawn under
information recorded in Book SEE,
boundaries not surveyed are clearly
information found in Book SEE, Page REF.,
scale calculated is 1:10000; that this plat
conforms with G.S. 47-30 as amended. Witness
my hand and seal this 11TH
day of NOVEMBER, A.D. 2006.

[Signature]
MICKEY R. BENNETT
- 1514

Mickey R. Bennett, hereby certify that this
survey is of another category, such as the
combination of existing parcels, a court
ordered survey, a division of heirs or other
option to the definition of subdivision.

MINIMUM BUILDING SET BACKS

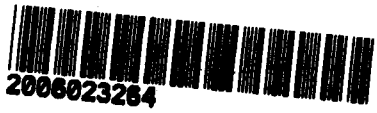
FRONT YARD	35'
REAR YARD	25'
SIDE YARD	10'
CORNER LOT SIDE YARD	20'
MAXIMUM HEIGHT	35'

N 5774
E 2043

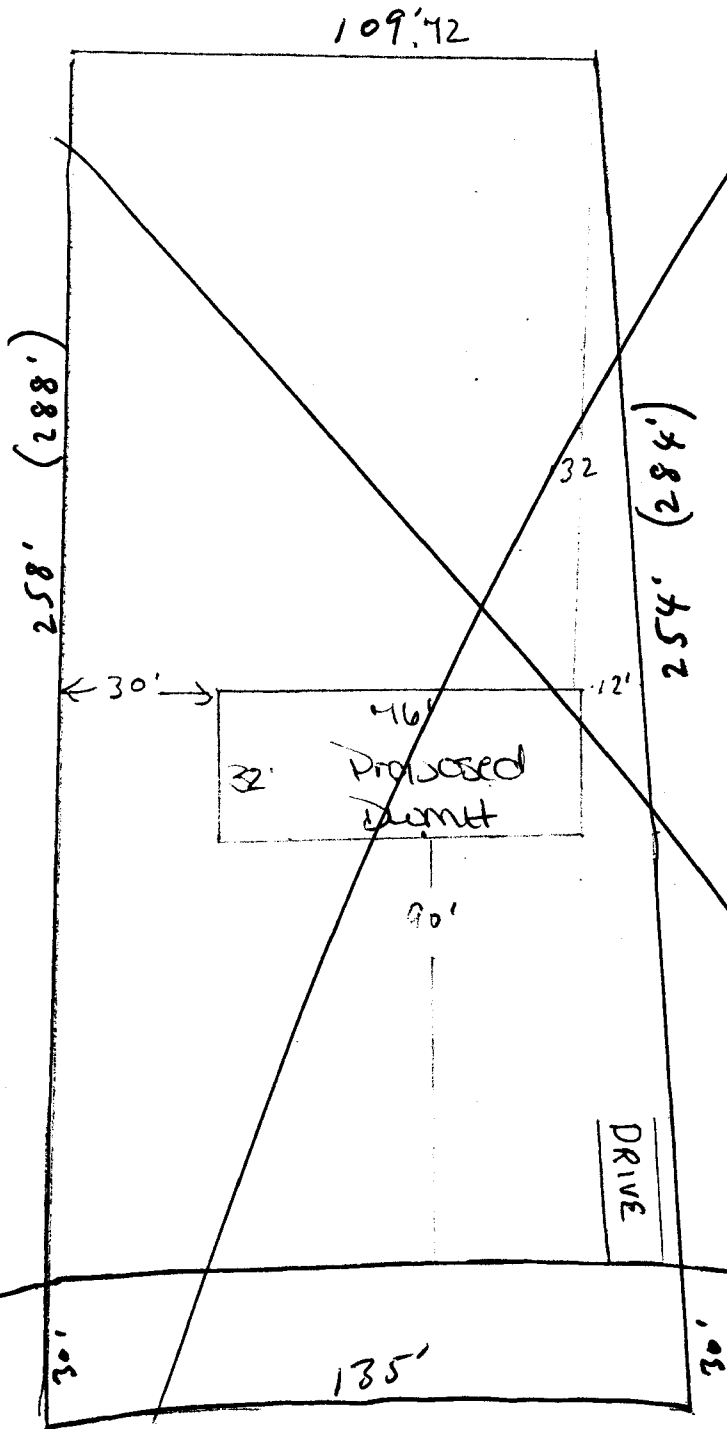
(SCALE)
GRID TH

FROM GEODETIC
S11°16'28"W 3471

DEED REFERENCE
DEED BOOK 2204, PAGE 243



FOR REGISTRATION



SITE PLAN APPROVAL

DISTRICT ~~REAR~~ USE DUMM

COMS H

IDEALON A. Duggins

TEMPLE ROAD S/R 2067

OWNER NAME: BARRY HARBISBY

APPLICATION #: 00500110074

This application to be filled out only when applying for a new septic system.

County Health Department Application for Improvement Permit and/or Authorization to Construct

IF THE INFORMATION IN THIS APPLICATION IS FALSIFIED, CHANGED, OR THE SITE IS ALTERED, THEN THE IMPROVEMENT PERMIT OR AUTHORIZATION TO CONSTRUCT SHALL BECOME INVALID. The permit is valid for either 60 months or without expiration depending upon documentation submitted. (complete site plan = 60 months; complete plat = without expiration)

DEVELOPMENT INFORMATION

- New single family residence
- Expansion of existing system
- Repair to malfunctioning sewage disposal system
- Non-residential type of structure

WATER SUPPLY

- New well
- Existing well
- Community well
- Public water
- Spring

Are there any existing wells, springs, or existing waterlines on this property? yes no unknown

SEPTIC

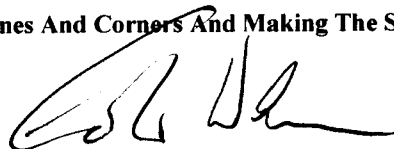
If applying for authorization to construct please indicate desired system type(s): can be ranked in order of preference, must choose one.

- Accepted Innovative
- Alternative Other
- Conventional Any

The applicant shall notify the local health department upon submittal of this application if any of the following apply to the property in question. If the answer is "yes", applicant must attach supporting documentation.

- YES NO Does The Site Contain Any Jurisdictional Wetlands?
- YES NO Does The Site Contain Any Existing Wastewater Systems?
- YES NO Is Any Wastewater Going To Be Generated On The Site Other Than Domestic Sewage?
- YES NO Is The Site Subject To Approval By Any Other Public Agency?
- YES NO Are There Any Easements Or Right Of Ways On This Property?

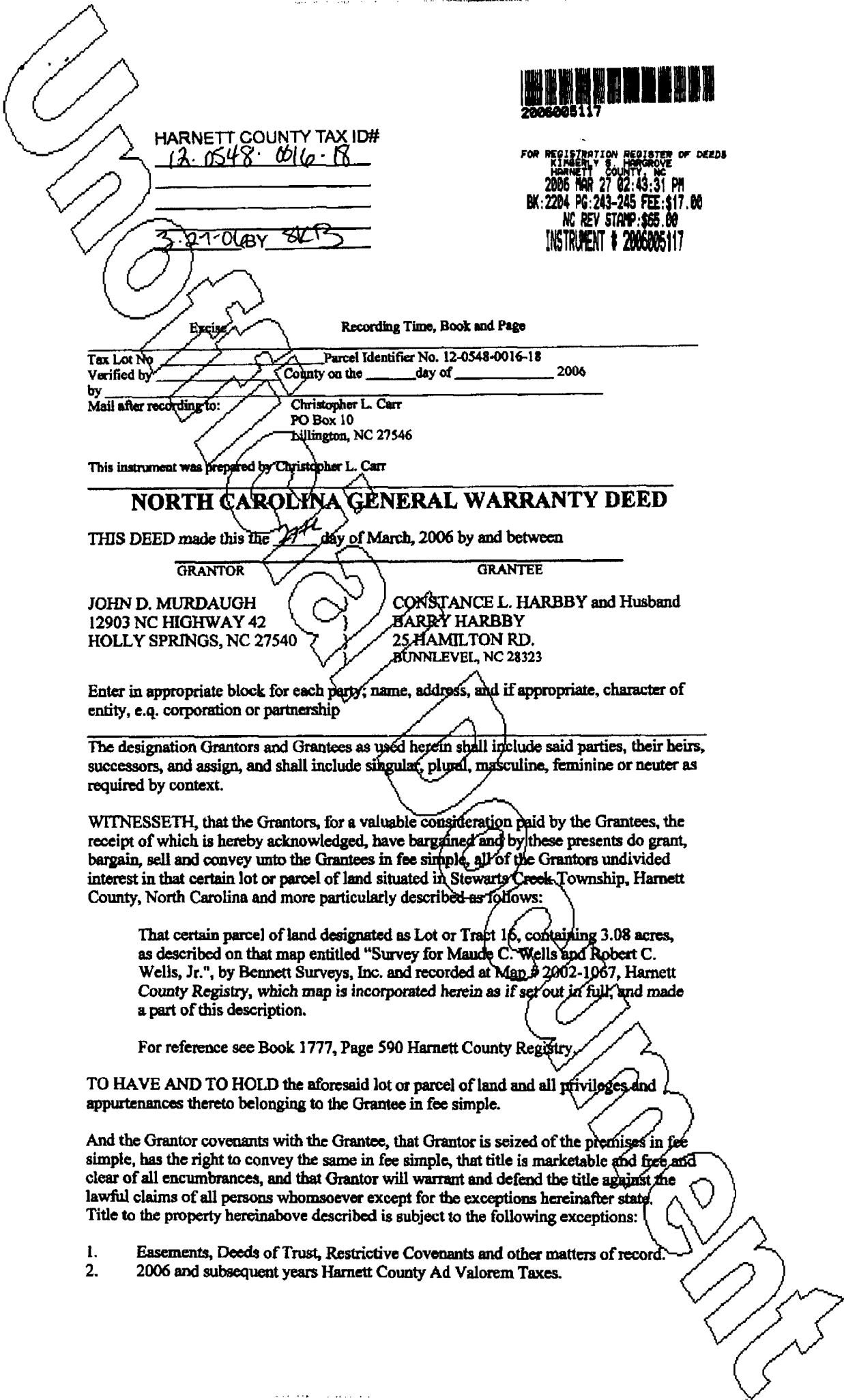
I Have Read This Application And Certify That The Information Provided Herein Is True, Complete And Correct. Authorized County And State Officials Are Granted Right Of Entry To Conduct Necessary Inspections To Determine Compliance With Applicable Laws And Rules. I Understand That I Am Solely Responsible For The Proper Identification And Labeling Of All Property Lines And Corners And Making The Site Accessible So That A Complete Site Evaluation Can Be Performed.



PROPERTY OWNERS OR OWNERS LEGAL REPRESENTATIVE SIGNATURE (REQUIRED)

10-30-06

DATE



HARNETT COUNTY TAX ID#

12-0548-0016-18

FOR REGISTRATION REGISTER OF DEEDS
KIMBERLY S. HARGROVE
HARNETT COUNTY, NC
2006 MAR 27 02:43:31 PM
BK: 2204 PG: 243-245 FEE: \$17.00
NC REV STAMP: \$65.00
INSTRUMENT # 2006005117

3-27-06 BY SLC

Excise Recording Time, Book and Page
Tax Lot No. _____ Parcel Identifier No. 12-0548-0016-18
Verified by _____ County on the _____ day of _____ 2006
by _____
Mail after recording to: Christopher L. Carr
PO Box 10
Billington, NC 27546

This instrument was prepared by Christopher L. Carr

NORTH CAROLINA GENERAL WARRANTY DEED

THIS DEED made this the 27 day of March, 2006 by and between

GRANTOR GRANTEE

JOHN D. MURDAUGH
12903 NC HIGHWAY 42
HOLLY SPRINGS, NC 27540

CONSTANCE L. HARBBY and Husband
HARRY HARBBY
25 HAMILTON RD.
HUNNLEVEL, NC 28323

Enter in appropriate block for each party, name, address, and if appropriate, character of entity, e.g. corporation or partnership

The designation Grantors and Grantees as used herein shall include said parties, their heirs, successors, and assign, and shall include singular, plural, masculine, feminine or neuter as required by context.

WITNESSETH, that the Grantors, for a valuable consideration paid by the Grantees, the receipt of which is hereby acknowledged, have bargained and by these presents do grant, bargain, sell and convey unto the Grantees in fee simple, all of the Grantors undivided interest in that certain lot or parcel of land situated in Stewarts Creek Township, Harnett County, North Carolina and more particularly described as follows:

That certain parcel of land designated as Lot or Tract 16, containing 3.08 acres, as described on that map entitled "Survey for Maude C. Wells and Robert C. Wells, Jr.", by Bennett Surveys, Inc. and recorded at Map # 2002-1067, Harnett County Registry, which map is incorporated herein as if set out in full, and made a part of this description.

For reference see Book 1777, Page 590 Harnett County Registry.

TO HAVE AND TO HOLD the aforesaid lot or parcel of land and all privileges and appurtenances thereto belonging to the Grantee in fee simple.

And the Grantor covenants with the Grantee, that Grantor is seized of the premises in fee simple, has the right to convey the same in fee simple, that title is marketable and free and clear of all encumbrances, and that Grantor will warrant and defend the title against the lawful claims of all persons whomsoever except for the exceptions hereinafter stated. Title to the property hereinabove described is subject to the following exceptions:

- 1. Easements, Deeds of Trust, Restrictive Covenants and other matters of record.
- 2. 2006 and subsequent years Harnett County Ad Valorem Taxes.

Harnett County Planning Department

PO Box 65, Lillington, NC 27546

910-893-7527

Environmental Health New Septic Systems Test

Environmental Health Code 800

- Place "property flags" in each corner of lot. All property lines must be clearly flagged.
- Place "house corner flags" at each corner of where the house/manufactured home will sit. Use additional flagging to outline driveways, garages, decks, out buildings, swimming pools, etc.
- Place flags at locations as developed on site plan by Customer Service Technician and you.
- Place Environmental Health "orange" card in location that is easily viewed from road.
- *No grading of property should be done.* Undergrowth should be cleaned out to allow soil evaluation to be performed. Inspectors should be able to walk freely.
- After preparing proposed site call the voice permitting system at 910-893-7527 and give code **800** for Environmental Health confirmation. Please note confirmation number given at end of recording for proof of request.
- To hear results, call IVR in approx. 7-10 working days. Once approved, proceed to Central Permitting for permits.

Environmental Health Existing Tank Inspections

Environmental Health Code 800

- Place Environmental Health "orange" card in location that is easily viewed from road.
- Prepare for inspection by removing soil over door as diagram indicates. Loosen trap door cover. (Unless inspection is for a septic tank in a mobile home park)
- After preparing trapdoor call the voice permitting system at 910-893-7527 and give code **800** for Environmental Health confirmation. Please note confirmation number given at end of recording for proof of request.
- To hear results, call IVR in approx. 7-10 working days. Once approved, proceed to Central Permitting for permits.

Health and Sanitation Inspections

Health and Sanitation Plan Review 826

- After submitting plans for food and lodging, call the voice permitting system at 910-893-7527 and give code **826** for Health and Sanitation confirmation. Please note confirmation number given at end of recording for proof of request.
- To hear results, call IVR in approx. 7-10 working days. Once approved, proceed to Central Permitting for permits.

Fire Marshal Inspections

Fire Marshal Plan Review Code 804

- Call the voice permitting system at 910-893-7527 and give code **804** for plan review. Please note confirmation number given at end of recording for proof of request.
- To hear results, call IVR in approx 7-10 working days. Once approved, proceed to Central Permitting for permits.
- Pick up Fire Marshal's letter and place on job site until work is completed.

Public Utilities

- Place stake with "orange" tape/name thirty feet (30) from the center of the road at the location you wish to have water tap installed.
- Allow four to six weeks after application for water/sewer taps. Call Utilities at 893-7575 for technical assistance.

Building Inspections

- Call the voice permitting system at 910-893-7527 to schedule inspections. Please note confirmation number given at end of recording for proof of request.
- For new housing/set up permits must meet E 911 / Addressing guidelines prior to calling for final inspection.
- To hear results of inspections, call IVR after scheduled inspection is done.

E911 Addressing

Addressing Confirmation Code 814

- Address numbers shall be mounted on the house, 3 inches high (5" for commercial).
- Numbers must be a contrasting color from house, must be clearly visible night and day at entrance of driveway if home is 100 ft or more from road, or if mailbox is on opposite side of road.
- Once you purchase permits and footing inspection has been approved call the voice permitting system at 910-893-7527 and give code **814** for address confirmation. This must be called in even if you have contacted E911 for verbal confirmation.

Customers can view all inspection results online at www.harnett.org.

Applicant Signature: _____

Date: _____

10-30-06

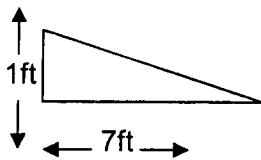
PROCEDURES AND GUIDELINES FOR MANUFACTURED HOME INSPECTIONS

RA-20R Criteria Certification

I, COCIN WATSON, understand that because I'm located in a
(Print Name)

RA-20R Zoning District and wish to place a manufactured home in this district I must meet the following criteria before I will be issued a certificate of occupancy for this home.

1. The home must have a pitched roof, for a manufactured home, whether A-shaped or rounded, which has a minimum rise of twelve (12) inches for every seven (7) feet of width. (See diagram)



A-Shaped



Rounded

Note: Most Rounded Roofs will not meet this requirement!

2. The home must be underpinned, the underpinning must be installed in good workmanship-like manner along the entire base of a manufactured home, except for ventilation and crawl space requirements, and consisting of the following: metal with a baked-on finish of uniform color; a uniform design and color vinyl; or brick, cinder block, and stone masonry as well as artificial stone masonry.
3. The homes moving apparatus removed, underpinned or landscaped.

*Signature of Property Owner/Agent

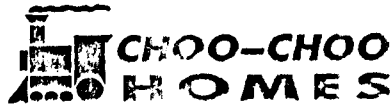
10-30-06

Date

***By signing this form the owner/agent is stating that they have read and understand the information on this form**

Choo Choo Homes
4209 Bragg Blvd.
Fayetteville, N.C. 28301

In this contract the words I, Me, and My refer to the Buyer and Co-Buyer signing this contract.					
The words You and Your refer to the Dealer.					
Subject to the terms and conditions you agree to sell and I agree to purchase the following described unit.					
Buyer(s) shawneka mclean		Phone: 9108142836		Date: 10-10-06	
Address: 508-b duncan st lilington nc 27546			Salesperson: rodney dent		
Delivery Address: 16a & 16b temple rd bunnlevel nc					
Make & Model: schult 4777 2007 <i>lw</i>		Bd Rooms: 4	Floor Size 32x76	Hitch Size 32x80	Stock #
Serial Number 241675		Color:		Proposed Delivery asap	
Special Order		BASE PRICE OF UNIT			97092
Location	R-Value	Thickness	Insulation Type	OPTIONAL EQUIPMENT	25900
CEILING			Cellulose	LAND PURCHASE PRICE	35000
EXTERIOR			Fiberglass	(estimate/cust to see land)	
FLOORS			Fiberglass	SUB TOTAL	157992
This insulation information was furnished by the manufacturer and is disclosed per Federal Trade Commission Rule 16CRF, Sec 460.16					
OPTIONAL EQUIPMENT, LABOR & ACCESSORIES			ALLOWANCES		
Delivery & Set			5000	TITLE FEE	
Crane			na	VARIOUS FEES & INSURANCES	
well			na	1. CASH PURCHASE PRICE	
Septic			na	Trade Allowance	
Electrical hookup			1400	Less Trade Bal	
Plumbing hookup			1800	New Allowance	
3 steps			1100	closing cost	
a/c installed with duct work on site			4800	dpap	
masonry foundation			5000		
footers			2500	2. Less Total Credits	
soil treatment & minor landscape			1000	Sub-Total	
Dumpsters Porta john			500	3. Unpaid balance remaining	
trimout			1800	157992	
permits			1000	157992	
<p>I understand that I have the right to cancel this purchase prior to midnight of the third business day after the date that I have signed this agreement, and that this cancellation must be in writing. If I attempt to cancel the purchase after the three day period, I understand the dealer has no obligation to refund the entire amount of my deposit.</p>					
not including permits or closing cost			<p>Estimated Rate of Financing: _____ Number of Years: _____ Estimated Monthly Payments: _____</p>		
<p>This entire Agreement, there are no other representations, inducements, or other provisions other than those expressed here in. All changes, deletions, additions must be in writing and signed by both you and I.</p> <p>I, or we, acknowledge receipt of a copy of this order and that I, or we, have read and understand this agreement.</p> <p>I understand that the above allowance prices are only estimates. The wheels, axles, and undercarriage (Module) are not a part of the sale and will be returned to seller.</p>					
OFFER GOOD FOR 30 DAYS					
Balance carried to optional equipment:					



4209 Bragg Blvd.
Fayetteville, NC 28303
Phone (910) 860-6787 Fax (910) 860-1938

The undersigned Purchaser(s) has agreed to purchase from Choo Choo Homes
(the "Seller") the manufactured home described on page 1 (the "Home"). In that
connection, Purchaser(s) submits herewith a (circle appropriate choice)

Non-Refundable Deposit of \$ _____

Once the Home is delivered on the Purchaser(s) home site and/or the site the Purchaser(s)
has specified the contract then becomes due in full. Failure to pay the contract can and
will result in the Seller exercising it's right to collect the amount owed in full through
legal action such as Judgments, liens and any means within their legal right.

Purchaser(s) acknowledges and agrees that any and all wheels, axles, and related
apparatus and equipment used to transport the Home for delivery to Purchaser are and
shall remain at all times the sole property of manufacturer and are not sold to Purchaser.

Purchaser(s) represents to Seller that, to the best of Purchaser's knowledge, the lot upon
which the home is to be located _____ is _____ is not located in a Special Flood
Hazard Area as shown on maps prepared by the U.S. Department of Housing and Urban
Development, or in a flood prone area, the cost to set up the Home upon delivery may
exceed those provided for in this Contract or contemplated by the parties. Purchaser(s)
hereby agrees to pay such excess cost in addition to all other amounts provided for
herein.

Purchaser(s) acknowledges and agrees that he/she is of statutory age or has been legally
emancipated; that he/she is purchasing the insurance described on page 1 voluntarily; that
the trade-in described on page 1, if any, is free from all claims, liens and encumbrances,
except as noted; and that if any provision of this Agreement is unenforceable, the
remaining provisions will be valid.

Not valid unless signed by an authorized representative of Seller.
Approval by Seller is subject to acceptance by a bank or finance
Company, if applicable.

(Seller) Choo Choo Homes
4209 Bragg Blvd
Fayetteville, NC 28303

By: Rodney Dent
Purchaser(s) acknowledges receipt of a true copy of this
Agreement and that he/she has read and understands its terms

Zhanaka McClure
Purchaser
Social Security No. 345-39-2840

Purchaser
Social Security No. _____

I UNDERSTAND THAT I HAVE THE
RIGHT TO CANCEL THIS
PURCHASE BEFORE MIDNIGHT
ON THE THIRD BUSINESS DAY
AFTER THE DATE THAT I HAVE
SIGNED THIS AGREEMENT. I
UNDERSTAND THAT THIS
CANCELLATION MUST BE
WRITTEN. IF I CANCEL THIS
PURCHASE AFTER THE THREE
DAY PERIOD, I UNDERSTAND
THAT THE DEALER MAY NOT
HAVE ANY OBLIGATION TO
GIVE ME BACK THE MONEY
THAT I PAID THE DEALER.

Offer to Purchase Real Estate

BE IT KNOWN, the undersigned, Shawneka McLean + Brenton Gittens (Buyer), offers to purchase from CONSTANCE U. & BARRY S. HARBBY (Owner), real estate known as 16A & 16B TEMPLE RD. City/Town of BUNNLEVEL County of HARNETT, State of NC, said property more particularly described as:

and containing usable 1.32 ACRES (291,75 ACRES - SEE PLAT) square feet of land, more or less.

The purchase price offered is \$ 35,000.00

Earnest money herewith paid	\$ <u>500.00</u>
Further deposit upon signing sales agreement	\$ <u>N/A</u>
Balance at closing	\$ <u>34,500.00</u>
Total:	\$ <u>35,000.00</u>

This offer is conditional upon the following terms:

1. This offer is subject to Buyer obtaining a real estate mortgage for no less than \$ N/A payable over N/A years with interest not to exceed N/A % at customary terms with a firm commitment thereto N/A days from date hereof.
2. This offer is further subject to Buyer obtaining a satisfactory home inspection report and termite pest report within N/A days from date hereof.
3. Owner shall pay broker N/A a commission of \$ _____ ()% upon closing.
4. Said property is to be sold free and clear of all encumbrances, by good and marketable title, with full possession to said property available to Buyer at date of closing.
5. Owner shall include in the purchase price and transfer, free and clear of encumbrances, all fixtures on the property on the date of this offer. The terms of this offer, detailed in the standard purchase and sales agreement to be executed, will determine what items are included/excluded as fixtures.
6. The parties agree to execute a standard purchase and sales agreement according to the terms of this agreement within 30 days of acceptance of this offer.
7. The closing shall occur on or before NOVEMBER 21, 2008 at the public recording office, unless such other time and place shall be agreed upon. DEC 21 5³⁰ AM RD 2M.
8. Other terms: _____

Barry Harby

910-393-9072

9. This offer shall remain open until N/A o'clock, N/A m. N/A, 2006 and if not accepted by said time this offer shall be deemed rescinded and all deposits shall be refunded.

Signed this 4th day of OCTOBER, 2006

Broker N/A

Buyer Shawanda McL Date 10-4-06

Buyer Brenton Gittler Date 10-4-06

Owner Constance Hanks Date 10-4-06

Owner Barry Hanks Date 10/4/06

