

2018 APPENDIX B  
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS  
(EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)  
(Reproduce the following data on the building plans sheet 1 & 2)

Name of Project: DADDY D'S BBQ FIT UP  
Address: 764 S. RALEIGH STREET, ANGIER, NC Zip Code: 27501  
Owner/Authorized Agent: RACHEL DISENA Phone# 919-606-0231 E-Mail rachel@daddysbbqnc.com  
Owned By: ☐ City/County ☒ Private ☐ State  
Code Enforcement Jurisdiction: ☒ City ANGIER ☐ County HARNETT ☐ State

CONTACT:

DESIGNER	FIRM	NAME	LICENSE #	TELEPHONE #	E-MAIL
Architectural	TONY JOHNSON ARCHITECTURE	TONY JOHNSON	4296	(919) 550-7717	tony@tonyjohnsonarchitect.com
Civil	BLACKBURN CONSULT'G ENG.	DANIEL BLACKBURN	9486	(919) 553-2900	dblackburn@mindspring.com
Electrical	KILIAN ENGINEERING INC	JACOB HAMILTON	048012	(252) 438-8778	jhamilton@kilianengineering.com
Fire Alarm				(252) 438-8778	
Plumbing	KILIAN ENGINEERING INC	JACOB HAMILTON	048012	(252) 438-8778	jhamilton@kilianengineering.com
Mechanical	KILIAN ENGINEERING INC	JACOB HAMILTON	048012	(252) 438-8778	jhamilton@kilianengineering.com
Sprinkler-Standpipe					
Structural					
Retaining Walls >5' High					
Others					

("Others" should include firms and individuals such as truss, precast, pre-engineered, interior designers, etc.)

2018 NC BUILDING CODE:

- ☐ New building ☐ Addition ☐ Renovation  
☐ First time interior completion (upfit)  
☐ Shell/Core - Contact the local inspection jurisdiction for possible additional procedures and requirements  
☐ Phased Construction - Shell/Core- Contact the local inspection jurisdiction for possible additional procedures and requirements

2018 NC EXISTING BUILDING CODE:

- Existing: ☐ Prescriptive ☐ Repair ☐ Chapter 14  
Alteration: ☐ Level I ☐ Level II ☒ Level III

- ☐ Historic Property ☒ Change of Use

Constructed: (date) 1997 Current Occupancy (S) (Ch. 3): BUSINESS

Renovated: (date) Proposed Occupancy (S) (Ch. 3): A-2

Risk Category (Table 1604.5): Current: ☐ I ☒ II ☐ III ☐ IV  
Proposed: ☐ I ☒ II ☐ III ☐ IV

BASIC BUILDING DATA:

Construction Type: ☐ I-A ☐ II-A ☐ III-A ☐ IV ☐ V-A  
(check all that apply) ☐ I-B ☐ II-B ☐ III-B ☒ V-B  
  
Sprinklers: ☒ No ☐ Yes ☐ Partial ☐ NFPA 13 ☐ NFPA 13R ☐ NFPA 13D  
Standpipes: ☒ No ☐ Yes Class: ☐ I ☐ II ☐ III ☐ Wet ☐ Dry  
Fire District: ☒ No ☐ Yes Flood Hazard Area: ☒ No ☐ Yes  
Special Inspections Required: ☐ No ☐ Yes (Contact the local inspection jurisdiction for additional procedures and requirements.)

GROSS BUILDING AREA TABLE:

FLOOR	EXISTING (SQ FT)	NEW (SQ FT)	RENO/ALTER (SQ.FT)	SUB-TOTAL
3 <sup>rd</sup> Floor				
2 <sup>nd</sup> Floor				
Mezzanine				
1 <sup>st</sup> Floor	2252		2252	2252
Basement				
TOTAL	2252		2252	2252

ALLOWABLE AREA: CHAPTER 5

OCCUPANCY

Primary Occupancy:

Assembly 303 ☐ A-1 ☒ A-2 ☐ A-3 ☐ A-4 ☐ A-5  
Business 304 ☐ B  
Educational 305 ☐ E  
Factory 306 ☐ F-1 Moderate ☐ F-2 Low  
Hazardous 307 ☐ H-1 Detonate ☐ H-2 Deflagrate ☐ H-3 Combust ☐ H-4 Health ☐ H-5 HPM  
Institutional 308 ☐ I-1 Condition ☐ 1 ☐ 2 ☐ I-2 Condition ☐ 1 ☐ 2  
I-3 Condition ☐ 1 ☐ 2 ☐ 3 ☐ 4 ☐ 5 ☐ I-4 Day Care  
Mercantile 309 ☐ M  
Residential 310 ☐ R-1 ☐ R-2 ☐ R-3 ☐ R-4  
Storage 311 ☐ S-1 Moderate ☐ S-2 Low ☐ High-piled  
☐ Parking Garage ☐ Open ☐ Enclosed ☐ Repair Garage  
Utility and Miscellaneous 312 ☐ U

Accessory Occupancy Classification(s) (<= 10%):

Incidental Uses (Table 509):

Special Uses (Chapter 4 - List Code Sections):

Special Provisions (Chapter 5 - List Code Sections):

Mixed Occupancy: ☒ No ☐ Yes Separation: \_\_\_\_\_ Hr. Exception: \_\_\_\_\_

- ☐ Non-Separated Use (508.3) - The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire building. The most restrictive type of construction, so determined, shall apply to the entire building.

- ☐ Separated Use (508.4) - See below for area calculations for each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1.

$$\frac{\text{Actual Area of Occupancy A}}{\text{Allowable Area of Occupancy A}} + \frac{\text{Actual Area of Occupancy B}}{\text{Allowable Area of Occupancy B}} + \dots = \frac{\leq 1}{< 1.00}$$

ALLOWABLE AREA

STORY NO.	DESCRIPTION AND USE	(A) BLDG AREA PER STORY (ACTUAL)	(B) TABLE 506.2 <sup>4</sup> AREA	(C) AREA FOR FRONTAGE INCREASE <sup>1,5</sup>	(D) ALLOWABLE AREA PER STORY OR UNLIMITED <sup>2,3</sup>
1	A-2	2252	6000		6000

- Frontage area increases from Section 506.2 are computed thus:
  - Perimeter which fronts a public way or open space having 20 feet minimum width= \_\_\_\_\_ (F)
  - Total Building Perimeter= \_\_\_\_\_ (P)
  - Ratio (F/P)= \_\_\_\_\_ (F/P)
  - W=Minimum width of public way= \_\_\_\_\_ (W)
  - Percent of frontage increase I(f)= [F/P-0.25]x W/30= \_\_\_\_\_ (%)
- Unlimited area applicable under conditions of Section 507.
- Maximum Building Area=total number of stories in the building x D (maximum 3 stories) (506.2).
- The maximum area of open parking garages must comply with Table 406.5.4.
- Frontage increase is based on the unsprinklered area value in Table 506.2.

ALLOWABLE HEIGHT

	ALLOWABLE	SHOWN ON PLANS	CODE REFERENCE
Building Height in Feet (Table 504.3)	40'	EXISTING +/-19' - 6"	-
Building Height in Stories (Table 504.4)	1	1	-

- Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4
- The maximum height of air traffic control towers must comply with Table 412.3.1.
- The maximum height of open parking garages must comply with Table 406.5.4.

FIRE PROTECTION REQUIREMENTS: CHAPTER 6 (TABLE 601)

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	RATING REQ'D	PROVIDED (W/ REDUCTION)	DETAIL # AND SHEET #	DESIGN # FOR RATED ASSEMBLY	DESIGN # FOR RATED PENETRATION	DESIGN # FOR RATED JOINTS
Structural Frame, including columns, girders, trusses							
Bearing Walls							
Exterior							
North	9.7'	1	EXISTING BRICK VENEER				
East	>30'	0	EXISTING BRICK VENEER				
West	30'	0	EXISTING BRICK VENEER				
South	>30'	0	EXISTING BRICK VENEER				
Interior		N/A	N/A				
Nonbearing Walls and Partitions							
Exterior walls							
North		N/A	N/A				
East		N/A	N/A				
West		N/A	N/A				
South		N/A	N/A				
Interior walls and partitions		0	0				
Floor Construction including supporting beams and joists		N/A	N/A				
Floor Ceiling Assembly		N/A	N/A				
Columns Supporting Floors		N/A	N/A				
Roof Construction, including supporting beams and joists		0	0				
Roof Ceiling Assembly		0	0				
Columns Supporting Roof		0	0				
Shaft Enclosures - Exit		N/A	N/A				
Shaft Enclosures - Elevator		N/A	N/A				
Corridor Separation		N/A	N/A				
Occupancy/Fire Barrier Separation		N/A	N/A				
Party/Fire Wall Separation		N/A	N/A				
Smoke Barrier Separation		N/A	N/A				
Smoke Partition		N/A	N/A				
Tenant/Dwelling Unit/ Sleeping Unit Separation		N/A	N/A				
Incidental Use Separation		N/A	N/A				

\* Indicate section number permitting reduction

PERCENTAGE OF WALL OPENING CALCULATIONS:

FIRE SEPARATION DISTANCE (FEET FROM PROPERTY LINES)	DEGREES OF OPENINGS PROTECTION (TABLE 705.8)	ALLOWABLE AREA (%)	ACTUAL SHOWN ON PLANS (%)
NORTH 9.7'	UP, NS	10%	1.6%
S, E, W >30'	UP, NS	UNLIMITED	EXISTING

LIFE SAFETY SYSTEM REQUIREMENTS: Chapters 9 and 10

Emergency Lighting: ☐ No ☒ Yes  
Exit Signs: ☐ No ☒ Yes  
Fire Alarm: ☒ No ☐ Yes  
Smoke Detection Systems: ☒ No ☐ Yes ☐ Partial \_\_\_\_\_  
Carbon Monoxide Detection: ☒ No ☐ Yes

LIFE SAFETY PLAN REQUIREMENTS:

Life Safety Plan Sheet #, if Provided: A-0.2

- ☐ Fire and/or smoke rated wall locations (Chapter 7)  
☐ Assumed and real property line locations (If not on site plan)  
☐ Exterior wall opening area with respect to distance to assumed property lines (705.8)  
☒ Occupancy Use for each area as it relates to occupant load calculation (Table 1004.1.2)  
☒ Occupant loads for each area  
☒ Exit sign locations (1013)  
☒ Exit access travel distances (1017)  
☒ Common path of travel distances (1006.2.1 & 1006.3.2(1))  
☐ Dead end lengths (1020.4)  
☒ Clear exit widths for each exit door  
☒ Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3)  
☒ Actual occupant load for each exit door  
☐ A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation  
☐ Location of doors with panic hardware (1010.1.10)  
☐ Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)  
☐ Location of doors with electromagnetic egress locks (1010.1.9.9)  
☐ Location of doors equipped with hold-open devices  
☐ Location of emergency escape windows (1030)  
☒ The square footage of each fire area (202)  
☐ The square footage of each smoke compartment for Occupancy Classification I-2 (407.5)  
☐ Note any code exceptions or table notes that may have been utilized regarding the items above

ACCESSIBLE DWELLING UNITS: (Section 1107)

TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE A UNITS REQUIRED	TYPE A UNITS PROVIDED	TYPE B UNITS REQUIRED	TYPE B UNITS PROVIDED	TOTAL ACCESSIBLE UNITS PROVIDED

ACCESSIBLE PARKING REQUIREMENTS: (Section 1106) SEE SITE PLAN

LOT OR PARKING AREA	TOTAL # OF PARKING SPACES REQUIRED	PROVIDED	# OF ACCESSIBLE SPACES PROVIDED			TOTAL # ACCESSIBLE PROVIDED
			REGULAR WITH 5' ACCESS AISLE	VAN SPACES WITH 132" ACCESS AISLE	8' ACCESS AISLE	
TOTAL						

PLUMBING FIXTURE REQUIREMENTS: Chapter 29 (Table 2902.1)

USE	EXIST'G NEW REQ'D	WATERCLOSETS			URINALS	LAVATORIES			SHOWERS / TUBS	DRINKING FOUNTAINS	
		MALE	FEMALE	UNISEX		MALE	FEMALE	UNISEX		REGULAR	ACCESSIBLE
A-2		1	1	1		1	1	1			

SPECIAL APPROVAL: Special approval: (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, ICC, etc., describe below)

ENERGY SUMMARY

ENERGY REQUIREMENTS:

The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard design vs annual energy cost for the proposed design.

Existing building envelope complies with code: ☐ No ☒ Yes (The remainder of this section is not applicable)

Exempt Building: ☐ No ☐ Yes (Provide code or statutory reference) NEW EXTERIOR DOORS SHALL MEET OR EXCEED ENERGY CODE MINIMUMS

Climate Zone: ☐ 3A ☒ 4A ☐ 5A

Method of Compliance: Energy Code ☐ Performance ☐ Prescriptive  
ASHRAE 90.1 ☐ Performance ☐ Prescriptive  
If "Other" specify source here) \_\_\_\_\_

THERMAL ENVELOPE (Prescriptive method only):

Roof/ceiling Assembly (each assembly)

Description of assembly: \_\_\_\_\_  
U-Value of total assembly: \_\_\_\_\_  
R-Value of insulation: \_\_\_\_\_  
Skylights in each assembly: \_\_\_\_\_  
U-Value of skylight: \_\_\_\_\_  
Total square footage of skylight in each assembly: \_\_\_\_\_

Exterior Walls (each assembly)

Description of assembly: \_\_\_\_\_  
U-Value of total assembly: \_\_\_\_\_  
R-Value of insulation: \_\_\_\_\_  
Openings (windows or doors with glazing)  
U-Value of assembly: 0.45  
Solar heat gain coefficient: 0.25  
Projection factor: \_\_\_\_\_  
Door R-Value: R-2 (U-0.5)

Walls Below Grade (each assembly)

Description of assembly: \_\_\_\_\_  
U-Value of total assembly: \_\_\_\_\_  
R-Value of insulation: \_\_\_\_\_

Floors over unconditioned space (each assembly)

Description of assembly: \_\_\_\_\_  
U-Value of total assembly: \_\_\_\_\_  
R-Value of insulation: \_\_\_\_\_

Floors slab on grade

Description of assembly: \_\_\_\_\_  
U-Value of total assembly: \_\_\_\_\_  
R-Value of insulation: \_\_\_\_\_  
Horizontal/vertical requirement: \_\_\_\_\_  
Slab heated: \_\_\_\_\_

2018 APPENDIX B  
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS  
STRUCTURAL DESIGN  
(PROVIDE ON THE STRUCTURAL SHEETS IF APPLICABLE)

DESIGNS LOADS:

Importance Factors: Snow (Is) ☐ .80 ☐ 1.0 ☐ 1.1 ☐ 1.2  
Seismic (Ie) ☐ 1.0 ☐ 1.25 ☐ 1.5  
Live Loads: Roof (live & snow) \_\_\_\_\_ (psf)  
Mezzanine \_\_\_\_\_ (psf)  
Floor \_\_\_\_\_ (psf)  
Ground Snow Load: \_\_\_\_\_ (psf)  
Wind Load: Basic Wind Speed \_\_\_\_\_ (mph ASCE 7)  
Exposure Category ☐ B ☐ C ☐ D

SEISMIC DESIGN CATEGORY:

☐ A ☐ B ☐ C ☐ D

Provide the following Seismic Design Parameters:

Risk Category (Table 1604.5) ☐ I ☐ II ☐ III ☐ IV  
Spectral Response Acceleration Ss \_\_\_\_\_ %g S1 \_\_\_\_\_ %g  
Site Classification (ASCE 7) ☐ A ☐ B ☐ C ☐ D ☐ E ☐ F  
Data Source: ☐ Field Test ☐ Presumptive ☐ Historical Data

Basic Structural System: (check one)

- ☐ Bearing Wall ☐ Dual w/ Special Moment Frame  
☐ Building Frame ☐ Dual w/ Intermediate R/C or Special Steel  
☐ Moment Frame ☐ Inverted Pendulum

Analysis Procedure: ☐ Simplified ☐ Modal ☐ Equivalent Lateral Force  
Architectural, Mechanical, Components Anchored? ☐ Yes ☐ No

LATERAL DESIGN CONTROL:

☐ Earthquake ☐ Wind

SOIL BEARING CAPACITIES:

Field Test (provide copy of test report) \_\_\_\_\_ (psf)  
Presumptive Bearing Capacity \_\_\_\_\_ (psf)  
Pile Size, Type, and Capacity \_\_\_\_\_ (psf)

SOIL BEARING CAPACITIES: ☐ Yes ☐ No

2018 APPENDIX B  
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS  
MECHANICAL DESIGN  
(PROVIDE ON THE MECHANICAL SHEETS IF APPLICABLE)  
SEE MECHANICAL

ELECTRICAL SUMMARY  
MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT

Thermal Zone

winter dry bulb: \_\_\_\_\_  
summer dry bulb: \_\_\_\_\_

Interior Design Conditions

winter dry bulb: \_\_\_\_\_  
summer dry bulb: \_\_\_\_\_  
relative humidity: \_\_\_\_\_

Building heating load: \_\_\_\_\_

Building cooling load: \_\_\_\_\_

Mechanical Spacing Conditioning System

Unitary  
description of unit: \_\_\_\_\_  
heating efficiency: \_\_\_\_\_  
cooling efficiency: \_\_\_\_\_  
size category of unit: \_\_\_\_\_  
Boiler  
Size category. If oversized, state  
Chilled Water  
Size category. If oversized, state reason:  
List equipment efficiencies: \_\_\_\_\_

2018 APPENDIX B  
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS  
ELECTRICAL DESIGN  
(PROVIDE ON THE ELECTRICAL SHEETS IF APPLICABLE)  
SEE ELECTRICAL

ELECTRICAL SUMMARY  
ELECTRICAL SYSTEM AND EQUIPMENT

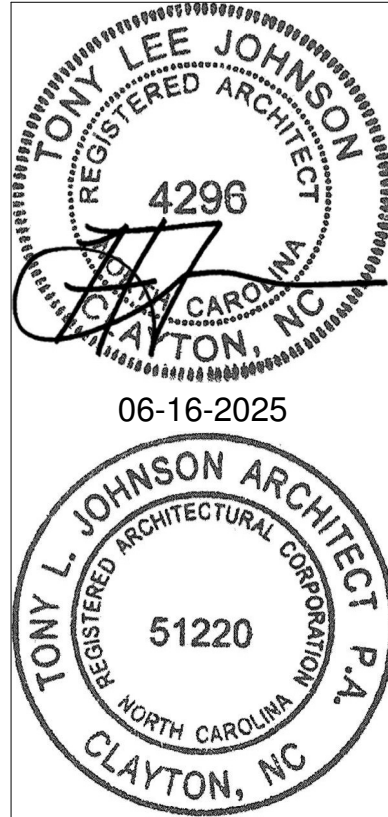
Method of Compliance:

Lighting schedule (each fixture type)

lamp type required in fixture; number of lamps in fixture; ballast type used in the fixture; number of ballast in fixture; total wattage per fixture; total interior wattage specified vs. allowed (whole building or space by space); total exterior wattage specified vs. allowed

Additional Efficiency Package Options  
(When using the 2018 NCECC; not required for ASHRAE 90.1)

- ☐ C406.2 More Efficient HVAC Equipment Performance  
☐ C406.3 Reduced Lighting Power Density  
☐ C406.4 Enhanced Digital Lighting Controls  
☐ C406.5 On-Site Renewable Energy  
☐ C406.6 Dedicated Outdoor Air System  
☐ C406.7 Reduced Energy Use in Service Water Heating



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ISSUE DATE: 06-16-2025  
REVISION:  
PROJECT #: 2024-085

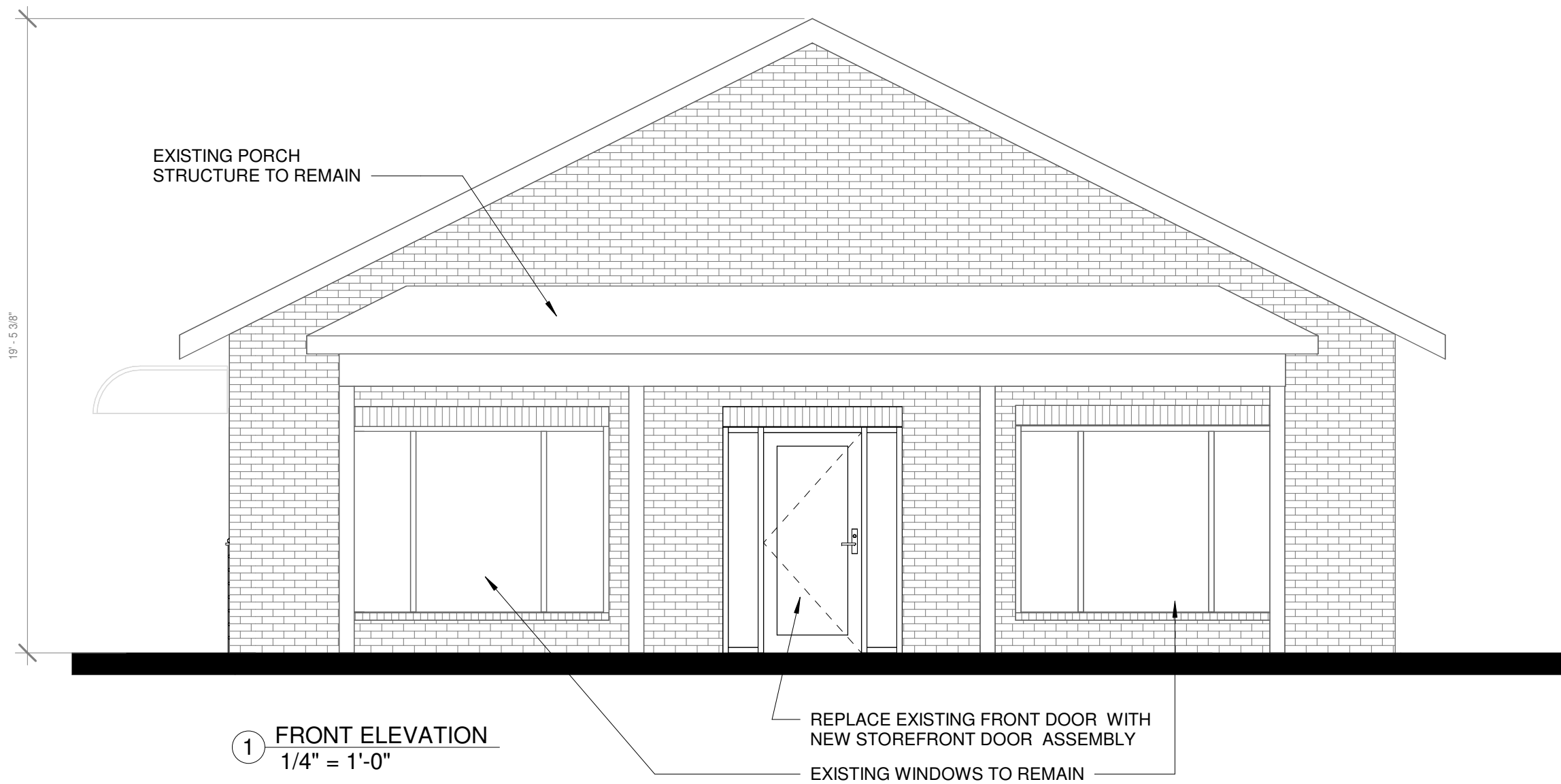
BUILDING CODE  
SUMMARY

SHEET

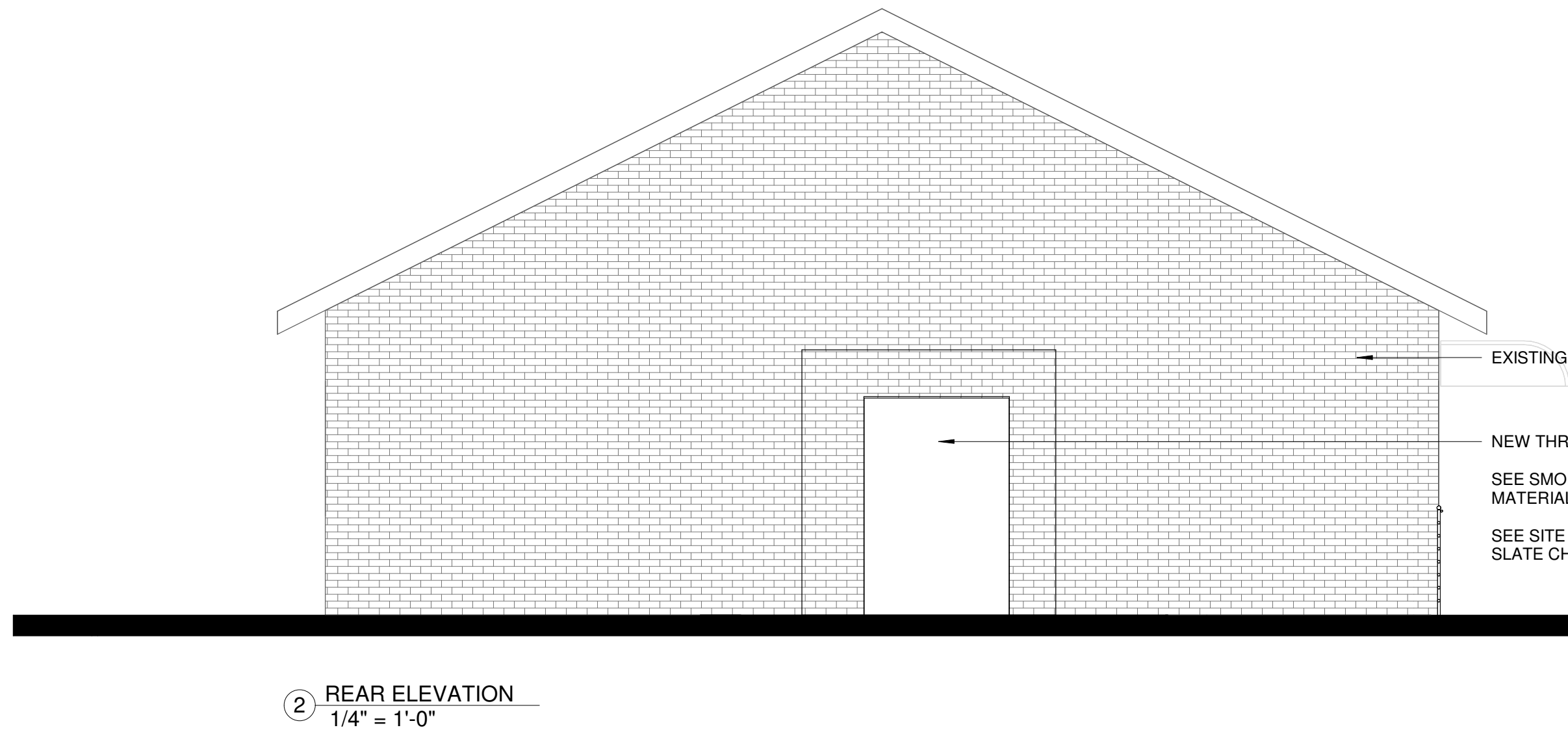
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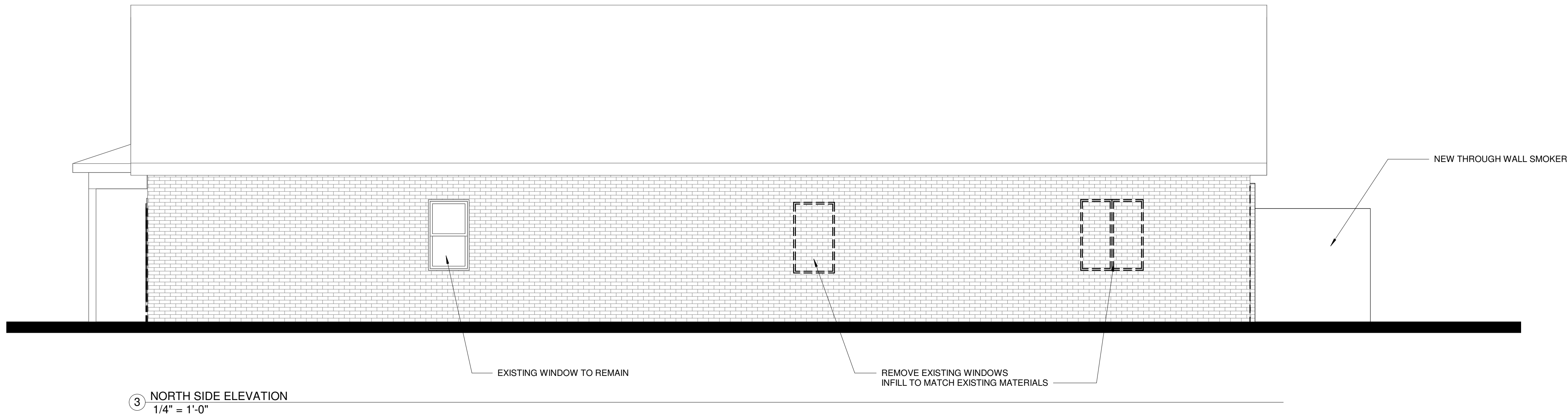




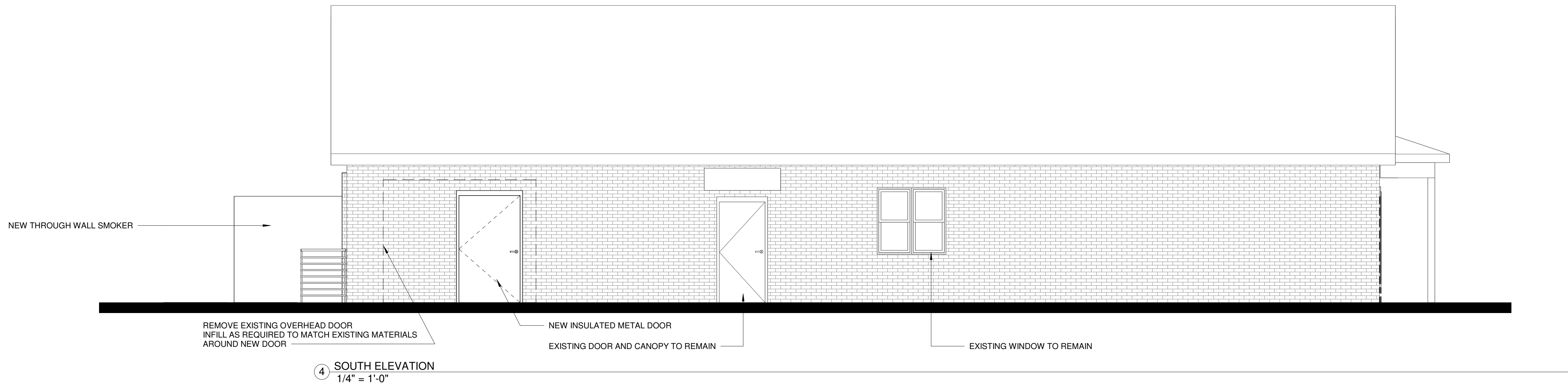
① FRONT ELEVATION  
1/4" = 1'-0"



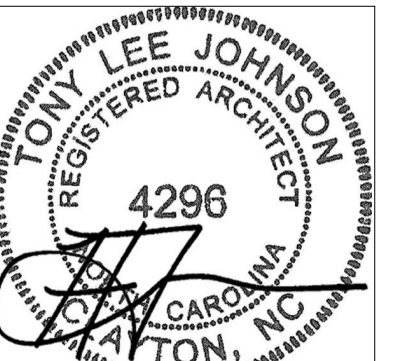
② REAR ELEVATION  
1/4" = 1'-0"



③ NORTH SIDE ELEVATION  
1/4" = 1'-0"



④ SOUTH ELEVATION  
1/4" = 1'-0"



06-16-2025



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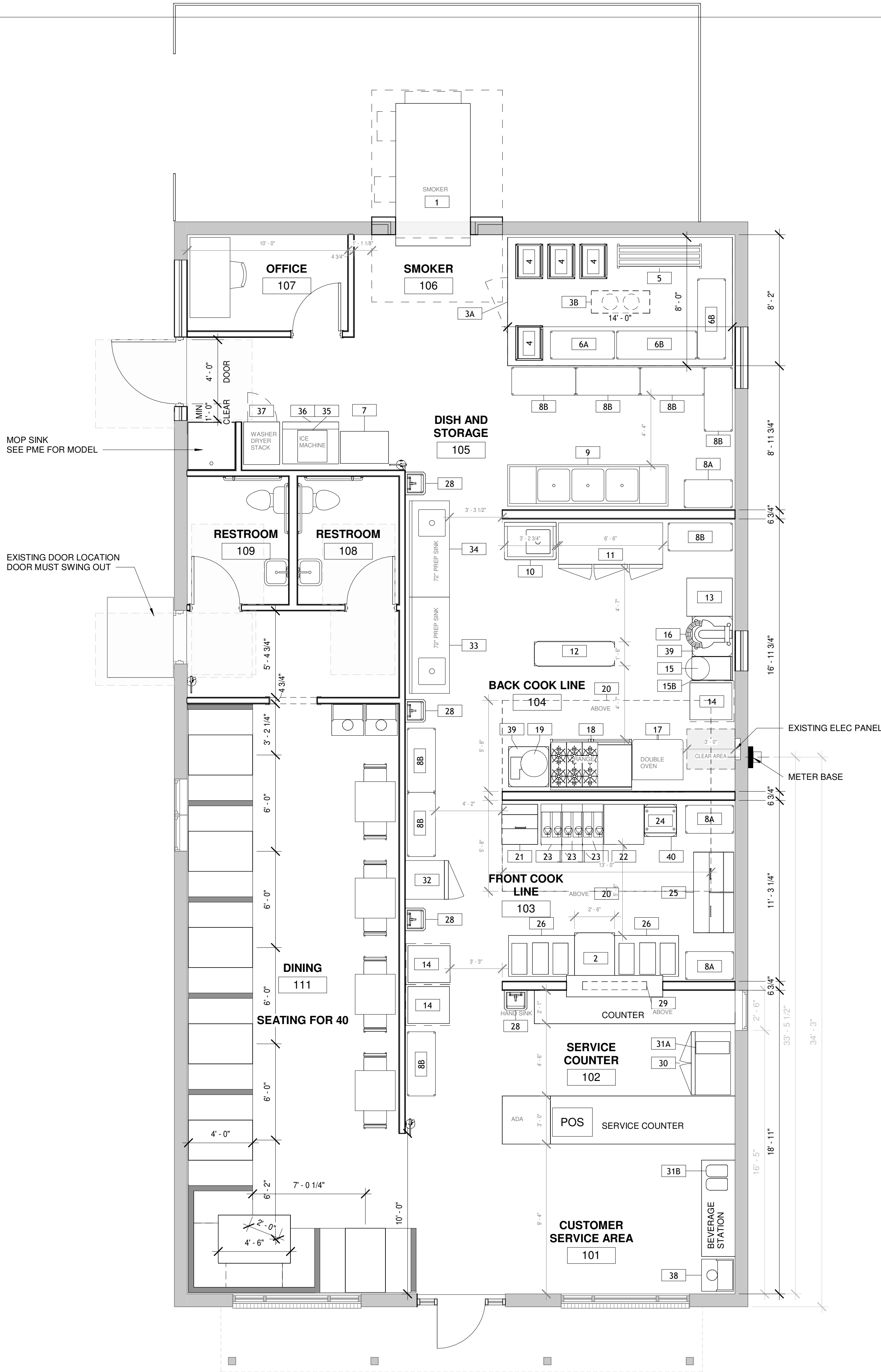
ISSUE DATE 06-16-2025  
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EXTERIOR  
ELEVATIONS

SHEET

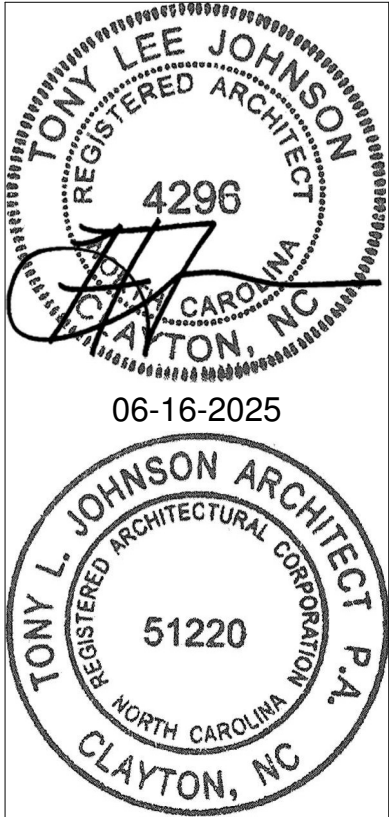
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1 EQUIPMENT PLAN  
1/4" = 1'-0"

EQUIPMENT SCHEDULE				
TAG	DESCRIPTION	MANUFACTURER	MODEL	COMMENTS
1	SMOKER	SOUTHERN PRIDE	XLR-1400-SL	THROUGH WALL INSTALLATION PER MANUFACTURER SPECIFICATIONS
2	STAINLESS STEEL WORK TABLE	REGENCY	600T3036G	
3A	8' X 14' WALK IN COOLER			VERIFY REQUIRED CLEARANCES AND PROVIDE ENCLOSURE ABOVE COOLER
3B	CONDENSING UNIT	KOLPAK	PC99MOP-2E	
4	SHEET PAN RACK	REGENCY	109APR1820L	
5	60" DUNNAGE RACK	REGENCY	600DUN24608	
6A	48" STAINLESS STEEL SHELVING UNIT	REGENCY	460SW2448K65	
6B	60" STAINLESS STEEL SHELVING UNIT	REGENCY	460SW2460K65	
7	BAG IN BOX			
8A	36" SHELVING UNIT	REGENCY	460EG2436K75	
8B	48" SHELVING UNIT	REGENCY	460EG2448K75	
9	3 COMPARTMENT SINK	ADVANCE TABCO	FC-3-2030-30RL	
10	ONE COMPARTMENT SINK	STEELTON	522CS11818LT	
11	3 DOOR FREEZER	BEVERAGE-AIR	HFP3HC-1S	
12	STAINLESS STEEL PREP TABLE ON WHEELS	REGENCY	600TB1860G	
13	CAN RACK	REGENCY	600CANRK162	
14	HOT HOLDING CABINET	METRO	C5 3 SERIES	VERIFY CONFIGURATION / MODEL NUMBER
15	BUFFALO CHOPPER	HOBART	84186	
15B	18" STAINLESS STEEL TABLE	REGENCY	600WT18X30BS	
16	PLANETARY MIXER	DOYON	SM200	
17	DOUBLE STACK CONVECTION OVEN	SOUTHBEND	GS25	VERIFY CONTROL TYPE / MODEL NUMBER
18	RANGE - DOUBLE OVEN WITH (6) BURNERS AND GRIDDLE	SOUTHBEND		VERIFY OVEN TYPE / MODEL NUMBER
19	STEAM KETTLE - 12 GALLON	CLEVELAND	KET-12-T	
20	HOOD	CAPTIVEAIRE		SEE DRAWINGS - PME
21	27" MEGA-TOP COOLER / PREP TABLE	TRUE	TSSU-27-12M-B-HC	
22	30" PREP TABLE	REGENCY	600T3030G	
23	FRYER - NATURAL GAS	AVANTCO	177FF40N	
24	ELECTRIC COUNTERTOP GRIDDLE	AVANTCO	177EG24N	VERIFY STAND
25	60" MEGA-TOP COOLER / PREP TABLE	TRUE	TSS60-24M-B-ST-HC	
26	3 WELL STEAM TABLE	ADVANCE TABCO	SW-3E-	VERIFY VOLTAGE / MODEL NUMBER
28	HAND SINK	REGENCY	600HS17	
29	48" STRIP WARMER	AVANTCO	177SW48INCPA	INSTALL AT PASS-THROUGH WINDOW
30	48" WORKTOP REFRIGERATOR	AVANTCO	178SSWT48RHC	
31A	TEA / COFFEE BREWER	CURTIS	CBS1000	
31B	TEA URN	CURTIS	TCO421A000	VERIFY DISPENSER SELECTION WITH OWNER
32	SINGLE DOOR FREEZER	AVANTCO	178SS1F2HC	VERIFY DOOR HANDING
33	72" PREP TABLE WITH SINK ON LEFT	REGENCY	60ST3072L	
34	72" PREP TABLE WITH SINK ON RIGHT	REGENCY	60ST3072R	
35	NUGGET ICE MACHINE	SCOTSMAN	NO422	
36	ICE STORAGE BIN	SCOTSMAN	BH801	
37	FRONT LOAD LAUNDRY TOWER	ELECTROLUX	ELTE7600	VERIFY COLOR
38	TRASH RECEPTACLE WITH TRAY SHELF			
39	30" X 30" EQUIPMENT STAND	REGENCY	600ES3030GK	
40	24" X 24" EQUIPMENT STAND	REGENCY	600ES2424G	PROVIDE CASTERS



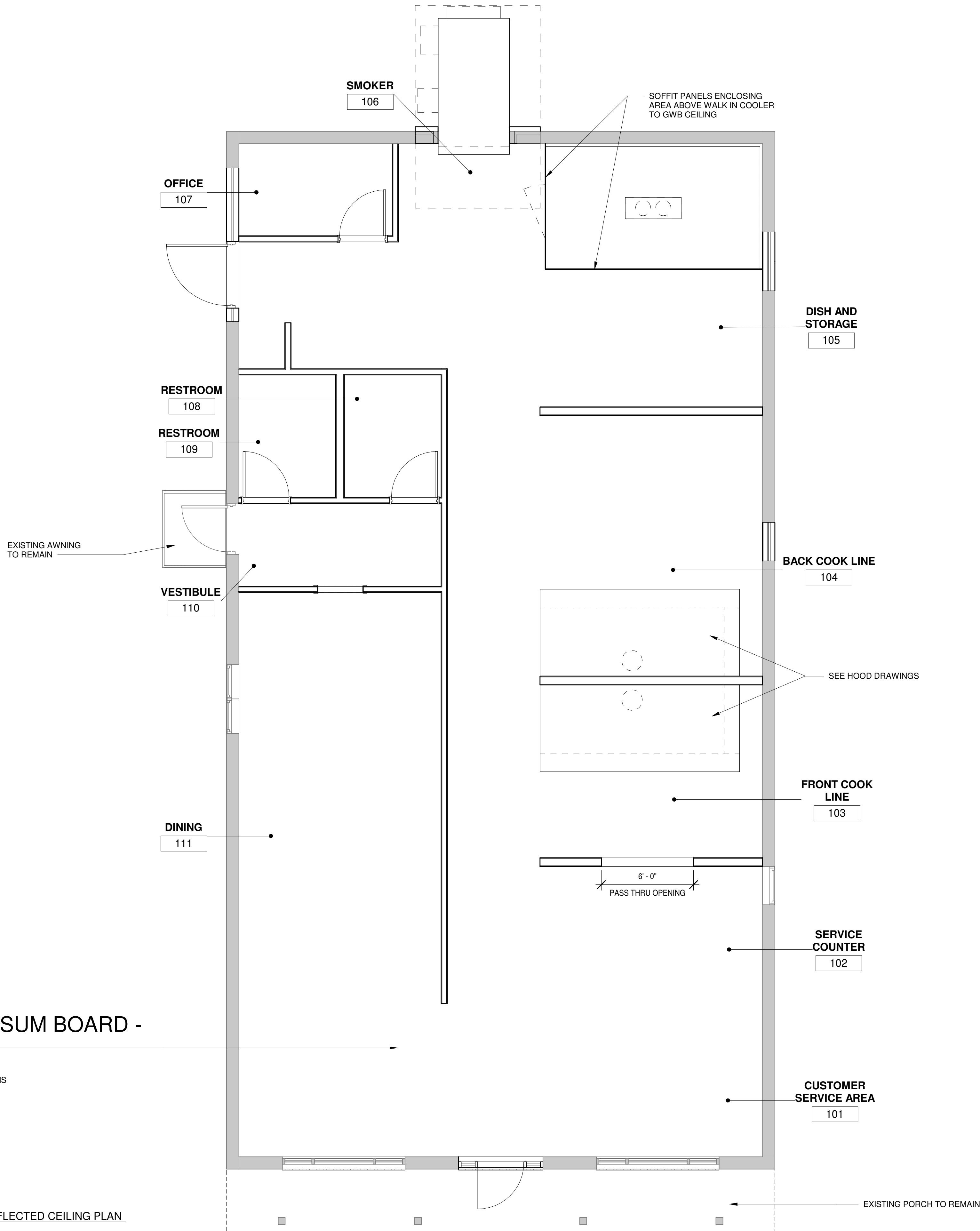
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ISSUE DATE	06-16-2025
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EQUIPMENT PLAN AND SCHEDULE	
SHEET	

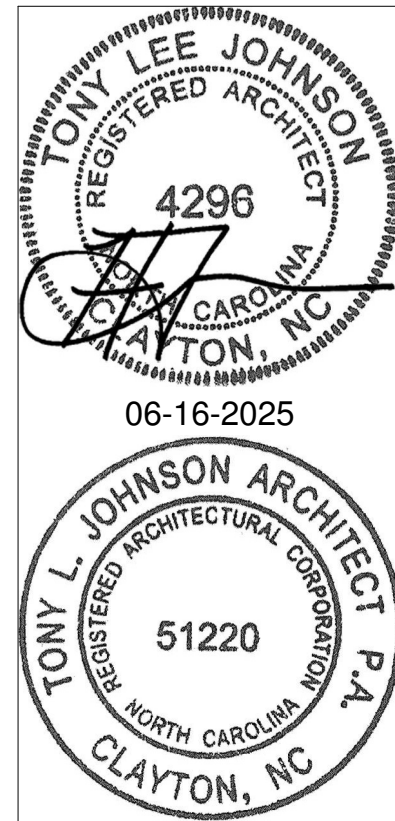
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PAINTED GYPSUM BOARD -  
TYPICAL

SEE PME FOR FIXTURE LOCATIONS

① FIRST FLOOR REFLECTED CEILING PLAN  
1/4" = 1'-0"



DADDY D's BBQ of  
ANGER  
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ISSUE DATE	06-16-2025
REVISION	
PROJECT #	2024-085
REFLECTED CEILING PLAN	

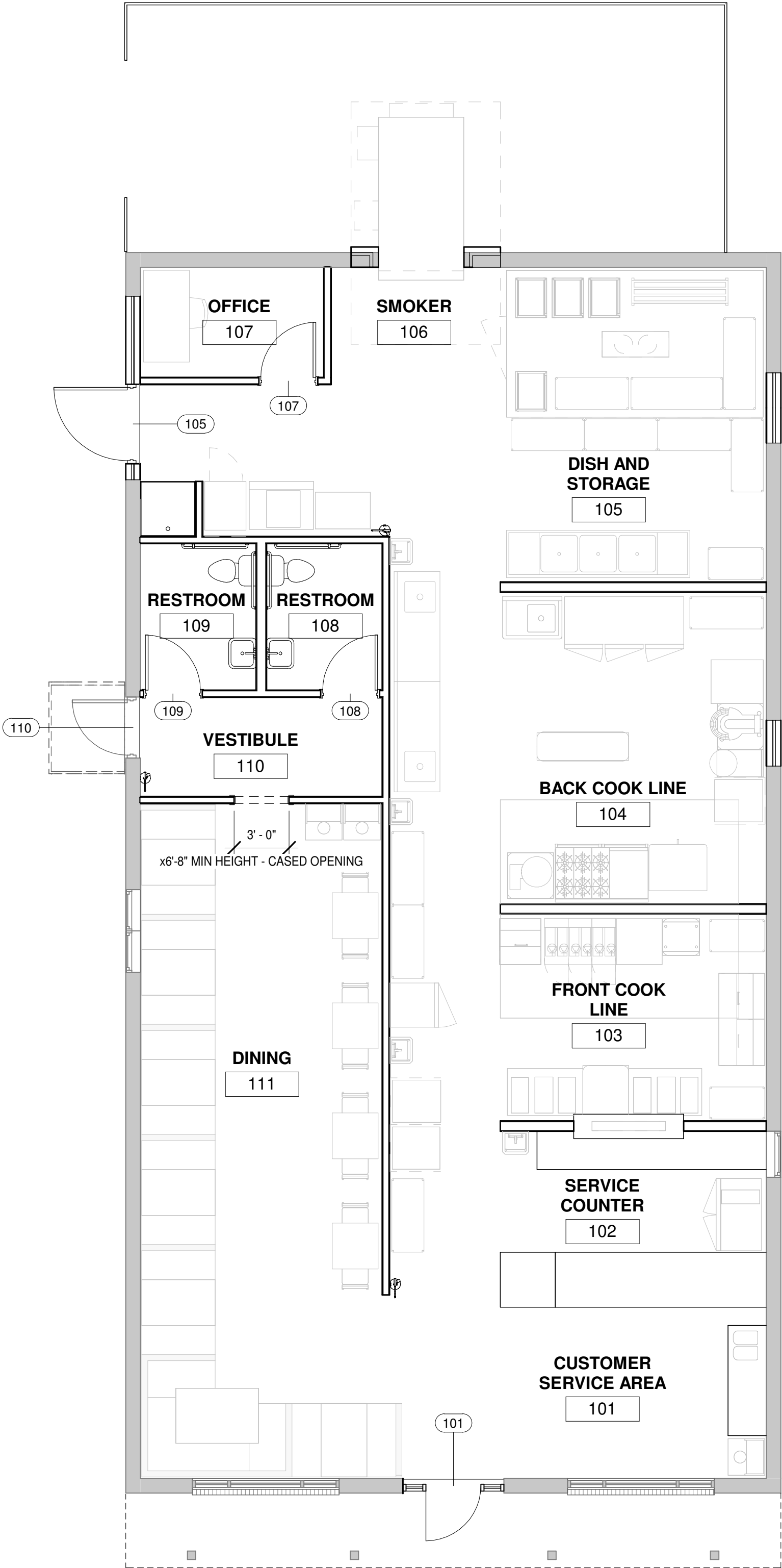
SHEET

A-2.3

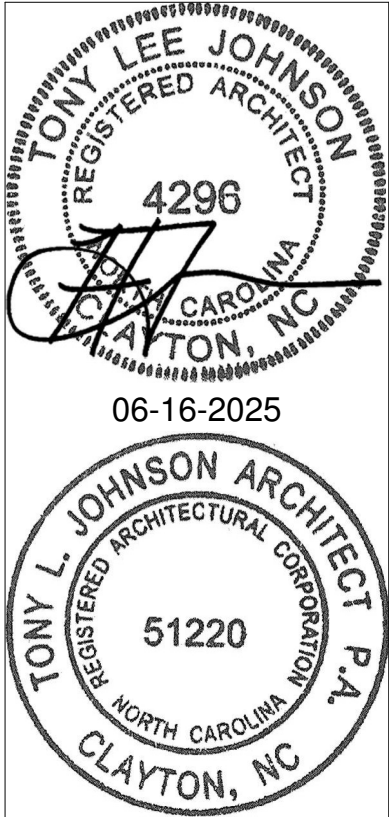


DOOR SCHEDULE										
NUMBER	WIDTH	HEIGHT	DOOR MATERIAL	DOOR FINISH	FRAME MATERIAL	FRAME FINISH	FIRE RATING	DOOR HARDWARE	CLOSER	COMMENTS
101	3' - 0"	6'-8" MIN					0			
105	4' - 0"	7' - 0"	INSULATED METAL	PAINT	STEEL	PAINT	0	LEVER ENTRANCE	YES	
107	3' - 0"	7' - 0"	SELECTION BY OWNER	PAINT	WOOD	PAINT	0	LEVER PRIVACY		
108	3' - 0"	7' - 0"	SELECTION BY OWNER	PAINT	WOOD	PAINT	0	LEVER PRIVACY	YES	
109	3' - 0"	7' - 0"	SELECTION BY OWNER	PAINT	WOOD	PAINT	0	LEVER PRIVACY	YES	
110	3' - 0"	6' - 7"	EXISTING	PAINT	EXISTING	PAINT	0	LEVER ENTRANCE	YES	EXISTING DOOR

FINISH SCHEDULE							
NUMBER	NAME	FLOOR	BASE	WALLS	CEILING	CEILING HEIGHT	COMMENTS
101	CUSTOMER SERVICE AREA	LVT	4" RUBBER	GYPUM BOARD -PAINTED	GYPSUM BOARD-PAINTED	EXISTING	
102	SERVICE COUNTER	EPOXY	EPOXY	FRP	GYPSUM BOARD-PAINTED	EXISTING	
103	FRONT COOK LINE	EPOXY	EPOXY	FRP	GYPSUM BOARD-PAINTED	EXISTING	
104	BACK COOK LINE	EPOXY	EPOXY	FRP	GYPSUM BOARD-PAINTED	EXISTING	
105	DISH AND STORAGE	EPOXY	EPOXY	FRP	GYPSUM BOARD-PAINTED	EXISTING	
106	SMOKER	EPOXY	EPOXY	FRP	GYPSUM BOARD-PAINTED	EXISTING	
107	OFFICE	LVT	4" RUBBER	GYPUM BOARD -PAINTED	GYPSUM BOARD-PAINTED	EXISTING	
108	RESTROOM	LVT	4" RUBBER	EPOXY PAINT	GYPSUM BOARD-PAINTED	EXISTING	
109	RESTROOM	LVT	4" RUBBER	EPOXY PAINT	GYPSUM BOARD-PAINTED	EXISTING	
110	VESTIBULE	LVT	4" RUBBER	GYPUM BOARD -PAINTED	GYPSUM BOARD-PAINTED	EXISTING	
111	DINING	LVT	4" RUBBER	GYPUM BOARD -PAINTED	GYPSUM BOARD-PAINTED	EXISTING	



1 FIRST FLOOR PLAN - DOOR AND FINSH  
3/16" = 1'-0"



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TONY JOHNSON  
ARCHITECTURE

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SHEET	
A-3.1	

ACCESSIBILITY  
SIGNAGE

RESTROOM ACCESSIBILITY SIGNS SHALL CONFORM TO ALL APPLICABLE ACCESSIBILITY STANDARDS

SIGNS TO BE ADHESIVE MOUNTED ON WALL ON LATCH SIDE OF DOOR / CENTER OF SIGN MOUNTED AT 60" AFF

PICTOGRAM (MALE/FEMALE) TO BE 6" MINIMUM HEIGHT (NOT INCLUDING ANY LETTERS/NUMBERS/BRILLE)

RAISED LETTERS/NUMBERS - 1" MINIMUM HEIGHT

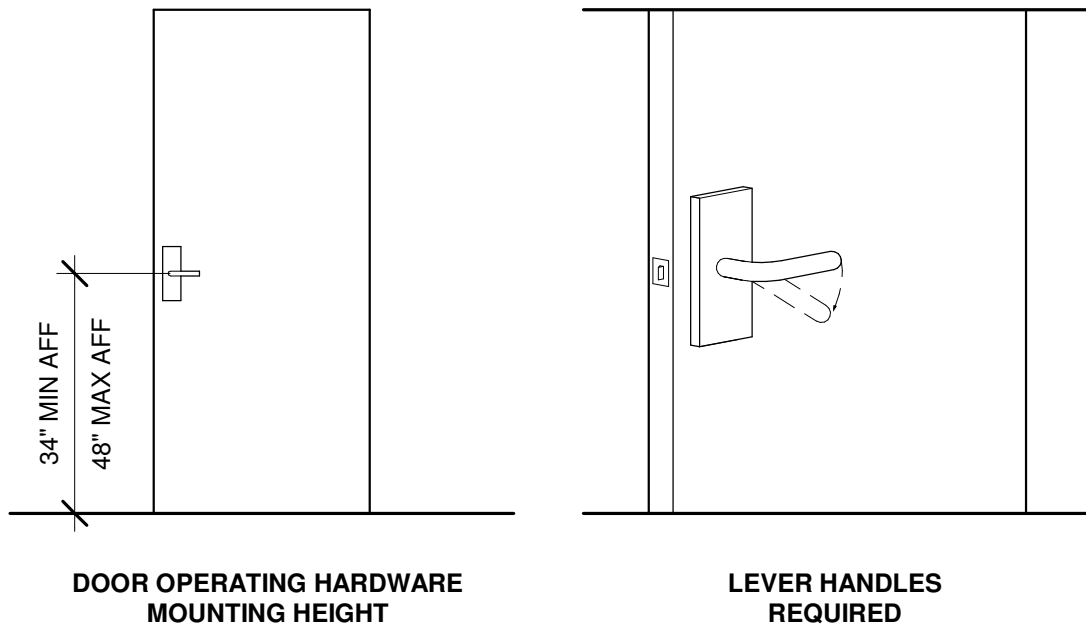
GRADE 2 BRAILLE REQUIRED



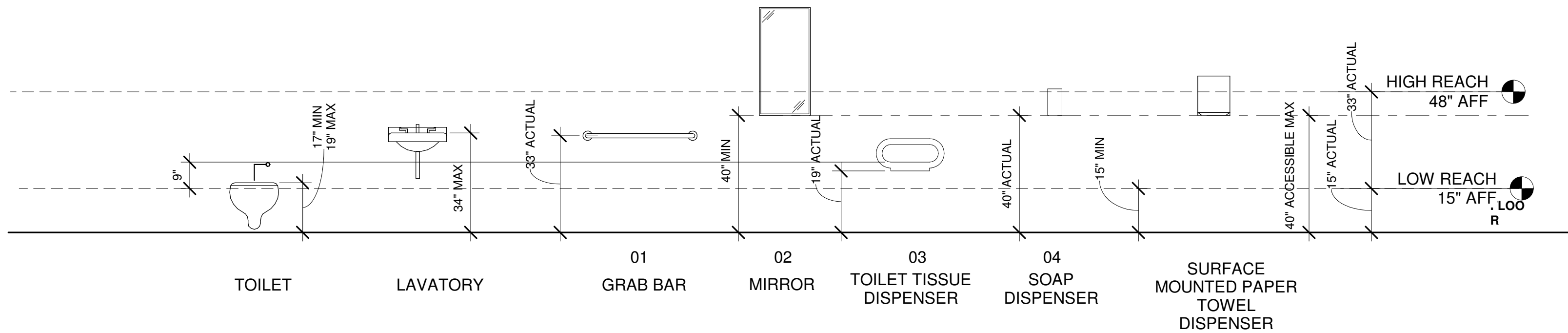
RESTROOM

MEN

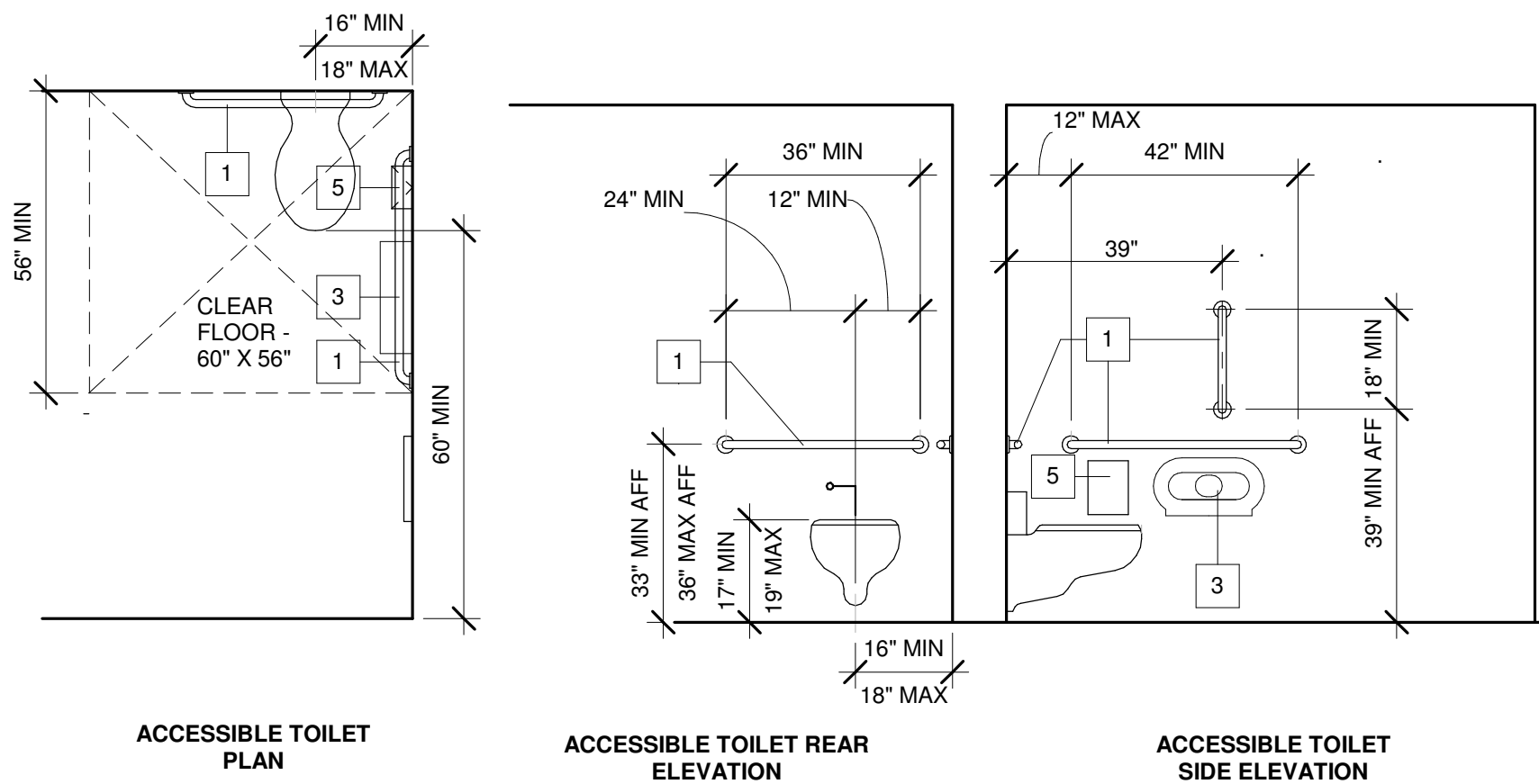
WOMEN



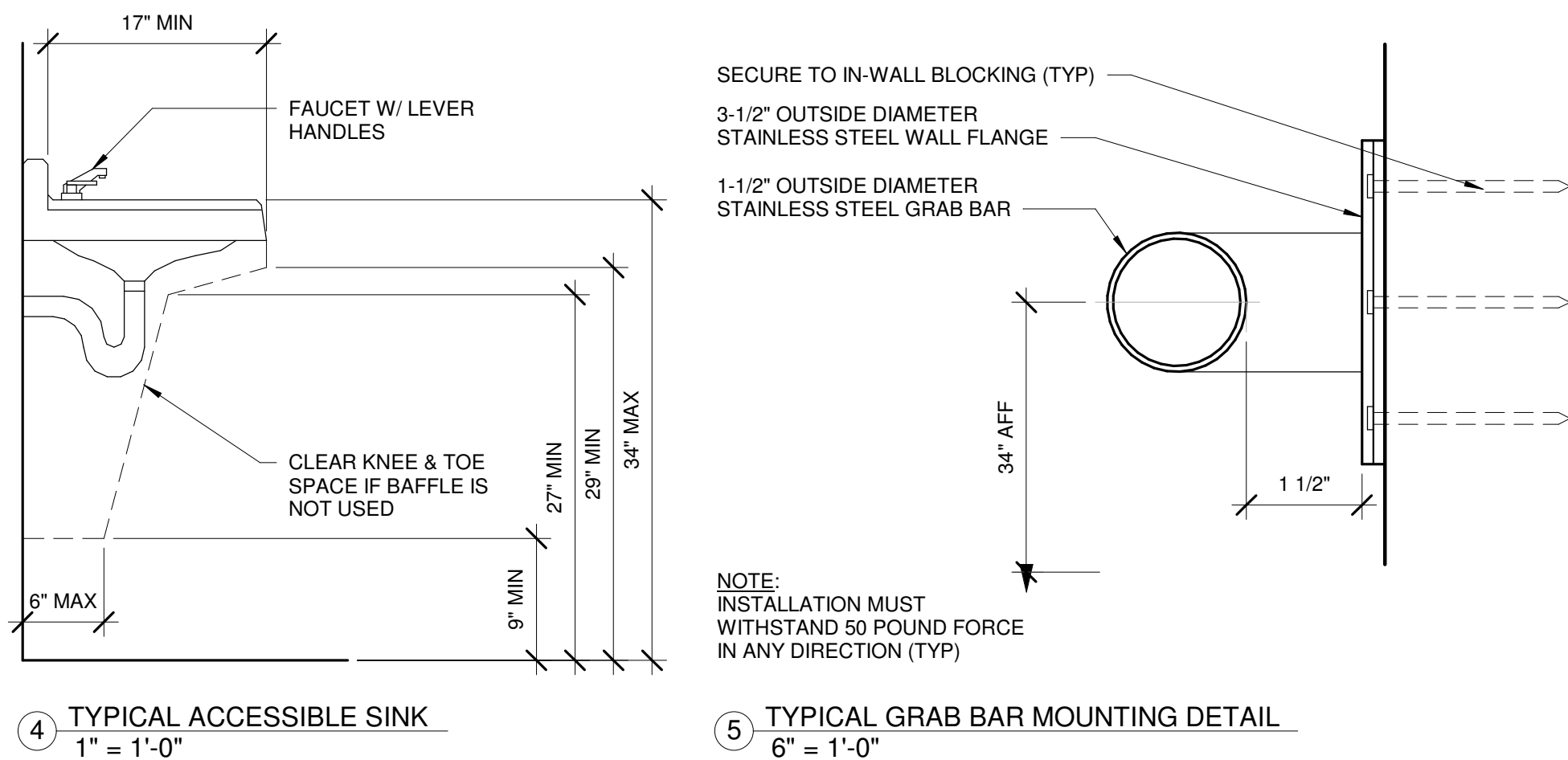
3 DOOR HARDWARE DETAIL  
3/8" = 1'-0"



TYPICAL MOUNTING HEIGHTS FOR RESTROOM ACCESSORIES

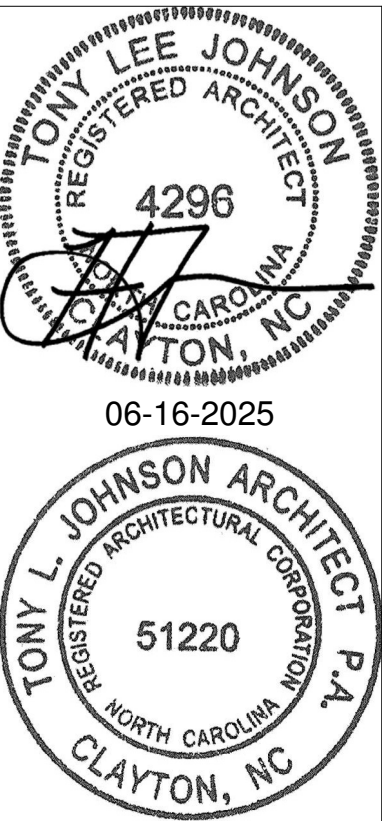
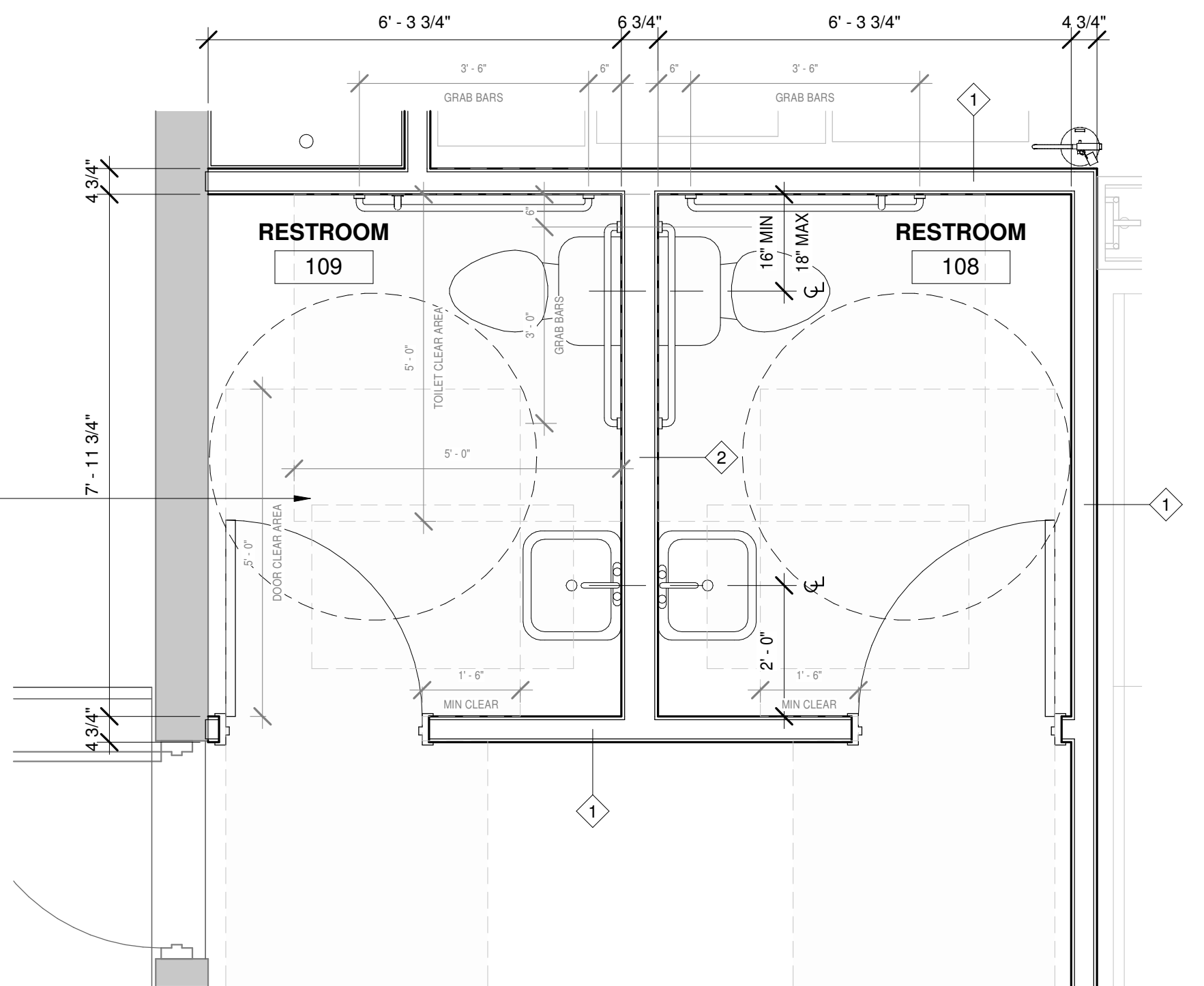


ACCESSIBLE TOILET PLAN / ELEVATIONS



PER A117.1 - 603.2.2 EXCEPTION 2,  
LAVATORY CLEAR AREA IS  
PROVIDED ELSEWHERE BEYOND  
ARC OF DOOR SWING IN SINGLE  
USER RESTROOM

SEE STANDARD ACCESSIBILITY DETAILS  
FOR TYPICAL MOUNTING HEIGHTS AND  
CLEARANCES OF RESTROOM FIXTURES  
AND ACCESSORIES



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A-4.1