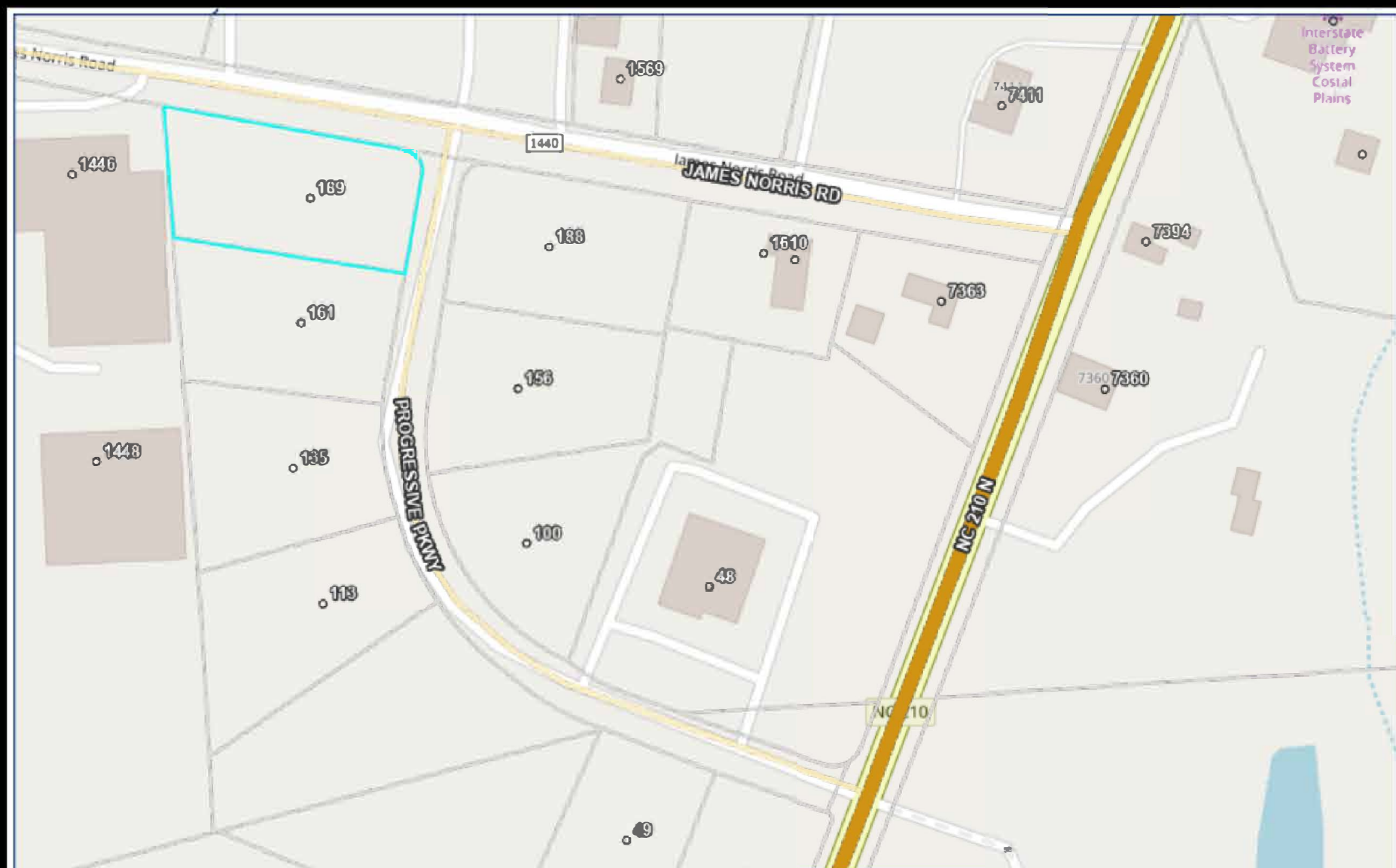


CONSTRUCTION DRAWINGS

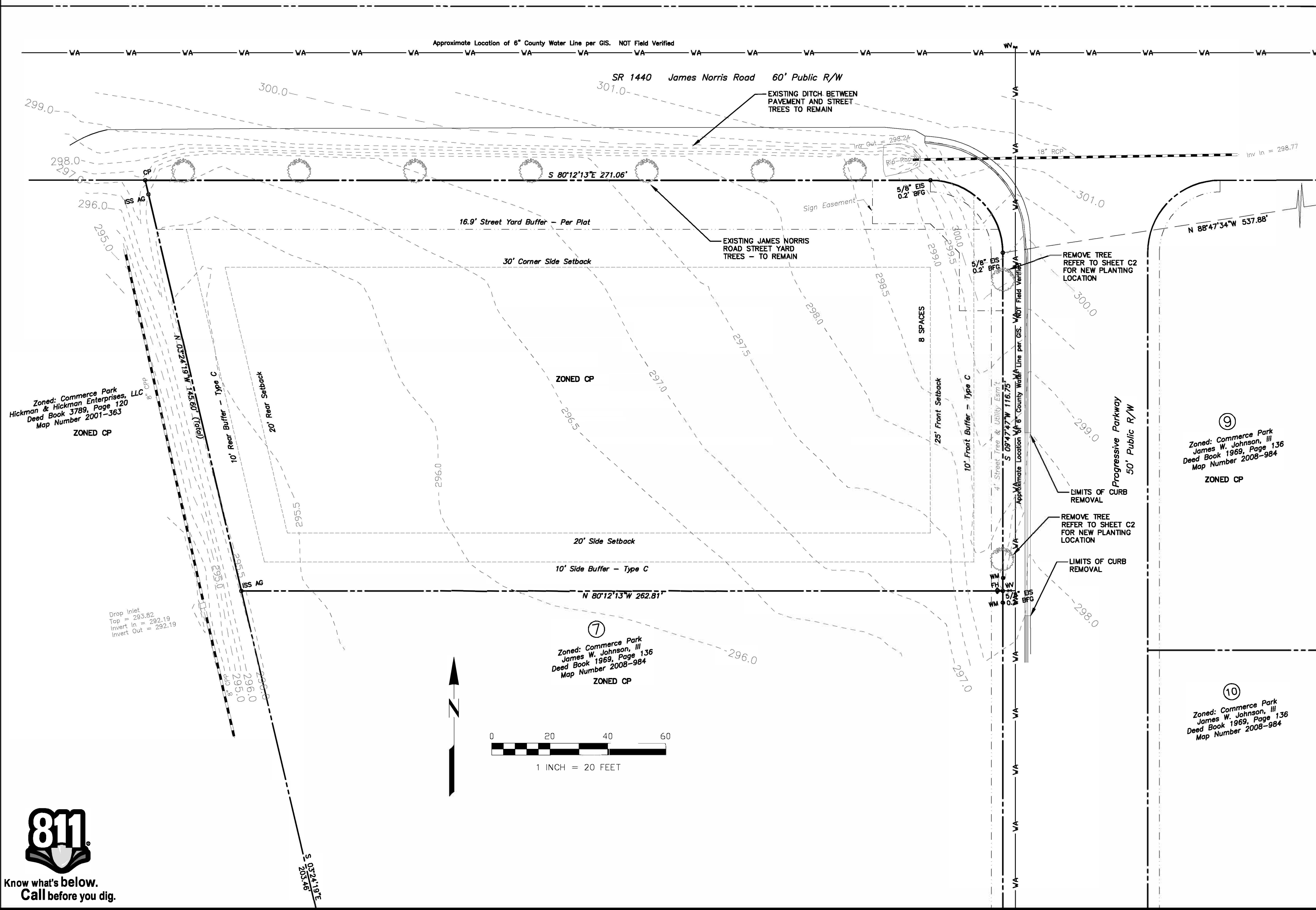
SMALL ENGINE REPAIR

189 PROGRESSIVE PARKWAY
ANGIER, NC 27501



VICINITY MAP

Zoned: RA-30
Adam L. Gardner
Deed Book 1440, Page 151
Map Number 2000-534
ZONED RA-30



SITE DATA

SITE ADDRESS: 189 PROGRESSIVE WAY
ANGIER NC 27501
HARNETT COUNTY

OWNER: LILLINGTON SMALL ENGINE REPAIR
AND RENTAL, LLC
748 S RIVER ROAD
LILLINGTON NC 27546
JASON HUGGINS

PIN: 0673.04-2122.000
PID: 040673 0070 09
DEED BOOK AND PAGE: BK 4246; PG 1912

TOTAL SITE AREA: 0.906 ACRES
FEMA MAP: 3720066200J DATED 10/3/2006
FEMA ZONE: NOT WITHIN FLOOD ZONE
WATERSHED: NOT WITHIN A WATERSHED

SHEET INDEX

- C1 COVER EXISTING CONDITIONS
- C2 SITE AND LANDSCAPE PLAN
- C3 GRADING AND UTILITY PLAN
- C4 EROSION CONTROL PLAN
- C5 SITE DETAILS
- C6 SITE DETAILS

ENGINEER

CAPITAL CIVIL ENGINEERING, PLLC
1011 PEMBERTON HILL RD, STE 203
APEX, NC 27502
PH: 919 249-8587
MICHAEL McQuillen, PE
mmcquillen@capitalcivil.com
919-249-8587

PROJECT MANAGER

VUNCANNON & SONS BUILDERS, INC.
PO BOX 206
BUIES CREEK, NC 27506
(919) 255-8537
ZACHARY W. CABE
zwc@vuncannonandsonsbldrsinc.com
NC General Contractors Unlimited License 85590



Revisions:
5/21/2025 - TOWN AND CLIENT COMMENTS

Scale:
Date: 5/21/2025
Drawn By: MPM

SMALL ENGINE REPAIR
ANGIER INDUSTRIAL PARK - LOT 8
189 PROGRESSIVE PARKWAY
ANGIER NC 27501

COVER SHEET AND EXISTING CONDITIONS

Certified By:



Drawing Number:

C1

A/E Job Number:

142-001

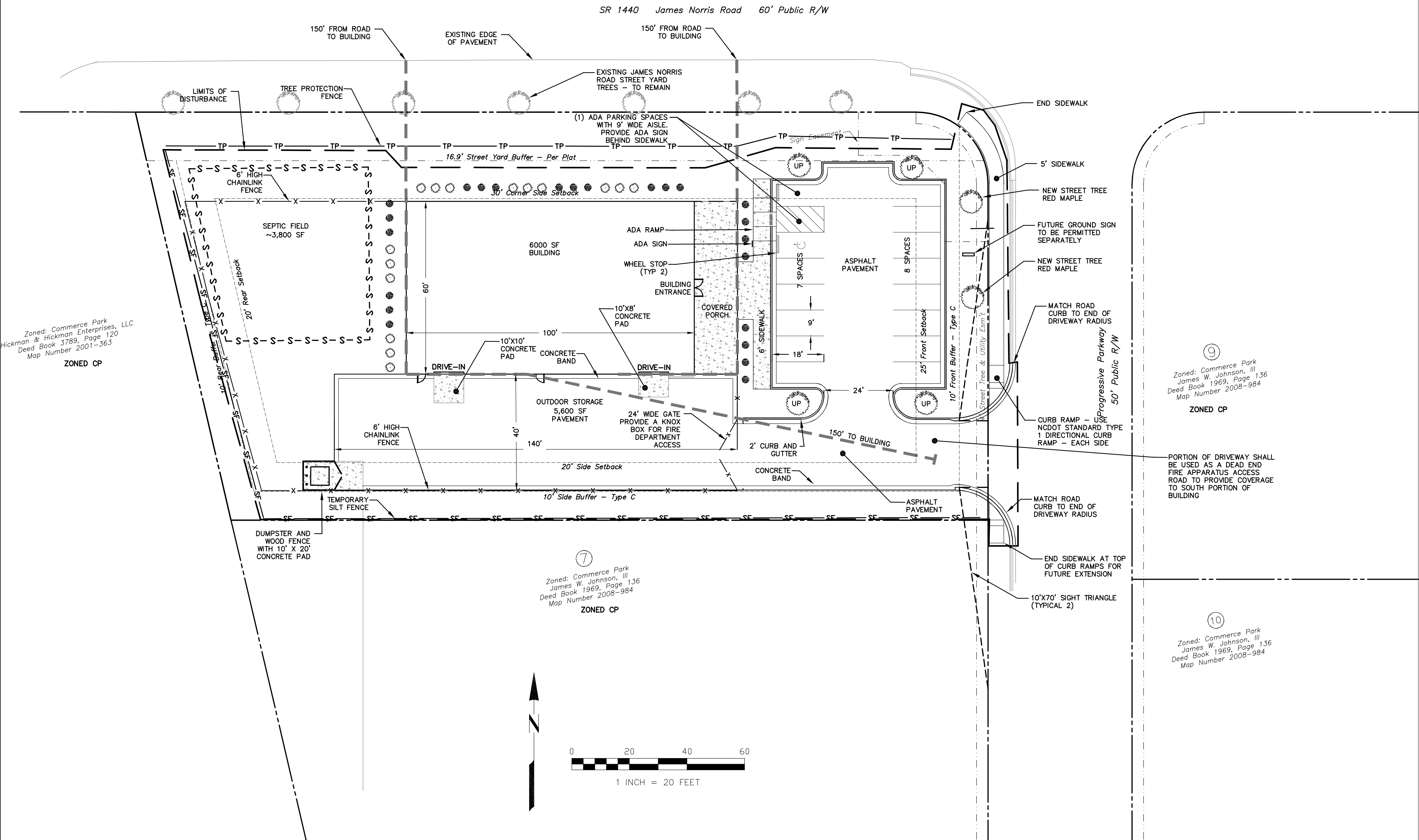
CONSTRUCTION DRAWINGS
ISSUED FOR:

- ☐ PRELIMINARY
- ☐ MUNICIPAL REVIEW
- ☐ BID SET
- ☒ CONSTRUCTION DOCUMENTS



Know what's below.
Call before you dig.

Zoned: RA-30
Adam L. Gardner
Melanie W. Gardner
Deed Book 1440, Page 151
Map Number 2000-534
ZONED RA-30



SITE DATA

SITE ADDRESS:	189 PROGRESSIVE WAY ANGIER NC 27501
PIN:	0673.04-2122.000
PID:	040673 0070 09
DEED BOOK AND PAGE:	BK 4246; PG 1912
TOTAL SITE AREA:	0.906 ACRES
TOTAL DISTURBED AREA:	0.8 ACRES
IMPERVIOUS AREA	
EXISTING:	0 ACRES
PROPOSED:	0.48 ACRES
IMPERVIOUS %:	53%
IMPERVIOUS ALLOWED %:	60%
PROPERTY ZONING:	CP
PROPOSED USE:	SMALL ENGINE REPAIR
HOURS OF OPERATION:	MONDAY - FRIDAY 8AM - 5PM SATURDAY 8AM - NOON
NEW BUILDING AREA:	6,000 SF
RETAIL:	3,000 SF
REPAIR:	3,000 SF
PARKING REQUIRED:	
RETAIL - 1 PER 200 SF	15 SPACES
REPAIR - 1 PER 2 EMPLOYEES	1 SPACE
TOTAL REQUIRED:	16 SPACES
PARKING PROVIDED:	15 SPACES (REDUCED 6%)
ADA PARKING REQUIRED:	1 VAN ACCESSIBLE
ADA PARKING PROVIDED:	1 VAN ACCESSIBLE

BUFFERS

PROPOSED USE: EQUIPMENT AND /OR MACHINERY REPAIR AND SERVICE: USE GROUP 4

ADJACENT USES:
SOUTH: ZONED CP: USE GROUP 4
WEST: ZONED CP: USE GROUP 4

WEST BUFFER: 10', TYPE C
SOUTH BUFFER: 10', TYPE C

SITE NOTES

- ALL ONSITE DIMENSIONS ARE TO EDGE OF PAVEMENT OR FACE OF CURB.
- ALL CONSTRUCTION TO BE PERFORMED TO TOWN OF ANGIER STANDARDS, SPECIFICATIONS AND DETAILS AS APPLICABLE
- CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR CONSTRUCTION SHOWN ON THESE PLANS.
- CONTRACTOR SHALL COORDINATE WITH UTILITY LOCATOR TO VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO ANY WORK.
- CONTRACTOR SHALL, AT ALL TIMES, MAINTAIN ADEQUATE SAFETY MEASURES, ACTIVITIES AND BARRACADES FOR THE PROTECTION OF ALL PERSONS ON OR ABOUT THE LOCATION OF THE SITE.
- DUMPSTER REMOVAL SHALL BE DONE BY A PRIVATE COLLECTION COMPANY.
- ALL PAVEMENT STRIPING SHALL BE WHITE
- NC DEQ EROSION PERMIT NOT REQUIRED AS THE DISTURBED AREA IS LESS THAN 1.0 ACRES

LANDSCAPE REQUIRMENTS

PROVIDE MULCH AROUND ALL NEW LANDSCAPING

BUFFERYARD REQUIREMENTS:

STREET YARD LANDSCAPING

JAMES NORRIS ROAD - EXISITING YOSHINO CHERRY
PROGRESSIVE PARKWAY - ONE EXISTING RED MAPLE AND ONE NEW RED MAPLE

SOUTH AND WEST ADJACENT PARCELS BOTH ZONED CP
NO PLANTINGS REQUIRED

PARKING LOT LANDSCAPING

ONE CANOPY TREE WITHIN 60 OF EVERY PARKING SPACE
PROVIDE FOUR TREES PER LANDSCAPE PLANT LIST

DUMPSTER REQUIREMENTS:

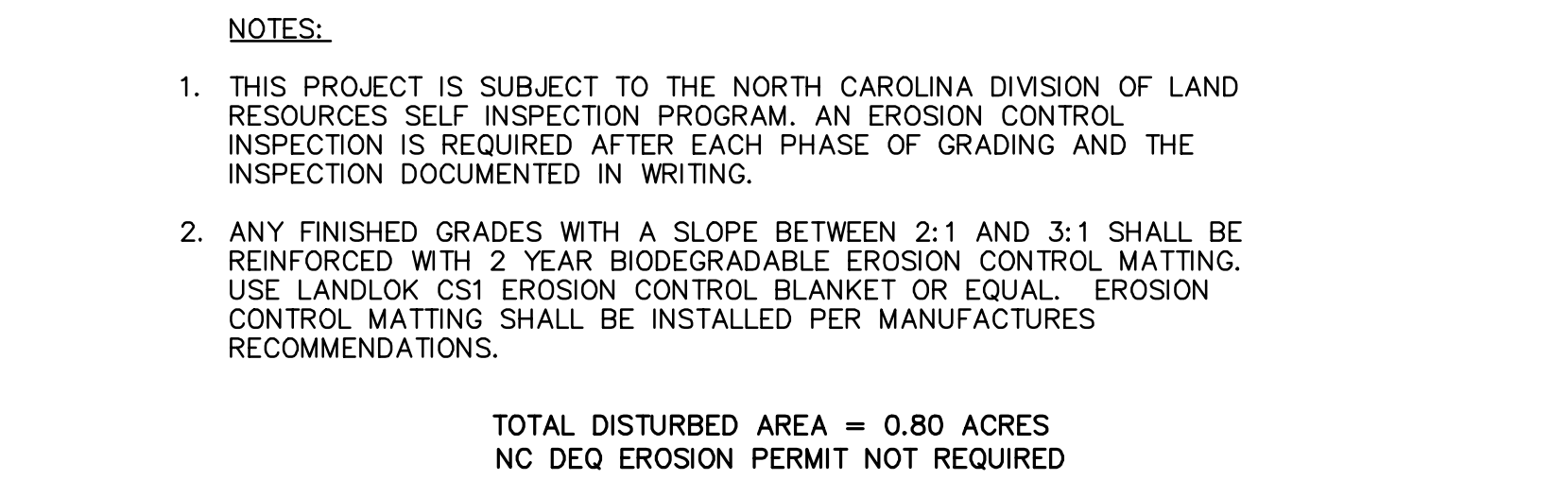
SCREENED ON THREE SIDES BY A 6' TALL SOLID WOOD FENCE
WITH A SOLD WOOD GATE

LANDSCAPE PLANT LIST

- ULMUS PARVIFOLIA (UP)- LACEBARK ELM - 2" CALIPER
- SHRUB - 18" HIGH
ILEX CORNUTA 'CARISSA' - CARISSA HOLLY
- SHRUB - 18" HIGH
PRUNUS LAUROCERASUS -DWARF ENGLISH LAUREL

CONSTRUCTION DRAWINGS
ISSUED FOR:
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1. LIMITS OF DISTURBANCE IS LESS THAN 1.0 ACRES, NO EROSION CONTROL PERMIT IS REQUIRED
2. INSTALL GRAVEL CONSTRUCTION PAD, SILT FENCE, SILT FENCE OUTLET OR OTHER MEASURES AS SHOWN ON THE APPROVED PLAN. CLEAR ONLY AS NECESSARY TO INSTALL THESE DEVICES.
3. BEGIN CLEARING AND GRUBBING. MAINTAIN DEVICES AS NEEDED.
4. ROUGH GRADE SITE.
5. BEGIN CONSTRUCTION, BUILDING, ETC.
6. STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISH GRADE WITH VEGETATION, PAVING, DITCH LININGS, ETC. SEED AND MULCH DENUDED AREAS ANYTIME GRADE IS UNDISTURBED FOR 7 DAYS OR MORE.
7. WHEN CONSTRUCTION IS COMPLETE AND ALL AREAS ARE STABILIZED COMPLETELY, REMOVE CONSTRUCTION ENTRANCE, SILT FENCE, SILT FENCE OUTLET, ETC., AND SEED OUT OR STABILIZE ANY RESULTING BARE AREAS.

PRIOR TO SEEDING, TILL THE AREA TO A MINIMUM OF 4". REMOVE STONES LARGER THAN 3", STICKS, ROOTS OR ANY OTHER MATERIAL THAT ARE PRESENT. ADD LIME, FERTILIZER, SEED, STRAW MULCH, ETC. PER THE SEEDING SPECIFICATIONS

CONSTRUCTION ENTRANCE MAINTENANCE:

- INSPECT AND CLEAN PAD AS NECESSARY ONCE A WEEK AND AFTER EACH RAINFALL.
- WASH STONE OR TOPDRESS AS NECESSARY TO PREVENT MATERIAL FROM ENTERING PUBLIC ROADWAYS.

SILT FENCE MAINTENANCE:

- INSPECT ONCE A WEEK AND AFTER EACH RAINFALL. REPAIR AS NECESSARY.
- REPAIR FENCE IF IT SHOWS SIGNS OF TEARS, COLLAPSE OR DECOMPOSITION.
- REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME OR REDUCE STRESS.

CONTRACTOR SHALL KEEP WRITTEN RECORDS OF ALL EROSION CONTROL INSPECTIONS AND MAINTENANCE PERFORMED.

Seedbed Preparation:

1. Chisel compacted areas and spread topsoil three inches deep over adverse soil conditions, if available.
2. Rip the entire area to six inches deep.
3. Remove all loose rock, roots and other obstructions, leaving surface reasonably smooth and uniform.
4. Apply agricultural lime, fertilizer and superphosphate uniformly and mix with soil (see mixture).
5. Continue tillage until a well-pulverized, firm, reasonably uniform seedbed is prepared four to six inches deep.
6. Seed on a freshly prepared seedbed and cover seed lightly with seeding equipment or cultipack after seeding.
7. Mulch immediately after seeding and anchor mulch.
8. Inspect all seeded areas and make necessary repairs or reseeds within the planting season, if possible. If stand should be more than 60% damaged, re-establish following the original lime, fertilizer and seeding rates.
9. Consult S&EC Environmental Engineers on maintenance treatment and fertilization after permanent cover is established.

Mixture
Agricultural Limestone 2 tons/acre (3 tons/acre in clay soils)
Fertilizer 1,000 lbs/acre - 10-10-10, Superphosphate 500 lbs/acre - 20% analysis
Mulch 2 tons/acre - small grain straw, Anchor Asphalt Emulsion at 300 gals/acre

Seeding Schedule
For Shoulders, Side Ditches, Slopes (Max 3:1)

<u>Date</u>	<u>Type</u>	<u>Planting Rate</u>
Aug 15 – Nov 1	Tall Fescue	300 lbs/acre
Nov 1 – Mar 1	Tall Fescue & Abruzzi Rye	300 lbs/acre
Mar 1 – Apr 15	Tall Fescue	300 lbs/acre
Apr 15 – Jun 30	Hulled Common Bermudagrass	25 lbs/acre
Jul 1 – Aug 15	Tall Fescue AND Browntop Millet or Sorghum–Sudan Hybrids***	125 lbs/acre (Tall Fescue); 35 lbs/acre(Browntop Millet); 30 lbs/acre(Sorghum–Sudan Hybrids)

*Consult S&EC Environmental Engineers for additional information concerning other alternatives for vegetation of denuded areas. The above vegetation rates are those that do well under local conditions; other seeding rate combinations are possible.

*** Temporary: Reseed according to optimum season for desired permanent vegetation. Do not allow temporary cover to grow over 12' in height before mowing, otherwise fescue may be shaded out.



Revisions:
5/21/2025 – TOWN AND CLIENT COMMENTS

Scale:	Date:	5/21/2025	Drawn By:
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SMALL ENGINE REPAIR
ANGIER INDUSTRIAL PARK - LOT 8
189 PROGRESSIVE PARKWAY
ANGIER NC 27501

EROSION CONTROL PLAN

Certified By:



Drawing Number:

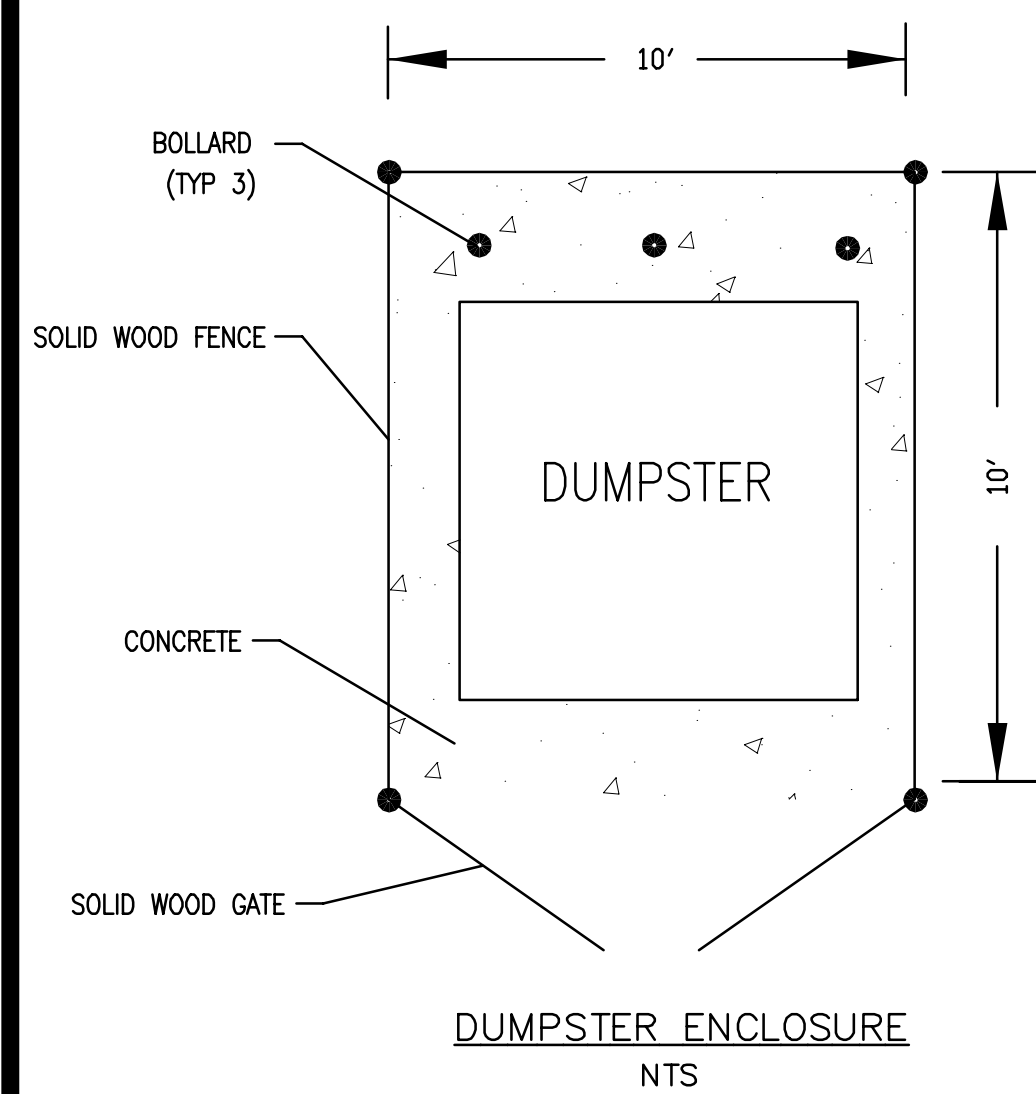
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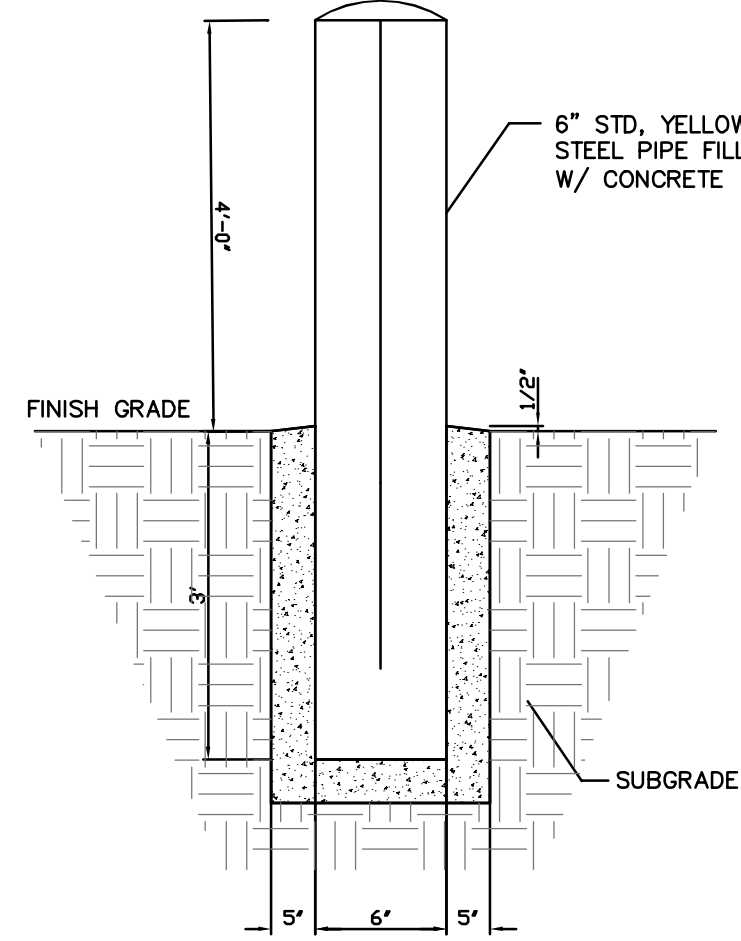
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**CONSTRUCTION DRAWINGS
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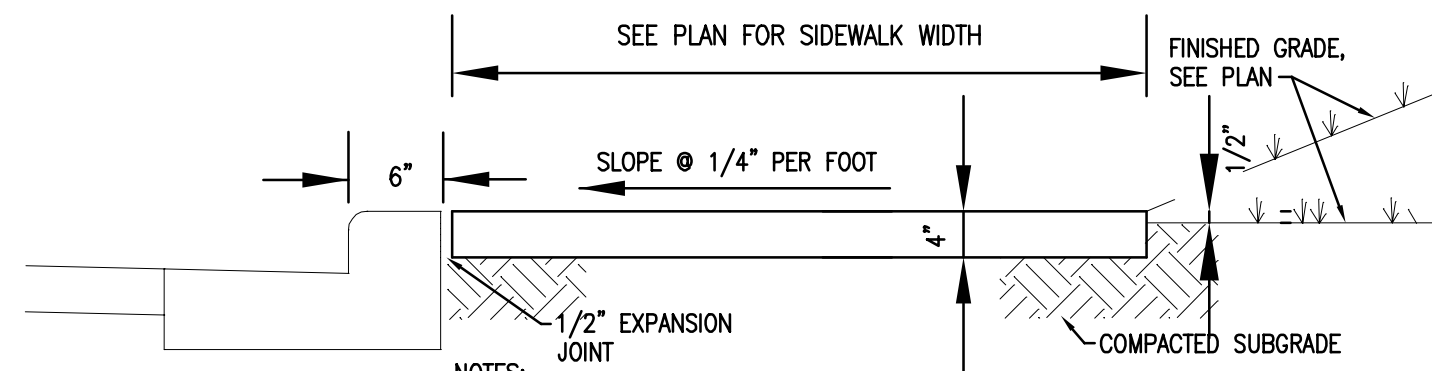
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☐ MUNICIPAL REVIEW
☐ BID SET
☒ CONSTRUCTION DOCUMENTS



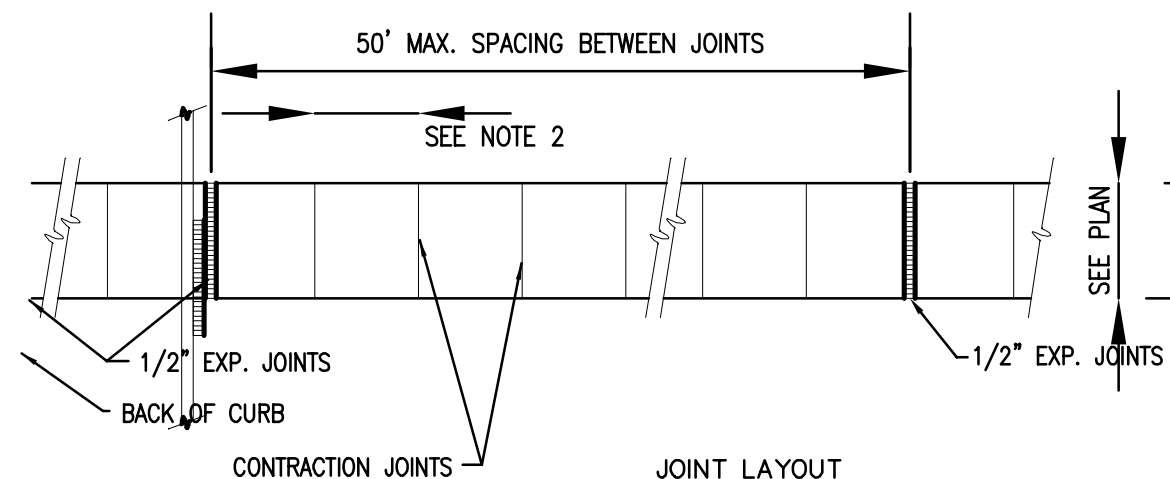
DUMPSTER ENCLOSURE
NTS



TYPICAL BOLLARD DETAIL
NTS



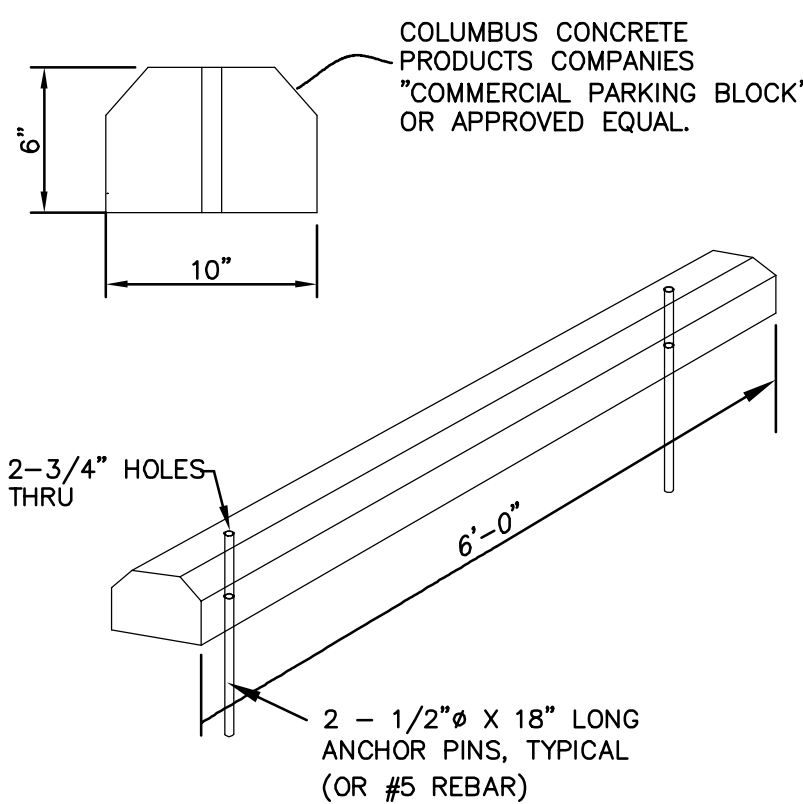
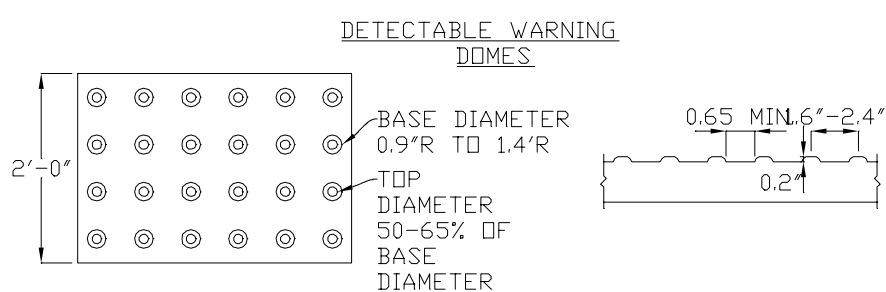
- NOTES:
1. FOR SPACING OF CONTROL AND CONSTRUCTION JOINTS, SEE SPECIFICATIONS AND CONCRETE SIDEWALK JOINT LAYOUT DETAIL, THIS SHEET.



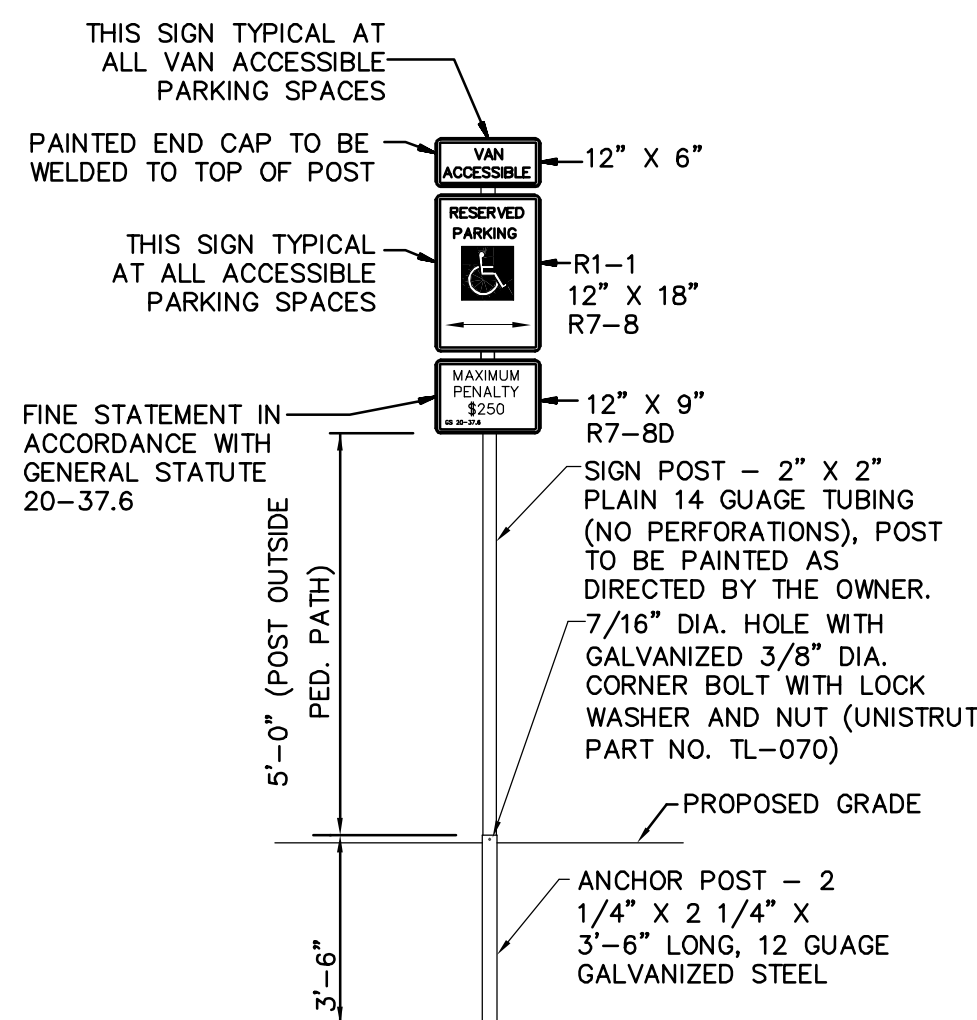
CONCRETE SIDEWALK
NTS

NOTES:

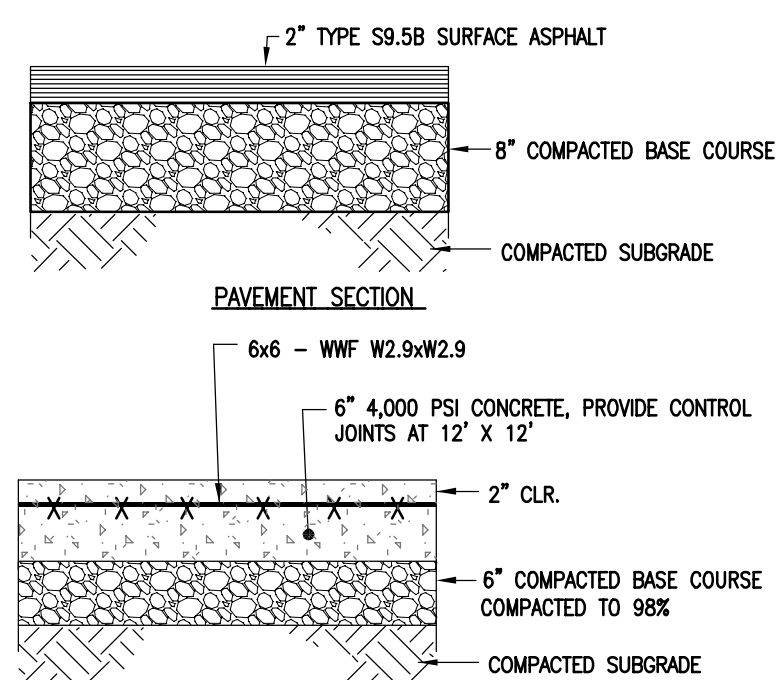
1. ALL SIDEWALKS SHALL BE 4" THICK, EXCEPT AS NOTED.
2. CONTRACTION JOINTS SHALL BE SPACED AT 4'-0" INTERVALS FOR 4' SIDEWALKS, 5'-0" INTERVALS FOR 5' SIDEWALK, AND 6'-0" INTERVALS FOR 6'-8" SIDEWALKS.
3. CONTRACTION JOINTS SHALL BE 1" DEEP AND EDGED WITH 1/8" RADIUS.
4. 1/2" EXPANSION MATERIAL WHERE CONCRETE SIDEWALK ABUTS CONCRETE STRUCTURE.
5. A LAYER OF 15# FELT IS REQUIRED BETWEEN WALK AND ADJACENT PARALLELING CONCRETE CURB.



PARKING BLOCK DETAIL
NTS



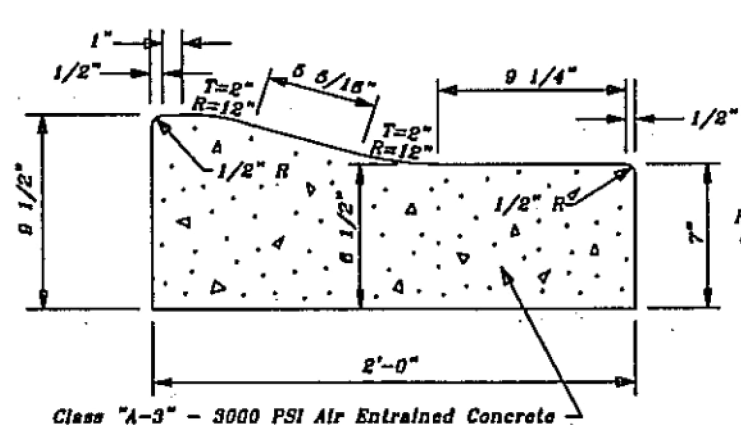
TYPICAL HANDICAP SIGN DETAIL
NTS



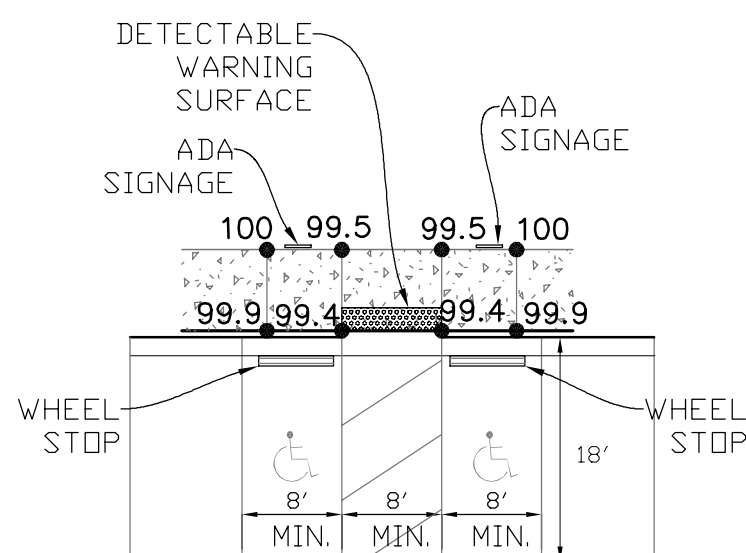
PAVING SECTIONS

NOTES:

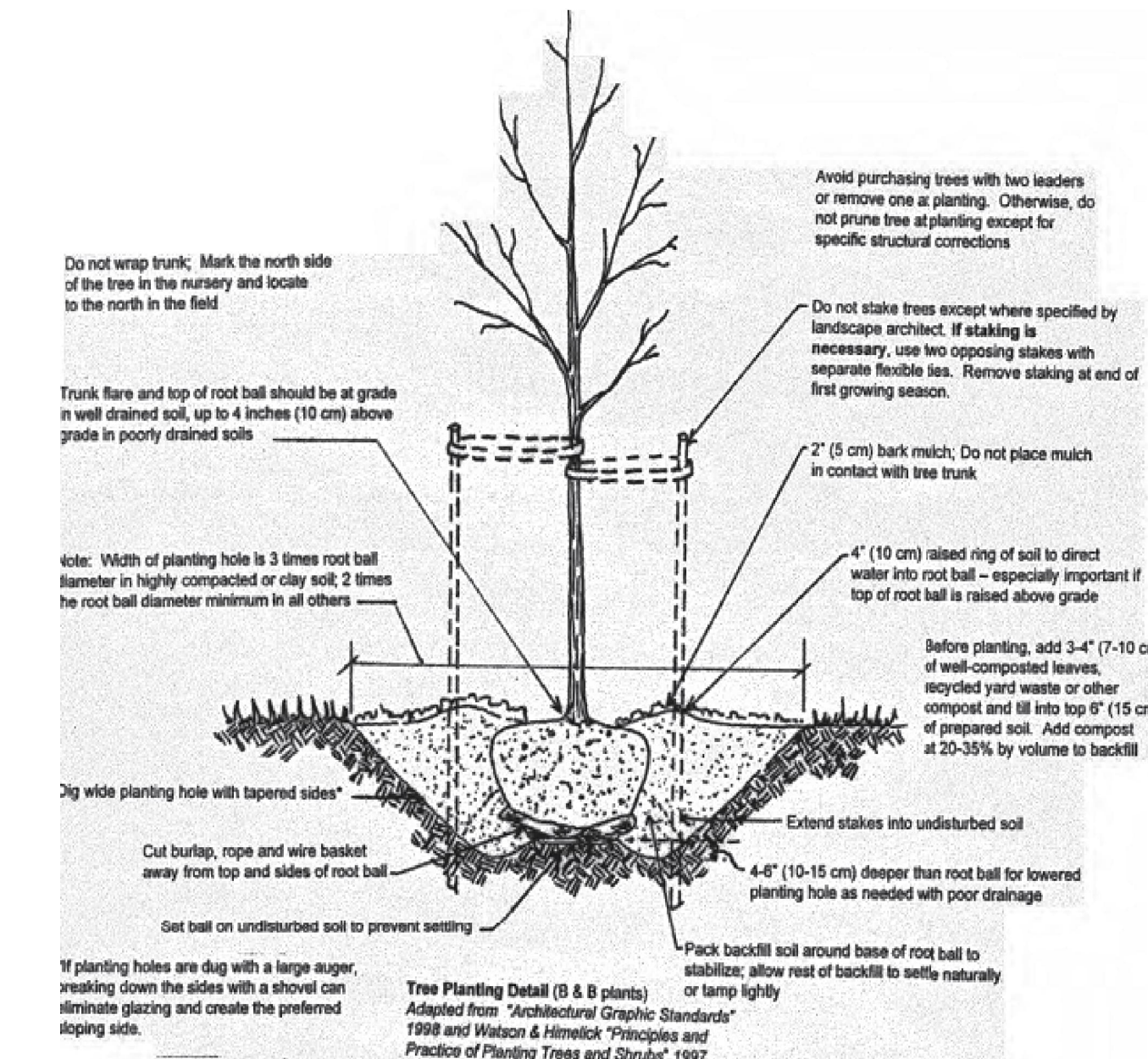
1. COMPACTED SUBGRADE TO A DENSITY OF NO LESS THAN 95% OF MAXIMUM STANDARD PROCTOR DRY DENSITY AS DETERMINED BY AASHTO METHOD T99.
2. COMPACTED ASPHALT TO A DENSITY OF 92 PERCENT OF REFERENCE MAXIMUM THEORETICAL DENSITY ACCORDING TO ASTM D 2041, BUT NOT LESS THAN 90 PERCENT NOR GREATER THAN 96 PERCENT.
3. PAVEMENT THICKNESS SHALL BE CONFIRMED DURING CONSTRUCTION WITH CBR PENETRATION TESTS.



TYPICAL SECTION OF ROLL
24" COMBINATION CONCRETE CURB & GUTTER

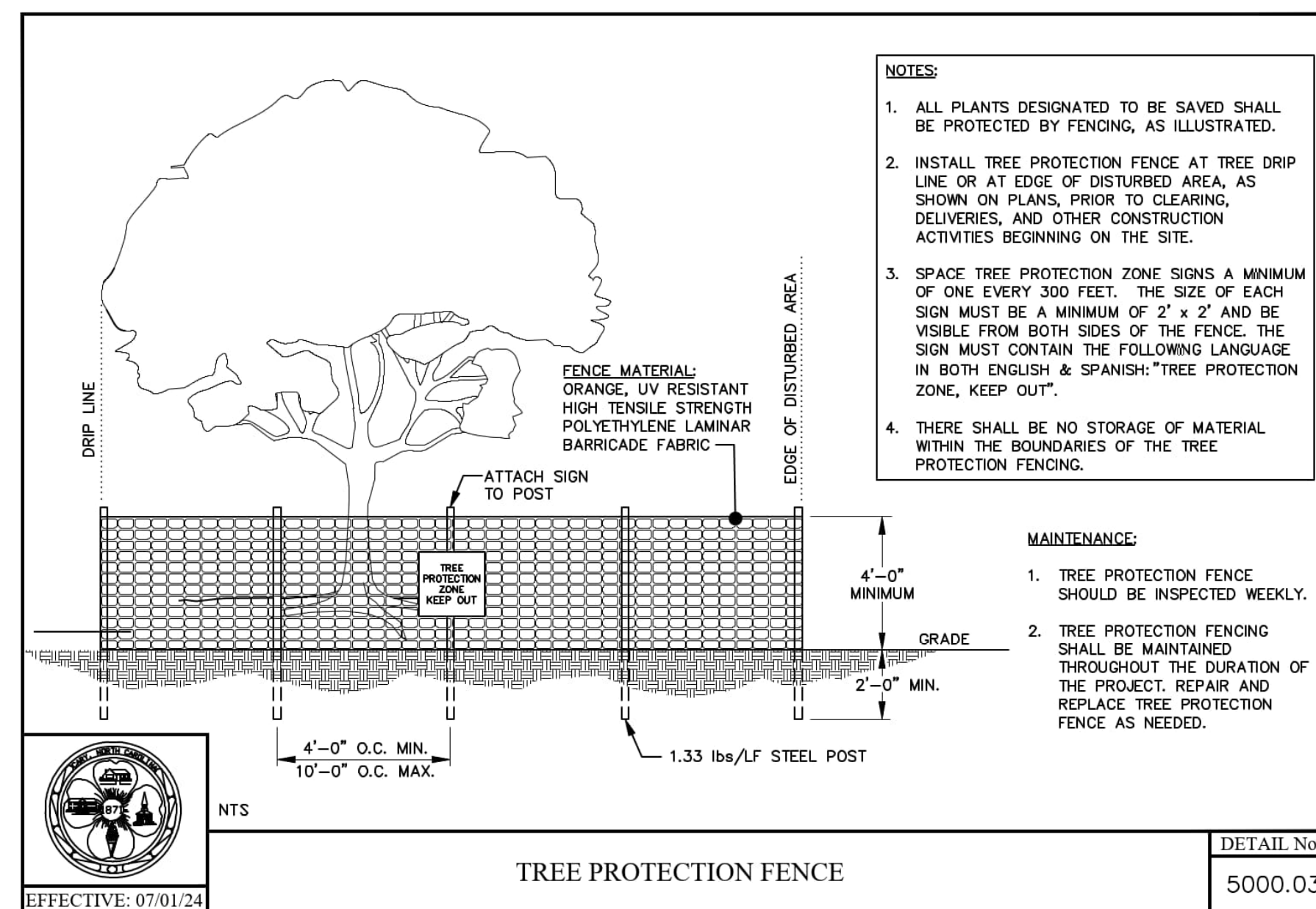


ADA RAMP TO PARKING
SPACES

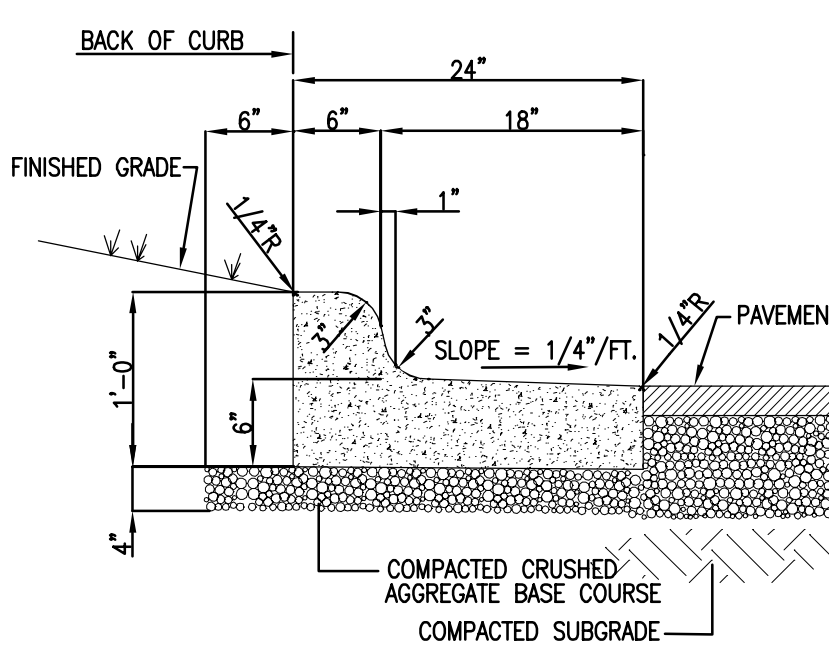


NOTES

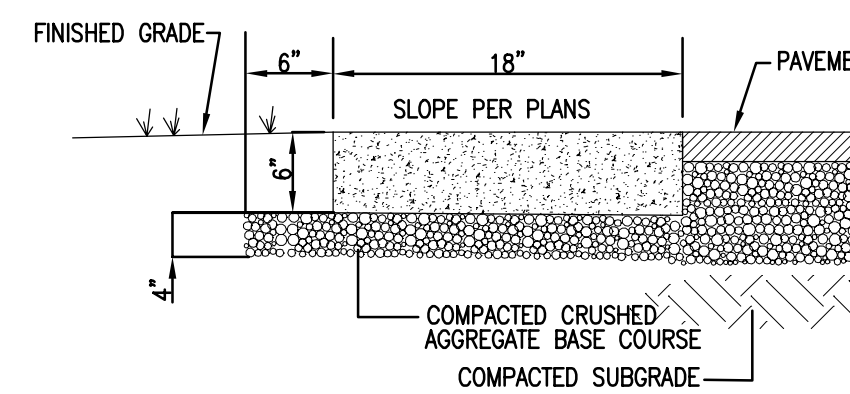
1. Where several trees will be planted close together such that they will likely share root space, fill soil amendments to a depth of 4'-8" (10-15 cm) over the entire area.
2. For container-grown trees, use fingers or small hand tools to pull the roots out of the outer layer of potting soil; then cut or pull apart any roots circling the perimeter of the container.
3. During the design phase, confirm that water drains out of the soil; use lowered planting hole depth and design alternative drainage system as required.
4. Thoroughly soak the tree root ball and adjacent prepared soil several times during the first month after planting and regularly throughout the following two summers.
5. The planting process is similar for deciduous and evergreen trees.



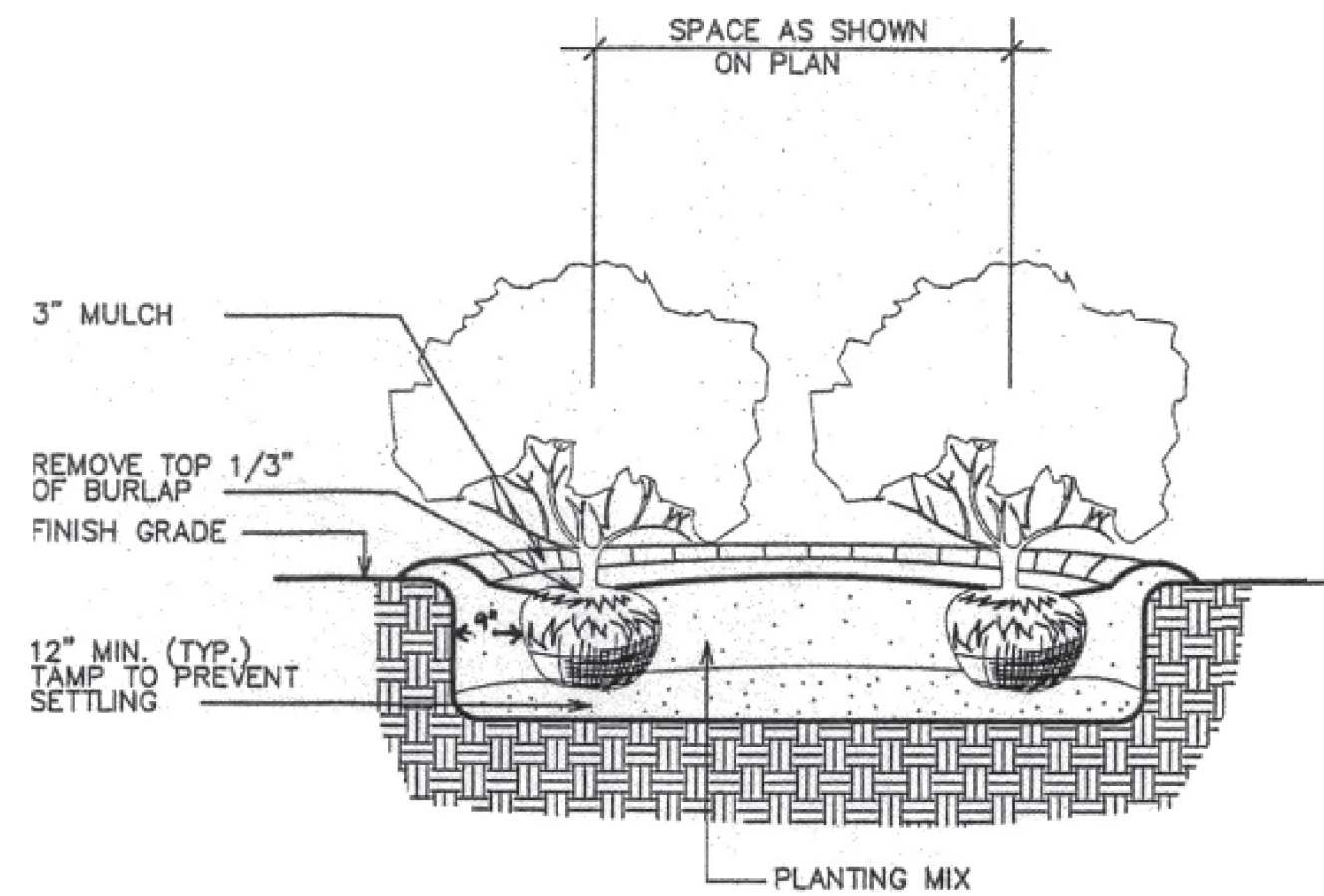
DETAIL No.
5000.03



24" PARKING LOT CURB AND GUTTER
NTS



PARKING LOT CONCRETE BAND
NTS



SHRUB/GROUND COVER PLANTING DETAIL
NOT TO SCALE

- CONSTRUCTION DRAWINGS
ISSUED FOR:
- ☐ PRELIMINARY
 - ☐ MUNICIPAL REVIEW
 - ☐ BID SET
 - ☒ CONSTRUCTION DOCUMENTS





The drawing consists of two main views: a **FRONT VIEW** and a **SECTION VIEW**.

FRONT VIEW: Shows a plan view of the silt fence outlet. It features a central rectangular area labeled "STEEL FENCE POST" with dimensions "36\" MAX 2\" MIN" and "MIN 12\" INTO SOLID GROUND". To the left of this post is a "WIRE FENCE" and "HARDWARE CLOTH" section. To the right is a "SILT FENCE" section. A dimension line indicates a "4' MIN" distance between the fence posts. A note states: "TOP OF SILT FENCE MUST BE AT LEAST 1' ABOVE THE TOP OF THE WASHED STONE".

SECTION VIEW: Shows a cross-section of the outlet. It includes a "STEEL FENCE POST" with dimensions "36\" MAX 2\" MIN" and "MIN 12\" INTO SOLID GROUND". The "WIRE FENCE" and "HARDWARE CLOTH" are shown on the left, with a "FILTER OF #20 WASHED STONE" below them. A "3' FILTER FABRIC ON GROUND" is indicated. The "SILT FENCE" is on the right. A note states: "TOP OF SILT FENCE MUST BE AT LEAST 1' ABOVE THE TOP OF THE WASHED STONE".

MAINTENANCE NOTES:

1. INSPECT THE DEVICE PERIODICALLY AND AFTER 1 INCH RAINFALL OVER 24 HOUR PERIOD FOR DAMAGE AND SEDIMENT ACCUMULATION TO CONFIRM THE DEVICE IS FUNCTIONING PROPERLY.
2. AT A MINIMUM, REMOVE SEDIMENT FROM THE DEVICE WHEN ACCUMULATIONS REACH ONE-HALF THE HEIGHT OF THE SEDIMENT CONTROL STONE.
3. REPLACE OR CLEAN THE SEDIMENT CONTROL STONE AS NECESSARY TO ALLOW WATER TO DRAIN THROUGH THE DEVICE BETWEEN RAINFALL EVENTS.
4. REPAIR AREAS WHERE OUTLET BECOMES UNDERMINED DUE TO CONCENTRATED FLOWS.

WAKE COUNTY NORTH CAROLINA

STANDARD SILT FENCE OUTLET

DATE: 01/31/08

