

**SCHEDULE B PART II (from ALTA Survey)**

1. Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I - Requirements are met: SITE IS SUBJECT TO RESTRICTIONS-SEE DOCUMENTS BELOW (1)  
 2. Taxes or assessments for the year 2024, and subsequent years, not yet due or payable. (Parcels One & Two) NOT A SURVEY MATTER (2)  
 3. Covenants, conditions, restrictions, easements, and liens provided for in instrument(s) filed for record in Book 862, UNABLE TO PLOT, SEE DOCUMENT (3)  
 4. Covenants, conditions, restrictions, easements, and liens provided for in instrument(s) filed for record in Book 1168, page 681, and any related maps, plans, bylaws and other document(s) and amendment(s). (Parcel Two) PARCEL NOT EFFECTED (4)  
 5. Any right, easement, setback, interest, claim, encroachment, encumbrance, violation, variations or other adverse circumstance affecting the Title disclosed by plat(s) recorded in Plat Cabinet D, Slide 41-C. (Parcel One) SHOWN HEREON (5)  
 6. Any right, easement, setback, interest, claim, encroachment, encumbrance, violation, variations or other adverse circumstance affecting the Title disclosed by plat(s) recorded in Plat Cabinet F, Slide 626-C. (Parcel Two) SHOWN HEREON (6)  
 7. Any discrepancy, conflict, matters regarding access, shortage in area or boundary lines, encroachment, encumbrance, violation, variation, overlap, setback, easement or claims of easement, riparian right, and title to land within roads, ways, railroads, watercourses, burial grounds, marshes, dredged or filled areas or land below the mean highwater mark or within the bounds of any adjoining body of water, or other adverse circumstance affecting the Title that would be disclosed by a current inspection and accurate and complete land survey of the Land. (Parcels One & Two) SHOWN HEREON (7)  
 8. Rights of tenants in possession, as tenants only, under unrecorded leases. (Parcel Two) NOT A SURVEY MATTER (8)  
 9. Easement(s) to Carolina Power & Light Company recorded in Book 875, page 972 and in Book 1322, page 869. (Parcel One) BLANKET IN NATURE DB: 875 PG: 972 ; UNABLE TO PLOT DB: 1322 PG: 869 (9)  
 10. Memorandum of Action recorded in Book 2888, page 821, and corresponding Consent of Judgment in favor of the Department of Transportation recorded in Book 3112, page 538. (Parcel One) SHOWN HEREON (10)  
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**SURVEY NOTES (from ALTA Survey)**

1. SITE IS SUBJECT TO ALL EASEMENTS, R/W AND AGREEMENTS OF RECORD PRIOR TO THE DATE OF THE SURVEY.  
 2. ALL DISTANCES ARE HORIZONTAL GROUND, UNLESS OTHERWISE NOTED  
 3. ALL BEARINGS ARE GRID BEARINGS.  
 4. AREA COMPUTED BY COORDINATE GEOMETRY.  
 5. THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A ZONING LETTER. ALL INFORMATION SHOWN HEREON IS PER HARNETT COUNTY AND CITY OF LILLINGTON GIS.  
 6. SITE IS SUBJECT TO RESTRICTIONS AND COVENANTS, SEE SCHEDULE B PART II

**PROPERTY DESCRIPTION (from ALTA Survey)**

Property Description- Neils Creek Township -Harnett County, NC  
 Being all of the parcel, tract, or piece of property lying in the City of Lillington, Neils Creek Township, Harnett County, North Carolina. Said tract being derived from instruments recorded in Deed Book 3150, Page 150 and out to NC Department of Transportation, either now or formerly known as in instrument, Deed Book 3112 Page 538; it is described more particularly as the following,

Beginning at a ¾" iron pipe, said corner being located on the northern public right of way of W Cornelius Harnett Boulevard, said right of way either now or formerly known as on NCDOT Project 45222.2.1, R5185, said corner also having NC NAD 83/2011 coordinates of: Northing: 607319.00 Easting: 2058331.68, thence from the Point of Beginning along the right of way of Cornelius Harnett Boulevard for the following four bearings and distances: (I) South 59°26'31" East a distance of 189.79 feet to a new iron pipe, (II) North 89°51'01" East a distance of 58.89 feet to a new iron pipe, (III) North 62°44'06" East a distance of 39.62 feet to a new iron pipe, (IV) North 33°14'24" East a distance of 150.50 feet to a new iron pipe, said corner being the southern point of R and W Pizza Huts of NC P and Rash, either now or formerly known as in instrument recorded in Deed Book 862, Page 323, thence along the southern line of R and W Pizza Huts of NC P and Rash, North 59°26'05" West a distance of 269.76 feet to a ¾" iron pipe, said corner being located on the eastern line of Luhin Four Real Property LLC, either now or formerly known as in instrument recoded in Deed Book 3680, Page 981, thence along the eastern line of said tract for the following two bearings and distances: (I) South 30°09'44" West a distance of 173.39, (II) South 30°34'20" West a distance of 40.59 feet to a ¾" iron pipe, said point being the place and point of beginning.  
 The meets and bounds description above contains 1.259 Acres +/- and is being derived from a survey by Sgroi Geomatics, PLLC. Completed on 1/31/2024

**UTILITY NOTES (from ALTA Survey)**

Location of underground utilities shown are from an investigation of above ground structures and by determination by subsurface electronic utility detection. Utility companies will not provide surveyor or the public with as-built or location maps of current installed utilities. Utilities shown on the survey are for informational purposes and may not show all utilities. Surveyor is not responsible for underground utilities. Call 811 before digging.



**PROJECT CONTACTS:**

<b>STREET &amp; HIGHWAY DATA</b> TRAVIS SALAZAR NCDOT Tel.#: 910-364-0601	<b>HEALTH</b> JEFF JONES NORTH CAROLINA DEPT. OF HEALTH & HUMAN SERVICES Tel.#: 919-707-5863	<b>GAS</b> MARCUS THOMPSON PIEDMONT NATURAL GAS (DUKE ENERGY) Tel.#: 919-920-0257
<b>ZONING &amp; SIGNAGE</b> LONDON CHANDLER TOWN OF LILLINGTON Tel.#: 910-893-0316	<b>SANITARY SEWER &amp; STORM SEWER</b> SHANE CUMMINGS TOWN OF LILLINGTON Tel.#: 910-893-0314	<b>ELECTRIC</b> CRAIG ARGO DUKE ENERGY Tel.#: 980-521-8076
<b>BUILDING / ENGINEERING</b> JOSHUA PERRY TOWN OF LILLINGTON Tel.#: 910-983-0311	<b>WATER</b> KENNY KEEL HARNETT COUNTY Tel.#: 910-893-7575 Ext. 6477	<b>TELEPHONE</b> TBD
<b>FIRE</b> ROGER SULLIVAN HARNETT COUNTY Tel.#: 910-893-0747		

# Project Address:

## 102 W. Cornelius Harnett Blvd. Lillington, North Carolina Tax Parcel #: 0650-87-4384

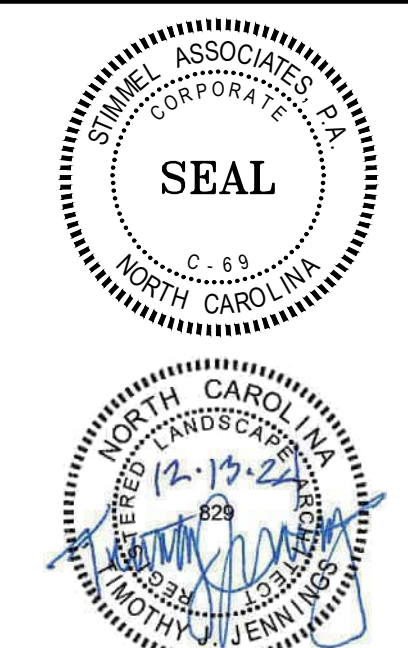
### McDONALDS LOCATION CODE: 32-0312

### SAPA PROJECT NUMBER: 23-233

1st. ISSUE  
12.13.24

INDEX TO DRAWINGS	
No.	DRAWING DESCRIPTION
C-0	COVER SHEET
C-1	ALTA / ACSM LAND TITLE SURVEY
C-2	EXISTING CONDITIONS / DEMOLITION PLAN
C-3	SITE LAYOUT PLAN
C-4	ADA ACCESSIBILITY PLAN
C-5.0	EROSION CONTROL PLAN
C-5.1	GRADING / FINAL EROSION CONTROL PLAN
C-6	SITE UTILITY PLAN
C-7	SITE DETAILS
C-8.0	EROSION CONTROL DETAILS
C-8.1	NCG01 DETAILS
C-8.2	NCG01 DETAILS
C-9	UTILITY DETAILS
L-1	LANDSCAPE PLAN
L-2	SITE LIGHTING PLAN BY SECURITY LIGHTING

<b>IMPERVIOUS CALCULATIONS:</b>		<b>VICINITY MAP - n.t.s.</b>																											
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CONTRACTOR TO REFER TO SOILS REPORT FOR SITE SPECIFIC PAVEMENT SPECS.																													
NOTE: McDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION. TESTS WILL BE AT THE EXPENSE OF McDONALD'S. OTHERWISE, GENERAL CONTRACTOR WILL BE CHARGED.																													
<b>PARKING INFORMATION</b>																													
TOTAL SPACES	2 - HC SPACES = 8.0' x 20.0' @ 90°																												
42	18 SPACES = 9.0' x 20.0' @ 90°																												
	20 SPACES = 9.0' x 21.0' @ 60°																												
	2 SPACES = 9.0' x 20.0' @ 0°																												
<b>UTILITY INFORMATION</b>																													
	SIZE	TYPE	LOCATION																										
WATER	Ex. WATER SERVICE FROM N. MAIN STREET TO EX. BUILDING.																												
SANITARY SEWER	Ex. SANITARY SEWER MANHOLE ON SITE NEAR THE SOUTH CORNER. Ex. 4" PVC SEWER FROM BUILDING TO THE MANHOLE Ex. 8" SEWER LINE FROM OFF-SITE EAST CORNER OF SITE TO MANHOLE Ex. 8" SEWER LINE FROM MANHOLE RUNS TO THE WEST THEN OFF-SITE.																												
STORM	Ex. 18" RCP RUNS FROM EX. CATCH BASIN AT WEST CORNER OF SITE ACROSS ENTRANCE DRIVE TO ANOTHER EX. CATCH BASIN. Ex. 18" RCP RUNS FROM CATCH BASIN TO EX. CATCH BASIN AT EDGE OF W. CORNELIUS HARNETT BLVD. Ex. CATCH BASIN AT SOUTH CORNER OF SITE WITH PIPE TO EX. 18" RCP THAT RUNS OFF-SITE ALONG THE SOUTH SIDE.																												
GAS	Ex. GAS LINES RUN ALONG W. CORNELIUS HARNETT BLVD. AND NORTH MAIN STREET.																												
ELECTRIC	Ex. OVERHEAD POWER RUNS ACROSS SOUTH END OF SITE. Ex. UNDERGROUND POWER LINES RUN ACROSS SEVERAL AREAS OF PROPERTY TO BUILDING LIGHTS, ETC.																												
TELEPHONE	Ex. TELEPHONE LINES RUN ALONG W. CORNELIUS HARNETT BLVD., NORTH MAIN STREET AND ALONG REAR PROPERTY LINE WITH SERVICE LINE TO REAR OF EX. BUILDING.																												
<b>BASE MAP INFORMATION</b>																													
BASED ON:		SURVEY by: SGROI GEOMATICS, PLLC 1405-A NC 66 KERNERSVILLE, NC 27284 Dated: 01-30-24 / Last Revised: 02-12-24																											
PLAN SCALE: As Noted																													
STREET ADDRESS 102 W. CORNELIUS HARNETT BLVD.																													
CITY LILLINGTON		STATE NORTH CAROLINA																											
COUNTY HARNETT																													
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STATUS		DATE	BY																										
FINAL		12-13-24	JKB																										
PLAN CHECKED		12-13-24	JAL																										
SAPA PROJECT #		23-233																											
<b>C-0 COVER SHEET</b>																													



REV	DATE	DESCRIPTION



**SURVEYOR'S ALTA CERTIFICATE**

To: McDonald's Real Estate Company, a Delaware Corporation  
TITLE PROVIDED BY: CHICAGO TITLE INSURANCE COMPANY  
COMMITMENT NUMBER: 24-00678RA

Table a thereof."

"This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA / NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items: 1-7, 9, 10, 11 (a) (b), 13, 16, 17, 18, 19

The field work was completed on 1/29/2024

Date of Map: 1/31/2024

Executed this \_\_\_\_\_ day of \_\_\_\_\_, 2024

Samuel S. Sgroi  
Registration No. L-5478

**PRELIMINARY DRAFT**  
THE INFORMATION SHOWN HEREON IS SUBJECT TO CHANGE AND ADDITIONAL REVISIONS NOT FOR SALES, RECORDING OR CONVEYANCE.

1405-A NC 66,  
Kernersville, N.C.  
27284

Signature

**ZONING INFORMATION**

**GENERAL BUSINESS DISTRICT**

GB - GENERAL BUSINESS DISTRICT  
The GB District is designed to accommodate highway-oriented retail, commercial service uses and in some cases light manufacturing. The major objectives of this district are to:  
A. To encourage the construction of and the continued use of the land for commercial and service uses, particularly those which have a larger land area requirement;  
B. To provide for the orderly expansion of such uses within this district, as designated on the zoning map;  
C. To discourage the continuance of existing non-conforming uses that would not be permitted as uses under the provision of this district;  
D. Discourage small lot development on major highways;  
E. Encourage vehicular access from service drives and other local commercial streets rather than directly from arterial streets; and  
F. Provide a location for major shopping facilities and land uses requiring large outdoor spaces.

**SCHEDULE B PART II**

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**NC GRID TIE**

I, Samuel S. Sgroi, certify that this map was drawn under my supervision from an actual GPS (or GNSS) survey made under my supervision and the following information was used to perform the survey:  
Class of survey: Class A  
Positional accuracy: 0.10'  
Type of GPS (or GNSS) field procedure: NC VRS/RTK  
Date(s) of survey: 1/2/23  
Datum/Epoch: NAD 83 (2011)  
Published/fixed control: NC VRS  
Geoid model: (18)  
Combined grid factor: 0.99988200391533  
Units: U.S. Feet



**SURVEYOR'S NOTES:**

- 1. SITE IS SUBJECT TO ALL EASEMENTS, R/W AND AGREEMENTS OF RECORD PRIOR TO THE DATE OF THE SURVEY.
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**SETBACK INFORMATION**

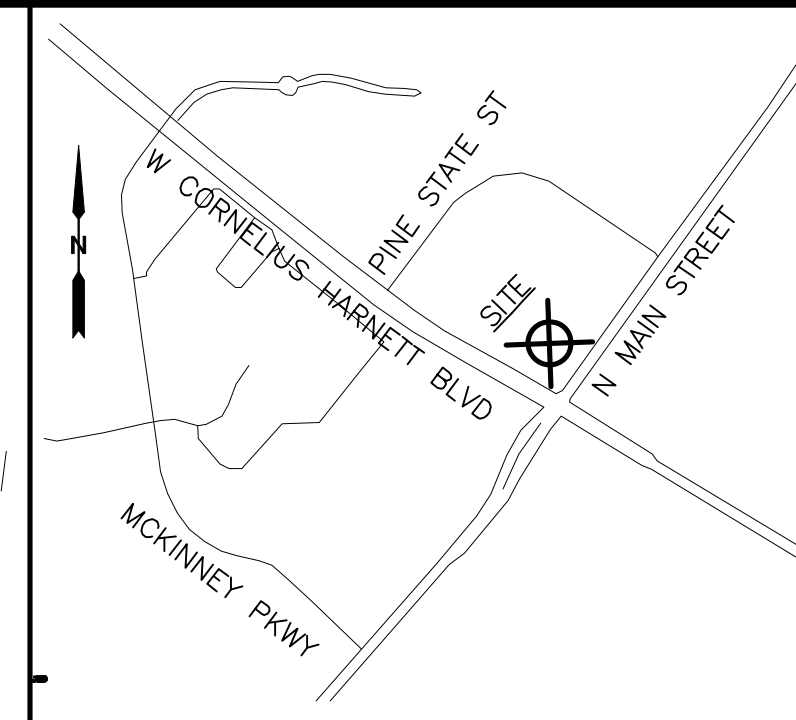
MAX HEIGHT	MIN. LOT SIZE	MIN. LOT WIDTH	MAX. DENSITY	FRONT	SIDE	STREET	REAR
*4 stories	20,000sf	100ft.	N/A	30ft	10ft	20ft	20ft.

**PARKING DATA**

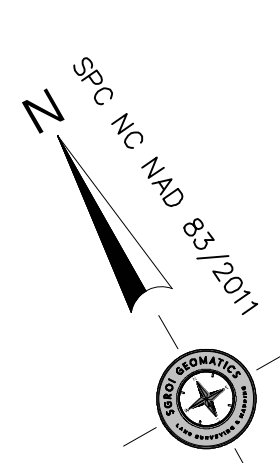
70 TOTAL PARKING SPACES  
3 HANDICAP SPACES

**SITE REFERENCES**

0650-87-4384  
MCDONALD'S REAL ESTATE COMPANY  
AND C/O THOMAS HAYNIE  
102 W CORNELIUS HARNETT BLVD  
DB: 3150 PG: 150  
54838 Sq. Feet +/-  
1.259 Acres +/-  
RIGHT OF WAY TAKEN  
BY FEE SIMPLE  
PROJECT 45222.2.1  
(R-5185)  
DB: 2888 PG: 821  
DB: 3112 PG: 538



**VICINITY MAP**



**LEGEND**

- MANHOLE DRAINAGE
- HANDICAP SYMBOL
- ELECTRICAL BOX
- EXISTING IRON PIPE
- STORM INLET
- POLE
- NEW IRON PIPE
- TRANSFORMER
- BOLLARD
- BACK FLOW PREVENTER
- LIGHT POLE
- TREE
- SIGN
- CATCH BASIN
- GAS VALVE
- CLEAN OUT
- ELECTRICAL BOX
- FINISHED FLOOR
- MANHOLE
- WATER METER
- GUY WIRE
- MANHOLE SEWER
- TELEPHONE PEDESTAL
- REBAR
- POWER POLE
- OVERHEAD WIRE
- GAS LINE
- EASEMENT
- FENCE
- ADJOINING PROPERTY
- STORM SEWER
- WATER LINE
- ELECTRIC LINE
- BUILDING LINE
- TELEPHONE LINE
- RIGHT OF WAY
- SETBACK
- SANITARY SEWER
- TEMPORARY CONSTRUCTION EASEMENT

**TEXT LEGEND**

- I.P.S. = IRON PIPE SET
- CONC. = CONCRETE
- DB = DEED BOOK
- INV. = INVERT
- APPROX. = APPROXIMATE
- S.P.C. = STATE PLANE COORDINATES
- N.A.D. = NORTH AMERICAN DATUM
- P.B. = PLAT BOOK
- R.O.W. = RIGHT-OF-WAY
- MON. WELL = MONITORING WELL
- EIP = EXISTING IRON PIPE
- PG = PAGE
- CP.S. = CALCULATED POINT
- P.K.S. = NAIL SET

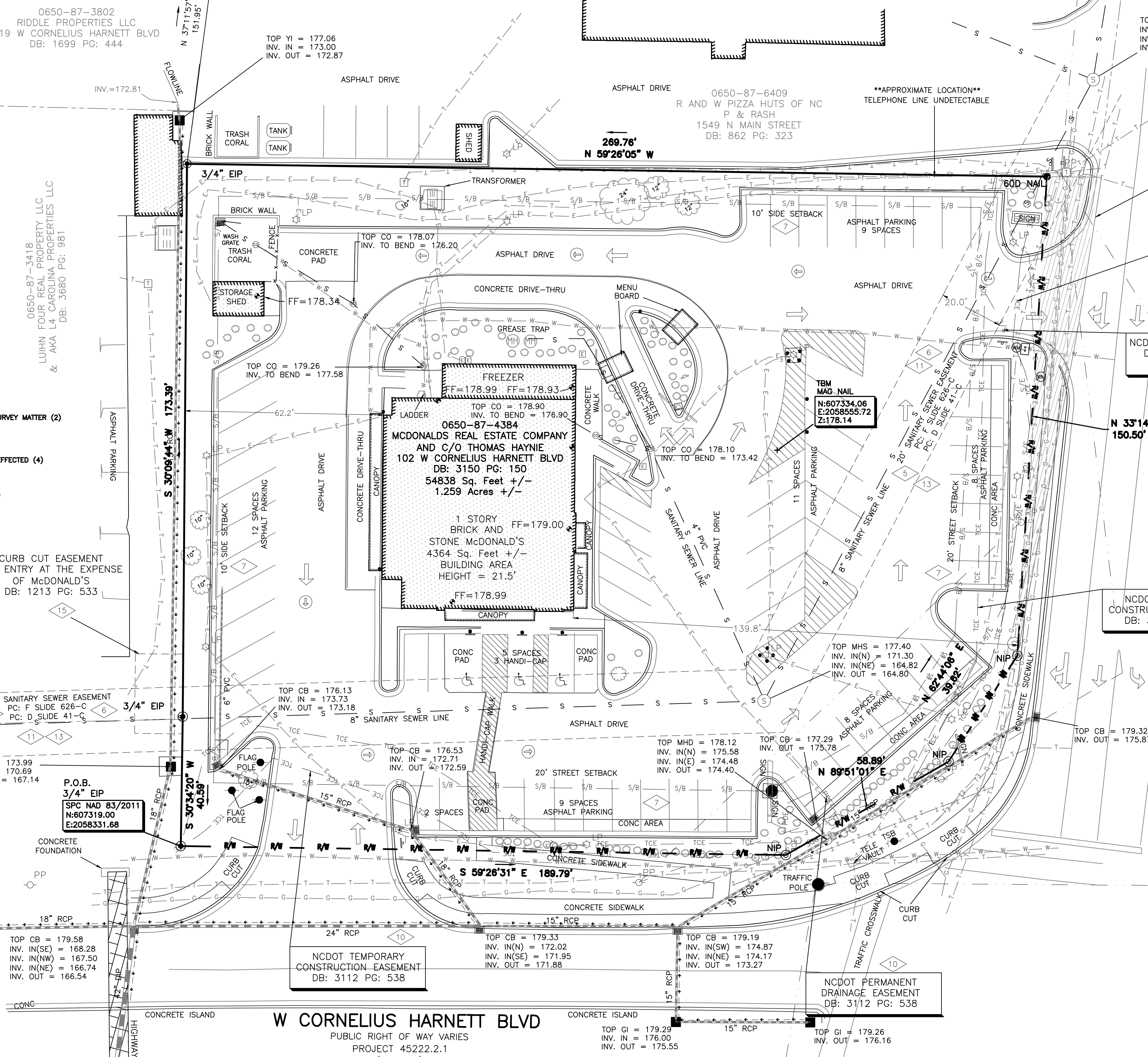
**UTILITY NOTES**

Location of underground utilities shown are from an investigation of above ground structures and by determination by subsurface electronic utility detection. Utility companies will not provide surveyor or the public with as-built or location maps of current installed utilities. Utilities shown on the survey are for informational purposes and may not show all utilities. Surveyor is not responsible for underground utilities. Call 811 before digging.

**PROPERTY DESCRIPTION**

Property Description - Neils Creek Township - Harnett County, NC  
Being all of the parcel, tract, or piece of property in the City of Lillington, Neils Creek Township, Harnett County, North Carolina. Said tract being derived from instruments recorded in Deed Book 3150, Page 150 and out to NC Department of Transportation, either now or formerly known as in instrument, Deed Book 3112 Page 538; it is described more particularly as the following,

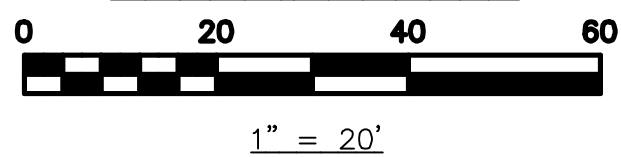
Beginning at a 3/4" iron pipe, said corner being located on the northern public right of way of W Cornelius Harnett Boulevard, said right of way either now or formerly known as NCDOT Project 45222.2.1, R5185, said corner also having NC NAD 83/2011 coordinates of: Northing: 607319.00 Easting: 2058331.68, thence from the Point of Beginning along the right of way of Cornelius Harnett Boulevard for the following four bearings and distances: (I) South 59°26'31" East a distance of 189.79 feet to a new iron pipe, (II) North 89°51'01" East a distance of 58.89 feet to a new iron pipe, (III) North 62°44'06" East a distance of 39.62 feet to a new iron pipe, (IV) North 33°14'24" East a distance of 150.50 feet to a new iron pipe, said corner being the southern point of R and W Pizza Huts of NC P & Rash, either now or formerly known as in instrument recorded in Deed Book 862, Page 323, thence along the southern line of R and W Pizza Huts of NC P & Rash, North 59°26'05" West a distance of 269.76 feet to a 3/4" iron pipe, said corner being located on the eastern line of Luhn Four Real Property LLC, either now or formerly known as in instrument recorded in Deed Book 3680, Page 981, thence along the eastern line of said tract for the following two bearings and distances: (I) South 30°09'44" West a distance of 173.39, (II) South 30°34'20" West a distance of 40.59 feet to a 3/4" iron pipe, said point being the place and point of beginning.  
The meets and bounds description above contains 1.259 Acres +/- and is being derived from a survey by Sgroi Geomatics, PLLC. Completed on 1/31/2024



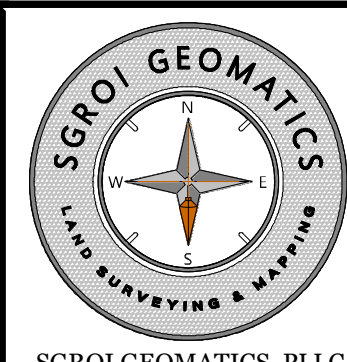
**FLOOD CERTIFICATE**

SUBJECT PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AS SHOWN ON MAPS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION, MAP NUMBER: 372006400J, PANEL EFFECTIVE DATE: 10/3/2006 (ZONE X)

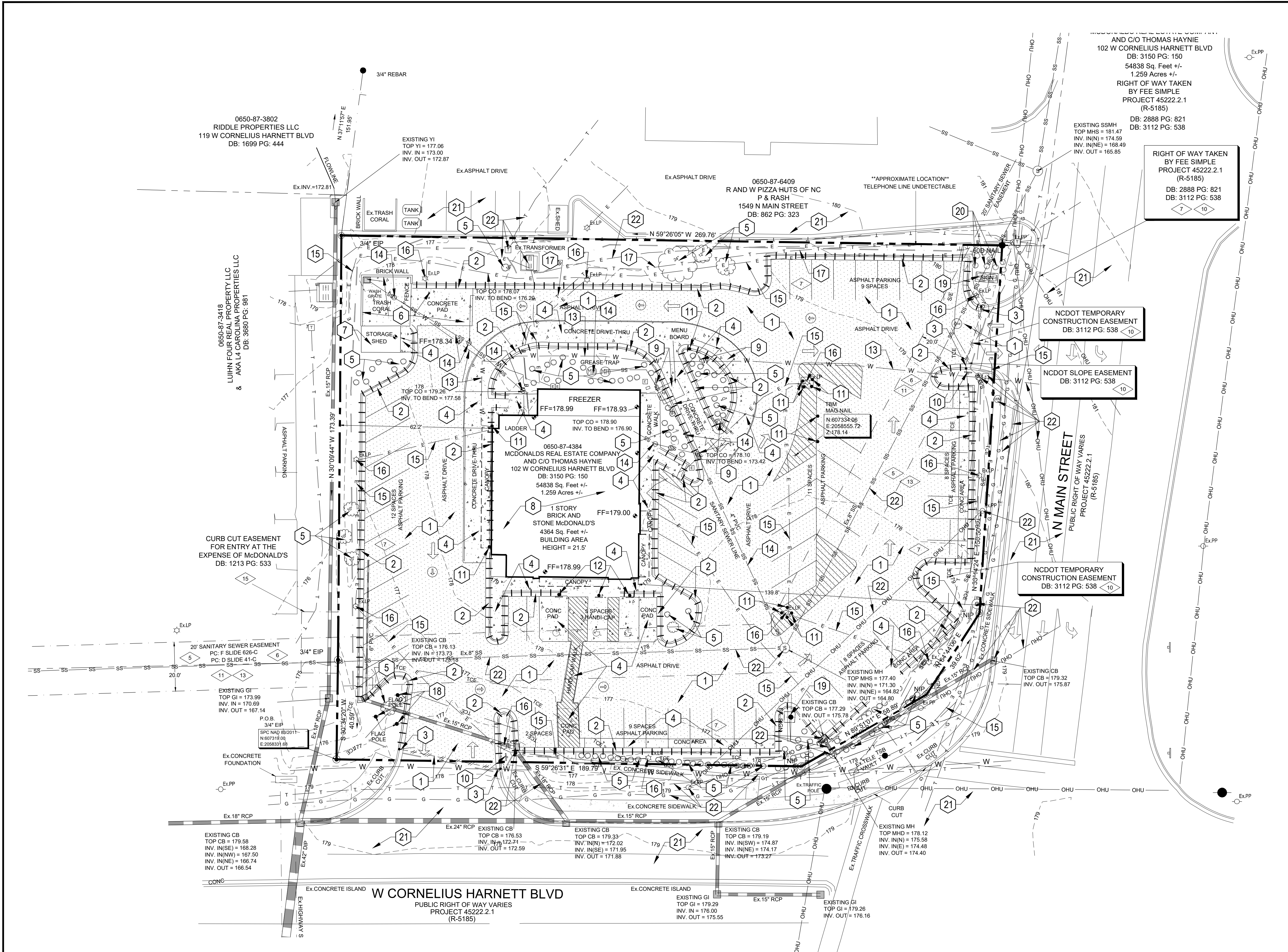
**GRAPHIC SCALE**



ALTA/NSPS LAND TILE SURVEY FOR:  
**LILLINGTON MCDONALD'S**  
1417 GLENWOOD AVENUE  
CITY OF LILLINGTON  
NEILS CREEK TOWNSHIP  
HARNETT COUNTY, NORTH CAROLINA



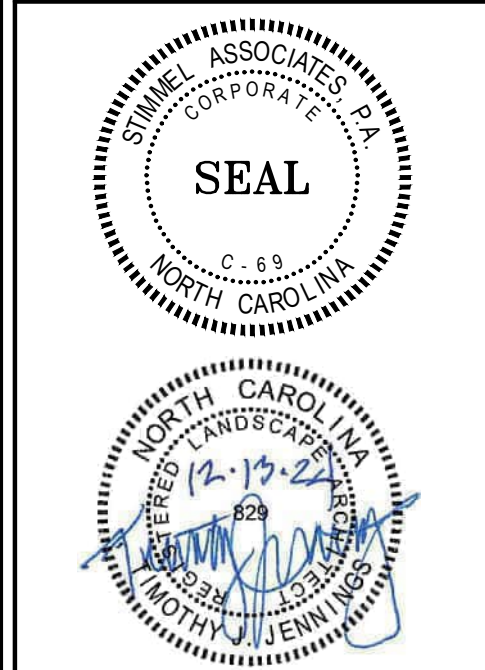
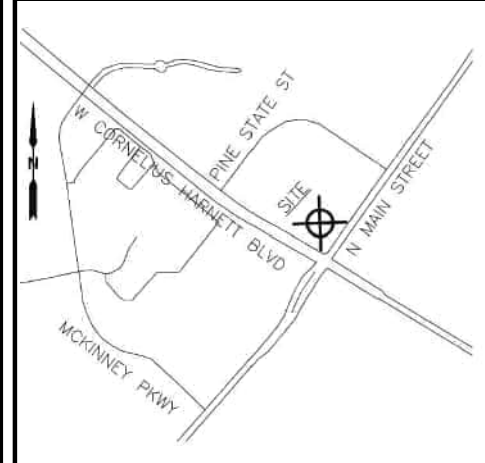
1/30/2024  
2/12/2024 -REVISION PROJECT NO: 24-01 DRAWN BY: SSS



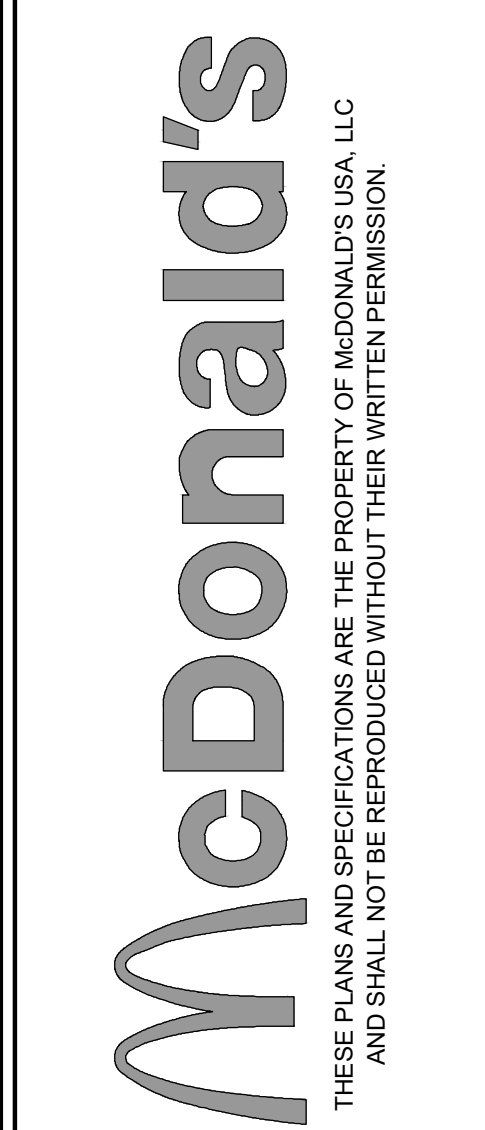
**DEMOLITION REFERENCE NOTES:**

- 1 SAW-CUT AND REMOVE EXISTING ASPHALT PAVING - TYPICAL
- 2 REMOVE EXISTING CURBING OR CURB & GUTTER - TYPICAL
- 3 EXTENTS OF CURB AND GUTTER REMOVAL. REFER TO SITE LAYOUT PLAN (SHEET C-3) FOR CURB & GUTTER TIE-IN LOCATIONS - TYPICAL
- 4 REMOVE EXISTING CONCRETE - TYPICAL
- 5 REMOVE EXISTING TREE / LANDSCAPING - TYPICAL
- 6 REMOVE EXISTING DUMPSTER PAD, WALLS, GATES AND FOOTERS.
- 7 REMOVE EXISTING SHED.
- 8 REMOVE EXISTING BUILDING. PRIOR TO DEMOLITION, VERIFY THAT ALL REQUIRED ENVIRONMENTAL PERMITS ARE ON THE JOBSITE.
- 9 REMOVE EXISTING DRIVE-THRU COMPONENTS (MENU BOARDS, etc.). COORDINATE WITH McDONALD'S CONSTRUCTION MANAGER FOR POSSIBLE SALVAGE OF EQUIPMENT.
- 10 REMOVE EXISTING McDONALD'S DIRECTIONAL SIGNAGE - TYP.
- 11 REMOVE EXISTING BOLLARD - TYP.
- 12 REMOVE EXISTING HANDICAP PARKING SIGNS - TYP.
- 13 REMOVE EXISTING WATER UTILITY SERVICE CONNECTIONS, METERS, AND ON-SITE WATER LINES AS REQUIRED. G.C. TO CONTACT ALL APPLICABLE UTILITY COMPANIES TO INSURE THE UTILITIES ARE PROPERLY SHUT-DOWN PRIOR TO THE START OF ANY SITE AND/OR DEMOLITION WORK. ALL WATER AND SEWER SERVICES TO BE ABANDONED SHALL BE DISCONNECTED AND PLUGGED AT THE MAIN.
- 14 REMOVE EXISTING ON-SITE SANITARY SEWER UTILITY SERVICE CONNECTIONS, INCLUDING EXISTING GREASE TRAP. FROM BUILDING TO EXISTING SERVICE LATERAL CONNECTION LOCATION TO REMAIN FOR RE-USE. REFER TO SITE UTILITY PLAN (SHEET C-6) FOR PROPOSED TIE-IN LOCATION. ALL WATER AND SEWER SERVICES TO BE ABANDONED SHALL BE DISCONNECTED AND PLUGGED AT THE MAIN.
- 15 REMOVE EXISTING UNDERGROUND POWER SERVICE LINES AS REQUIRED. G.C. TO CONTACT ALL APPLICABLE UTILITY COMPANIES TO INSURE THE UTILITIES ARE PROPERLY SHUT-DOWN PRIOR TO THE START OF ANY SITE AND/OR DEMOLITION WORK.
- 16 REMOVE EXISTING LIGHTPOLE AND ASSOCIATED WIRING - TYPICAL. REFER TO SITE LIGHTING PLAN (SHEET L-2) FOR NEW LOT LIGHT LOCATION.
- 17 REMOVE EXISTING UNDERGROUND TELEPHONE LINES AS REQUIRED. G.C. TO CONTACT ALL APPLICABLE UTILITY COMPANIES TO INSURE THE UTILITIES ARE PROPERLY SHUT-DOWN PRIOR TO THE START OF ANY SITE AND/OR DEMOLITION WORK.
- 18 PROTECT EXISTING FLAG POLES TO REMAIN.
- 19 PROTECT EXISTING McDONALD'S SIGN TO REMAIN - TYPICAL.
- 20 PROTECT EXISTING LANDSCAPING TO REMAIN.
- 21 PROTECT ALL OFF-SITE PAVING / CURBING (TO REMAIN) FROM CHIPPING OR BREAKING. PATCH & REPAIR EXISTING ITEMS DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
- 22 PROTECT EXISTING UTILITIES TO REMAIN-TYPICAL. G.C. TO CONTACT ALL APPLICABLE UTILITY COMPANIES TO INSURE THE UTILITIES ARE PROPERLY SHUT-DOWN PRIOR TO THE START OF ANY SITE AND/OR DEMOLITION WORK.

**VICINITY MAP - n.t.s.**



BY	DATE	DESCRIPTION



STATUS	DATE	BY
FINAL	12-13-24	JKB
PLAN CHECKED	12-13-24	JAL
SAPA PROJECT #	23-233	

**C-2**  
EXISTING CONDITIONS / DEMOLITION PLAN

**DEMOLITION LEGEND:**

- EXISTING BUILDING TO BE REMOVED
- EXISTING CONCRETE TO BE REMOVED
- EXISTING ASPHALT TO BE REMOVED
- SAW-CUT EXISTING ASPHALT
- LIMITS OF DISTURBANCE
- EXISTING CURBING TO BE REMOVED

**811**  
BEFORE YOU DIG! CALL 811 NC ONE-CALL CENTER ITS THE LAW!

**UTILITY INFORMATION**

SIZE	TYPE	LOCATION
8"	WATER SERVICE FROM N. MAIN STREET TO EX. BUILDING.	
4" PVC	SANITARY SEWER MANHOLE ON SITE NEAR THE SOUTH CORNER.	
8"	SANITARY SEWER LINE FROM OFF-SITE EAST CORNER OF SITE TO MANHOLE	
8"	SEWER LINE FROM MANHOLE RUNS TO THE WEST THEN OFF-SITE	
15" RCP	RUNS FROM EX. CATCH BASIN AT WEST CORNER OF SITE ACROSS ENTRANCE DRIVE TO ANOTHER EX. CATCH BASIN.	
18" RCP	RUNS FROM CATCH BASIN TO EX. CATCH BASIN AT EDGE OF W. CORNELIUS HARNETT BLVD.	
15" RCP	CATCH BASIN AT SOUTH CORNER OF SITE WITH PIPE TO EX. 15" RCP THAT RUNS OFF-SITE ALONG THE SOUTH SIDE.	
	GAS LINES RUN ALONG W. CORNELIUS HARNETT BLVD. AND NORTH MAIN STREET.	
	OVERHEAD POWER LINES RUN ACROSS SOUTH END OF SITE.	
	UNDERGROUND POWER LINES RUN ACROSS SEVERAL AREAS OF PROPERTY TO BUILDING, LIGHTS, ETC.	
	TELEPHONE LINES RUN ALONG W. CORNELIUS HARNETT BLVD., NORTH MAIN STREET AND ALONG REAR PROPERTY LINE WITH SERVICE LINE TO REAR OF EX. BUILDING.	

**BASE MAP INFORMATION**

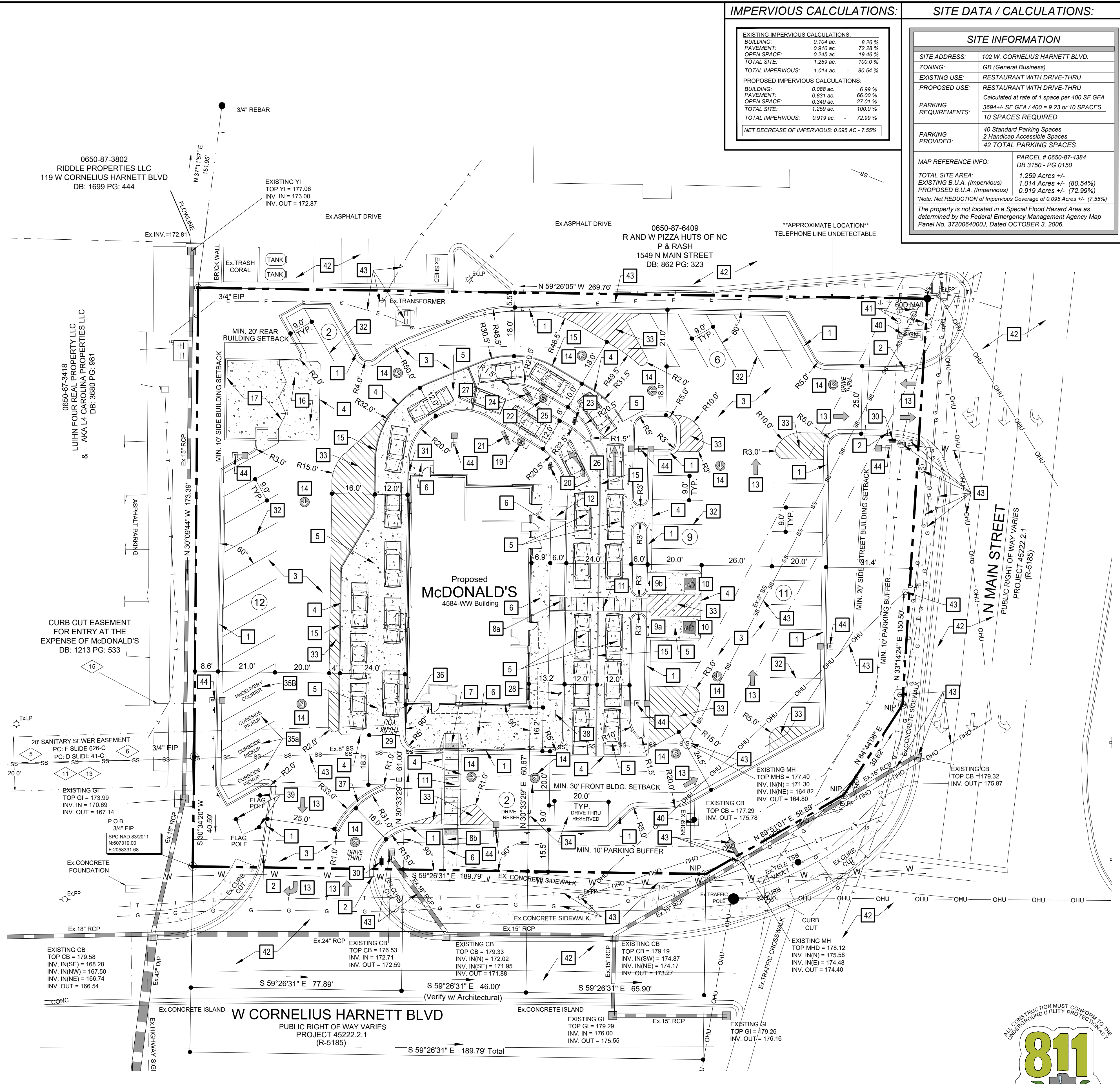
BASED ON: SURVEY BY: SGROI GEOMATICS, PLLC 1405-A NC 66 KERNERSVILLE, NC 27284

PLAN SCALE: As Noted  
STREET ADDRESS: 102 W. CORNELIUS HARNETT BLVD.  
CITY: LILLINGTON STATE: NORTH CAROLINA  
COUNTY: HARNETT

TAX PARCEL NUMBER: 0650-87-4384 LOCATION CODE NUMBER: 32-0312

Scale: 1" = 20'

- SITE KEY NOTES:**
- 1 CONSTRUCT 2' CURB AND GUTTER PER DETAIL SHEET.
  - 2 EXTENTS OF CURB & GUTTER AND/OR ASPHALT PAVEMENT. TIE TO EXISTING AT THIS POINT AS REQUIRED.
  - 3 ASPHALT PAVEMENT PER SOILS REPORT SPECIFICATIONS.
  - 4 TRANSITION FROM ASPHALT TO CONCRETE PER DETAIL SHEET.
  - 5 CONCRETE PAD @ DRIVE-THRU AND HANDICAP PARKING SPACES WITH 10' CONTROL JOINTS AND 20' EXPANSION JOINTS. OR PER SOILS REPORT SPECIFICATIONS.
  - 6 CONSTRUCT CONCRETE SIDEWALK PER DETAIL SHEET.
  - 7 CONSTRUCT FLUSH CONCRETE H.C. RAMP "TYPE 1" PER DETAIL SHEET.
  - 8a CONSTRUCT FLUSH CONCRETE H.C. RAMP "TYPE 2" PER DETAIL SHEET.
  - 8b CONSTRUCT FLUSH CONCRETE H.C. RAMP "TYPE 3" PER DETAIL SHEET.
  - 9a INSTALL VAN ACCESSIBLE H.C. SIGN PER DETAIL SHEET TO MEET ALL A.D.A. AND STATE AND LOCAL REQUIREMENTS. NOTE: THE ACCESSIBLE VAN SPACE SHOULD HAVE THE ACCESS AISLE ON THE PASSENGER SIDE.
  - 9b INSTALL H.C. SIGN PER DETAIL SHEET TO MEET ALL A.D.A. AND STATE AND LOCAL REQUIREMENTS.
  - 10 HANDICAP PARKING SPACE AND H.C. SYMBOL PER DETAIL SHEET TO MEET ALL A.D.A. AND STATE AND LOCAL REQUIREMENTS.
  - 11 PAINTED (CONCRETE) PEDESTRIAN CROSSWALK PER DETAIL SHEET.
  - 12 CONSTRUCT FLUSH CONCRETE DELIVERY RAMP PER DETAIL SHEET.
  - 13 PAINT TRAFFIC ARROWS PER DETAIL SHEET.
  - 14 PAINTED DRIVE-THRU DIRECTIONAL ARROW, YELLOW, COORDINATE WITH McDONALD'S CONSTRUCTION MANAGER.
  - 15 PAINT 6" WIDE YELLOW STRIPE ON ASPHALT FROM EDGE OF CONCRETE DRIVE-THRU LANE (AND AS SHOWN ELSEWHERE ON SITE PLAN).
  - 16 CONSTRUCT CONCRETE DUMPSTER PAD PER DETAIL SHEET AND SOILS REPORT SPECIFICATIONS AND RECOMMENDATIONS.
  - 17 CONSTRUCT DUMPSTER ENCLOSURE (MATERIAL TO MATCH BUILDING). REFER TO SHEET TC-1 (BY OTHERS) FOR DETAIL.
  - 18 8' x 16' STORAGE SHED (PER ARCHITECTURAL DRAWINGS), EXTERIOR FINISH TO MATCH DUMPSTER ENCLOSURE / BUILDING. (NOT USED)
  - 19 PRIMARY LANE 'McDONALD'S ORDER HERE CANOPY' COD / CANOPY FOUNDATION AND SPEAKER POST.
  - 20 FUTURE DIGITAL PRE-BROWSE BOARD - PRIMARY LANE. PRE-BROWSE BOARD MUST BE 18"-24" FROM FACE OF CURB. THE DISTANCE BETWEEN THE PRIMARY COD AND PRE-BROWSE BOARD IS TO BE 15' AS MEASURED ALONG THE FACE OF THE CURB. THIS IS MEASURED FROM THE CENTER OF THE PRE-BROWSE BOARD FOUNDATION TO THE CENTER OF THE COD FOUNDATION. THE ANGLE (APPROXIMATELY 50°) OF THE PRE-BROWSE BOARD SHOULD MAXIMIZE VISIBILITY TO THE SECOND CAR FROM COD. SEE BASELINE FOUNDATION DETAILS FOR APPROPRIATE DETAILS AND CAP ALL OPEN CONDUIT.
  - 21 FUTURE DIGITAL MENU BOARD - PRIMARY LANE. THE CENTER OF THE FOUNDATION IS TO BE 5'-9" (5'-0" MINIMUM AND 6'-0" MAXIMUM) FROM THE CENTER OF THE COD FOUNDATION. IT SHOULD BE AT AN ANGLE OF APPROXIMATELY 25° TO 35° ANGLE (35° PREFERRED) FROM A CAR POSITIONED AT THE COD AND WITH 100% VISIBILITY.
  - 22 SECONDARY LANE 'McDONALD'S ORDER HERE CANOPY' COD / CANOPY FOUNDATION AND SPEAKER POST.
  - 23 FUTURE DIGITAL PRE-BROWSE BOARD - SECONDARY LANE. PRE-BROWSE BOARD MUST BE MINIMUM 12" FROM FACE OF CURB. THE DISTANCE BETWEEN THE SECONDARY COD AND PRE-BROWSE BOARD IS TO BE 15' AS MEASURED ALONG THE FACE OF THE CURB. THIS IS MEASURED FROM THE POINT PERPENDICULAR TO THE CENTER OF THE PRE-BROWSE BOARD FOUNDATION TO THE POINT PERPENDICULAR TO THE CENTER OF THE COD FOUNDATION. THE ANGLE OF THE PRE-BROWSE BOARD SHOULD MAXIMIZE VISIBILITY TO THE SECOND CAR FROM COD (PREFERRED 35°).
  - 24 FUTURE DIGITAL MENU BOARD - SECONDARY LANE. THE CENTER OF THE FOUNDATION IS TO BE 5'-9" (5'-0" MINIMUM AND 6'-0" MAXIMUM) FROM THE CENTER OF THE COD FOUNDATION WITH THE END CAP OF THE SECONDARY MENU BOARD NOT BE LESS THAN 12" FROM FACE OF CURB. IT SHOULD BE AT AN ANGLE OF APPROXIMATELY 25° FROM A VEHICLE POSITIONED AT THE COD AND WITH 100% VISIBILITY.
  - 25 REFER TO SHEET C-7 FOR ADDITIONAL DRIVE-THRU STAKING INFORMATION AND DIMENSIONS.
  - 26 PAINTED SIDE BY SIDE DRIVE-THRU DIRECTIONAL ARROW. COORDINATE WITH McDONALD'S CONSTRUCTION MANAGER FOR DETAIL AND TO VERIFY FINAL PLACEMENT LOCATION.
  - 27 MERGE POINT STRIPING - COORDINATE WITH McD'S CONSTRUCTION MGR. THE MERGE POINT STRIPING IS TO BE LOCATED BY OFFSETTING THE INNER PRIMARY LANE BACK OF CURB BY OFFSETTING THE OUTER LANE STRIPING 8'-0" AT THE INTERSECTION OF THESE OFFSETS. A 6" YELLOW STRIPE IS TO BE MARKED PERPENDICULAR TO THE OTHER LANE AS WELL AS THE INNER PRIMARY LANE.
  - 28 \*PLEASE HAVE MONEY.....\* SIGN SUPPLIED BY AND INSTALLED BY SIGN CONTRACTOR.
  - 29 PAINTED 'THANK YOU' LETTERING (PER DETAIL SHEET). COORDINATE WITH McDONALD'S CONSTRUCTION MANAGER FOR SPECIFICATIONS AND TO VERIFY FINAL LOCATION.
  - 30 DIRECTIONAL SIGNAGE (PER DETAIL SHEET). GALVANIZED ANCHOR BOLTS, (6" ABOVE GRADE), FOOTINGS AND ELECTRICITY BY GENERAL CONTRACTOR. SIGN INSTALLED BY SIGN CONTRACTOR. COORDINATE WITH McDONALD'S CONSTRUCTION MANAGER.
  - 31 STEEL PIPE BOLLARD PER DETAIL SHEET.
  - 32 PAINT 4" WIDE STRIPE, WHITE-TYP
  - 33 PAINT 4" WIDE STRIPES, WHITE @ 45° 2'-0" O.C.
  - 34 TWO (2) DESIGNATED DRIVE THRU RESERVED STALLS (STRIPED YELLOW) WITH DRIVE THRU RESERVED SIGNAGE. COORDINATE WITH McDONALD'S CONSTRUCTION MANAGER.
  - 35a THREE (3) DESIGNATED CURBSIDE PICKUP STALLS (STRIPED YELLOW) WITH MOBILE ORDER SIGNAGE. COORDINATE WITH McDONALD'S CONSTRUCTION MANAGER.
  - 35b ONE (1) DESIGNATED McDelivery COURIER PARKING STALL (STRIPED YELLOW) WITH MOBILE ORDER SIGNAGE. COORDINATE WITH McDONALD'S CONSTRUCTION MANAGER.
  - 36 INSTALL McDONALD'S STANDARD HANDRAIL PER McDONALD'S STANDARDS. COORDINATE WITH McDONALD'S CONSTRUCTION MANAGER.
  - 37 MONOLITHIC MOUNTABLE CONCRETE ISLAND PER DETAIL SHEET.
  - 38 PROPOSED BIKE RACK PER DETAIL SHEET TO ACCOMMODATE TWO (2) REQUIRED BICYCLE SPACES. REFER TO DETAIL ON SHEET C-7.
  - 39 PROTECT EXISTING FLAG POLES TO REMAIN.
  - 40 PROTECT EXISTING McDONALD'S SIGN TO REMAIN - TYPICAL.
  - 41 PROTECT EXISTING LANDSCAPING TO REMAIN.
  - 42 PROTECT ALL OFF-SITE PAVING / CURBING (TO REMAIN) FROM CHIPPING OR BREAKING DURING ALL CONSTRUCTION. PATCH & REPAIR EXISTING ITEMS DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
  - 43 PROTECT EXISTING UTILITIES TO REMAIN-TYPICAL. G.C. TO CONTACT ALL APPLICABLE UTILITY COMPANIES TO INSURE THE UTILITIES ARE PROPERLY SHUT-DOWN PRIOR TO THE START OF ANY SITE AND/OR DEMOLITION WORK.
  - 44 POLE MOUNTED AREA LIGHT. SEE LIGHTING PLAN (BY OTHERS).



- BUILDING INSPECTIONS NOTES:**
- 1R. LANDINGS OUTSIDE ALL DOORS SHALL BE SIZED PER THE NORTH CAROLINA BUILDING CODE (NCBC). BE AT THE SAME ELEVATION AS THE FFE, AND SHALL HAVE A MAX. 2% SLOPE IN ANY DIRECTION INCLUDING IN THE DIAGONAL.
  - 2R. THE SLOPES IN THE H.C. PARKING SPACE / ACCESS AISLE AREA SHALL NOT EXCEED 2% IN ANY DIRECTION INCLUDING IN THE DIAGONAL.
  - 3R. THERE SHALL BE LEVEL TURNING AREAS (MAX. 2% SLOPE IN ANY DIRECTION INCLUDING IN THE DIAGONAL) ON ALL SIDEWALKS WHERE AN INTERSECTING SIDEWALK CONNECTS WITH IT.
  - 4R. THERE SHALL BE NO DESIGNATED PEDESTRIAN ROUTES / SIDEWALKS WITHIN THE SITE, EXCEPT WHERE LABELED AS A RAMP WITH RAILS, WHICH EXCEED A 5% SLOPE IN THE DIRECTION OF TRAVEL AND A 2% CROSS SLOPE.
  - 5R. ALL PEDESTRIAN ROUTES >5% (1:20). IF ANY, ARE LABELED AS RAMPS. SHOWING SLOPES, LEVEL LANDINGS AT TOP AND BOTTOM (MAX. 2% SLOPE IN ANY DIRECTION INCLUDING IN THE DIAGONAL), RAILINGS / GUARDRAILS, AND SHALL COMPLY WITH NCBC.

**IMPERVIOUS CALCULATIONS:**

EXISTING IMPERVIOUS CALCULATIONS:	
BUILDING:	0.104 ac. 8.26 %
PAVEMENT:	0.910 ac. 72.28 %
OPEN SPACE:	0.245 ac. 19.46 %
TOTAL SITE:	1.259 ac. 100.00 %
TOTAL IMPERVIOUS:	1.014 ac. 80.54 %
PROPOSED IMPERVIOUS CALCULATIONS:	
BUILDING:	0.088 ac. 6.99 %
PAVEMENT:	0.831 ac. 66.00 %
OPEN SPACE:	0.340 ac. 27.01 %
TOTAL SITE:	1.259 ac. 100.00 %
TOTAL IMPERVIOUS:	0.919 ac. 72.99 %

NET DECREASE OF IMPERVIOUS: 0.095 AC - 7.55%

**SITE DATA / CALCULATIONS:**

SITE INFORMATION	
SITE ADDRESS:	102 W. CORNELIUS HARNETT BLVD.
ZONING:	GB (General Business)
EXISTING USE:	RESTAURANT WITH DRIVE-THRU
PROPOSED USE:	RESTAURANT WITH DRIVE-THRU
PARKING REQUIREMENTS:	Calculated at rate of 1 space per 400 SF GFA 389+/- SF GFA / 400 = 9.23 or 10 SPACES 10 SPACES REQUIRED
PARKING PROVIDED:	40 Standard Parking Spaces 2 Handicap Accessible Spaces 42 TOTAL PARKING SPACES
MAP REFERENCE INFO:	PARCEL # 0650-87-4384 DB 3150 - PG 0150
TOTAL SITE AREA:	1.259 Acres +/-
EXISTING B.U.A. (Impervious):	1.014 Acres +/- (80.54%)
PROPOSED B.U.A. (Impervious):	0.919 Acres +/- (72.99%)

\*Note: Net REDUCTION of Impervious Coverage of 0.095 Acres +/- (7.55%)  
The property is not located in a Special Flood Hazard Area as determined by the Federal Emergency Management Agency Map Panel No. 37205A4000J, Dated OCTOBER 3, 2006.

- GENERAL SITE NOTES:**
- THE CONTRACTOR SHALL VERIFY LOCATION AND EXISTING OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON THE PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COSTS HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE. OTHER OBSTRUCTIONS OR FROM ANY DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NON-SUBSCRIBING UTILITIES. THE CONTRACTOR(S) SHALL CONTACT NORTH CAROLINA ONE-CALL AT 1-800-632-4949 FOR ASSISTANCE IN LOCATING EXISTING UTILITIES. CALL AT LEAST 48 HOURS PRIOR TO ANY DIGGING.
  - THE LOCATIONS OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES WITH THE UTILITY OWNERS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
  - PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION OF ANY ITEM SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL PLANS AND ANY OTHER DOCUMENTATION FROM ALL OF THE PERMITTING AND ANY OTHER REGULATORY AUTHORITIES. FAILURE OF THE CONTRACTOR TO FOLLOW THIS PROCEDURE SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION OF THE WORK MANDATED BY ANY REGULATORY AUTHORITY. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
  - THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND RIGHT-OF-WAYS, PUBLIC OR PRIVATE. PRIOR TO WORKING IN THESE AREAS. ACCESS SHALL BE LIMITED UNTIL PERMISSION IS GRANTED.
  - CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
  - CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL INSIDE OR OUTSIDE CONTRACT LIMITS DUE TO CONSTRUCTION OPERATIONS.
  - ALL SITE DIMENSIONS ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
  - THE GENERAL CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE 'CONSTRUCTION LIMITS' BROOM CLEAN AT ALL TIMES AND REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
  - BEFORE COMMENCEMENT OF WORK, THE CONTRACTOR SHALL REVIEW ALL PLANS AND SPECIFICATIONS AND THE JOB SITE. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER WHO PREPARED THE PLANS OF ANY DISCREPANCIES THAT MAY REQUIRE MODIFICATIONS TO THESE PLANS OR OF ANY FIELD CONFLICTS.
  - ALL PERMITS RELATIVE TO THE PROJECT MUST BE OBTAINED, PRIOR TO CONSTRUCTION. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
  - ALL WORK IN RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH 'THE CURRENT EDITION OF THE STATE DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIALS SPECIFICATIONS'.
  - CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD THE OWNER AND DESIGN PROFESSIONAL HARMLESS OF ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, ACCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR DESIGN PROFESSIONAL.

**McDONALD'S CONCRETE SPECIFICATIONS**

ALL SITE CONCRETE IS TO BE TREATED WITH WATER REPELLANT CONCRETE SEALER TO PROTECT THE SURFACES FROM SPALLING AND DAMAGE FROM CHEMICAL ATTACK OF CHLORIDE SALTS. SEALER SHOULD BE SILANE/SILOXANE WATER REPELLANT. RECOMMENDATIONS INCLUDE PROSOCCO-SALTGUARD OR V-SEAL 102 WINTERGUARD.

**PAVEMENT SPECIFICATIONS**

CONTRACTOR TO REFER TO SOILS REPORT FOR SITE SPECIFIC PAVEMENT SPECS.

NOTE: McDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION. TESTS WILL BE AT THE EXPENSE OF McDONALD'S, OTHERWISE, GENERAL CONTRACTOR WILL BE CHARGED.

**PARKING INFORMATION**

TOTAL SPACES	2 - HC SPACES = 8.0' x 20.0' @ 90°	18 SPACES = 9.0' x 20.0' @ 90°	20 SPACES = 9.0' x 21.0' @ 60°	2 SPACES = 9.0' x 20.0' @ 0°
42				

**UTILITY INFORMATION**

SIZE	TYPE	LOCATION
WATER	EX. WATER SERVICE FROM N. MAIN STREET TO EX. BUILDING.	
SANITARY SEWER	EX. SANITARY SEWER MANHOLE ON SITE NEAR THE SOUTH CORNER. EX. 4" PVC SEWER FROM BUILDING TO THE MANHOLE. EX. 8" SEWER LINE FROM OFF-SITE EAST CORNER OF SITE TO MANHOLE. EX. 8" SEWER LINE FROM MANHOLE RUNS TO THE WEST TIE-INS TO EX. CORNELIUS HARNETT BLVD. EX. 18" RCP RUNS FROM EX. CATCH BASIN AT WEST CORNER OF SITE ACROSS ENTRANCE DRIVE TO ANOTHER EX. CATCH BASIN. EX. 18" RCP RUNS FROM CATCH BASIN TO EX. CATCH BASIN AT EDGE OF CORNELIUS HARNETT BLVD. EX. CATCH BASIN AT SOUTH CORNER OF SITE WITH PIPE TO EX. 15" RCP THAT RUNS OFF-SITE ALONG THE SOUTH SIDE.	
STORM		
GAS	EX. GAS LINES RUN ALONG W. CORNELIUS HARNETT BLVD. AND NORTH MAIN STREET.	
ELECTRIC	EX. OVERHEAD POWER LINES RUN ACROSS SOUTH END OF SITE. EX. UNDERGROUND POWER LINES RUN ACROSS SEVERAL AREAS OF PROPERTY TO BUILDINGS, LIGHTS, ETC.	
TELEPHONE	EX. TELEPHONE LINES RUN ALONG W. CORNELIUS HARNETT BLVD., NORTH MAIN STREET AND ALONG REAR PROPERTY LINE WITH SERVICE LINE TO REAR OF EX. BUILDING.	

**BASE MAP INFORMATION**

BASED ON: SURVEY BY: SGROI GEOMATICS, PLLC  
1405-A NC 66  
KERNERSVILLE, NC 27284  
Dated: 01-30-24 / Last Revised: 02-12-24

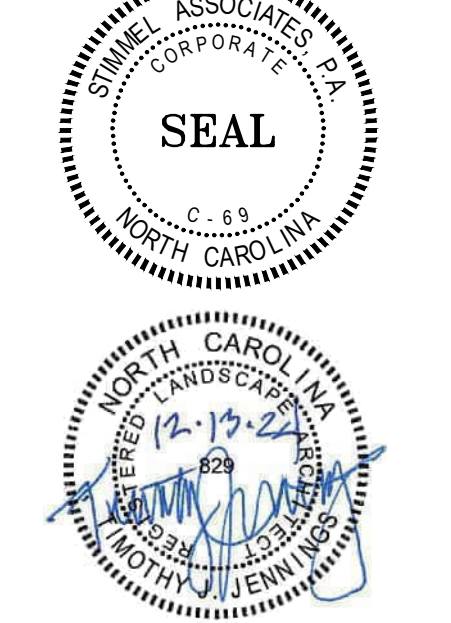
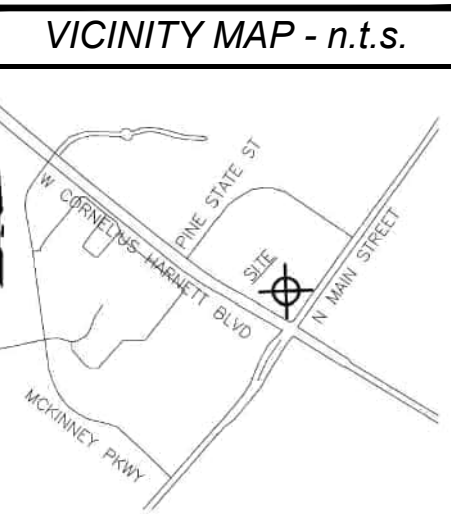
PLAN SCALE: As Noted

STREET ADDRESS: 102 W. CORNELIUS HARNETT BLVD.

CITY: LILLINGTON STATE: NORTH CAROLINA

COUNTY: HARNETT

TAX PARCEL NUMBER: 0650-87-4384 LOCATION CODE NUMBER: 32-0312

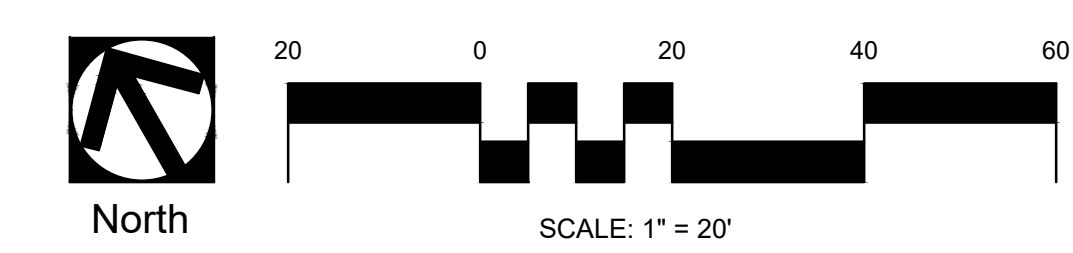
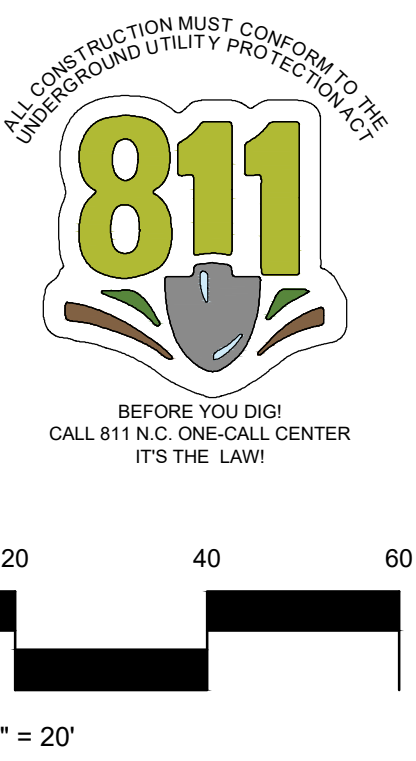


REV	DATE	DESCRIPTION



STATUS	DATE	BY
FINAL	12-13-24	JKB
PLAN CHECKED	12-13-24	JAL
SAPA PROJECT #	23-233	

**C-3**  
SITE LAYOUT PLAN





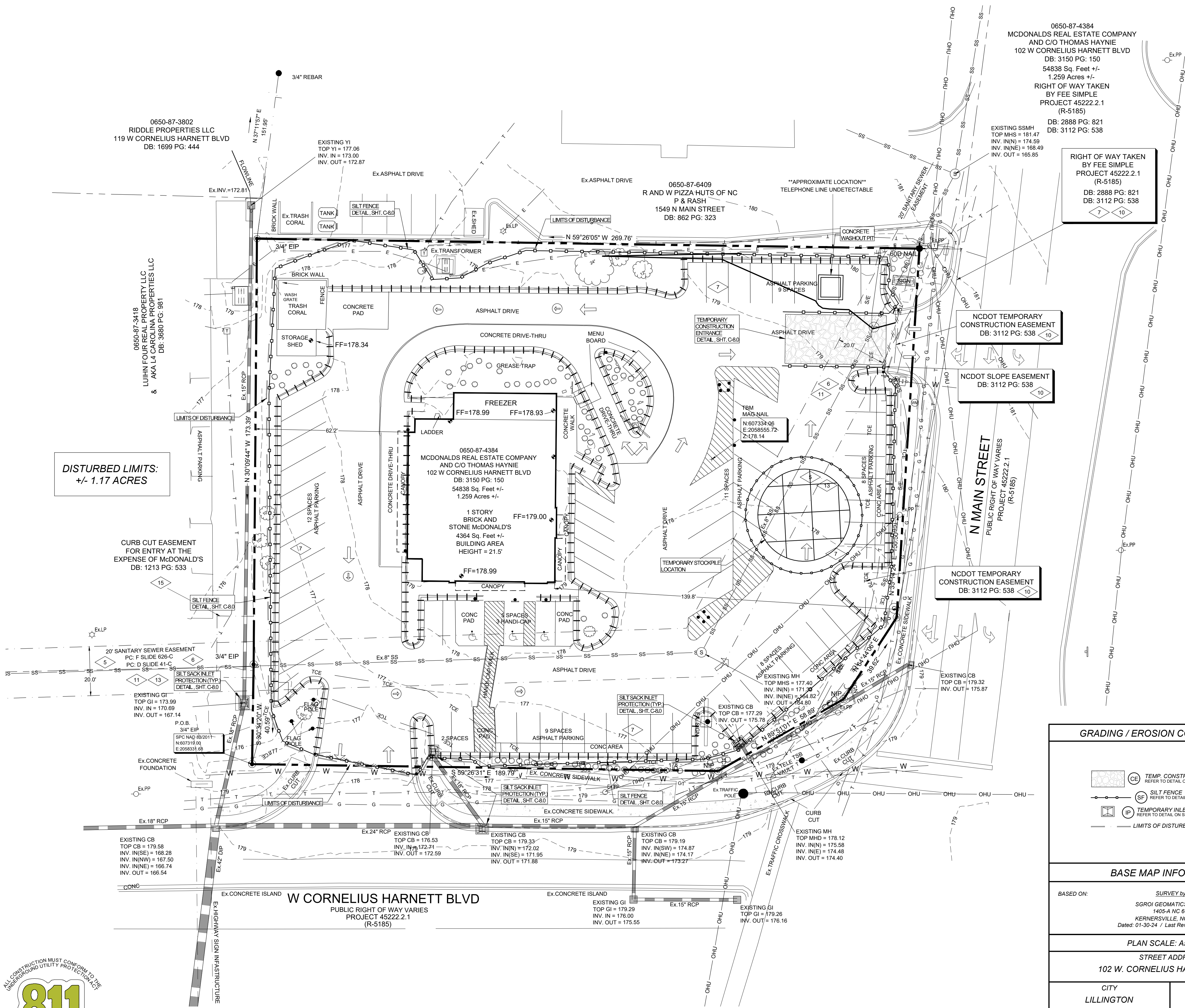
**EROSION CONTROL NOTES:**

1. THE APPROXIMATE AREA OF THE LIMITS OF CLEARING, GRADING AND CONSTRUCTION (LIMITS OF DISTURBANCE) IS 1.17 ACRES.
2. SEE SHEET C-5.1 FOR GRADING, STORM DRAINAGE AND ADDITIONAL EROSION CONTROL NOTES. SEE SHEETS C-8.0 - C-8.3 FOR ADDITIONAL EROSION CONTROL NOTES AND DETAILS.
3. SEE C-5.1 & THIS SHEET FOR EROSION CONTROL SEQUENCE.
4. ALL CONSTRUCTION TRAFFIC SHALL USE THE TEMPORARY CONSTRUCTION ENTRANCE AS INDICATED ON THIS PLAN.
5. THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN IS CONSIDERED A CONDITION OF GENERAL PERMIT - NCG 010000 AND MUST BE FOLLOWED AND IMPLEMENTED.
6. THE FOLLOWING ITEMS ARE REQUIRED TO BE AVAILABLE ON SITE:
  - a. LETTER OF E&S PLAN APPROVAL.
  - b. LAND-DISTURBING PERMIT (LDP)
  - c. E&S PLAN
  - d. SELF-INSPECTION REPORTS.
  - e. RAIN GAUGE
8. NO GRADING/CLEARING UNTIL LDP IS OBTAINED. NO MASS GRADING UNTIL PERIMETER E&S MEASURES ARE INSTALLED AND PROVIDED WITH GROUND COVER.
9. THE PERMITTEE SHALL COMPLY WITH REQUIREMENTS FOR INSPECTION AND MONITORING, AND PROVIDING AND MAINTAINING CONTROLS SPECIFIED FOR STORMWATER DISCHARGES ONCE DISTURBANCE HAS BEGUN ON THE SITE AND UNTIL COMPLETION OF CONSTRUCTION OR DEVELOPMENT AND THE ESTABLISHMENT OF A PERMANENT GROUND COVER.
10. CONSTRUCTION SITE POLLUTANTS MUST BE MAINTAINED ON-SITE AND NOT ALLOWED TO REACH THE STATE'S WATERS. ANY SPENT FLUIDS FROM CONSTRUCTION TRAFFIC MUST BE CLEANED UP AND DISPOSED OF PROPERLY. ANY HERBICIDE, PESTICIDE AND FERTILIZER MUST BE USED IN ACCORDANCE TO THE LABEL RESTRICTIONS. ALL WASTES COMPOSED OF BUILDING MATERIALS SHALL BE DISPOSED OF IN ACCORDANCE WITH NORTH CAROLINA GENERAL STATUTES, CHAPTER 130A, ARTICLE 9 - SOLID WASTE MANAGEMENT, AND RULES GOVERNING THE DISPOSAL OF SOLID WASTE (NC ADMINISTRATIVE CODE SECTION 15A NCAC 13B). NO DUMPING OF PAINT AND OTHER LIQUID BUILDING MATERIAL WASTE IN STORM DRAINS, CONCRETE MATERIALS ON-SITE, INCLUDING EXCESS CONCRETE, MUST BE CONTROLLED AND MANAGED TO AVOID CONTACT WITH SURFACE WATERS, WETLANDS OR BUFFERS. NO CONCRETE SLURRY SHALL BE DISCHARGED FROM THE SITE.
11. BORROW FILL MATERIAL FROM OFF-SITE SOURCE SHALL COME FROM A SITE THAT IS COVERED UNDER AN ACTIVE LAND-DISTURBING PERMIT. SOIL MATERIAL TO BE WASTED OFF-SITE SHALL BE WASTED ON A SITE THAT IS COVERED UNDER AN ACTIVE LAND-DISTURBING PERMIT. CONTRACTOR SHALL PROVIDE DOCUMENTATION AND LAND-DISTURBING PERMIT NUMBER OF ALL BORROW SITES AND WASTE SITES USED FOR THIS PROJECT TO THE OWNER AND EROSION CONTROL INSPECTOR FOR RECORD FILE.
12. THE FINANCIALLY RESPONSIBLE PARTY SHALL ENSURE THAT THE GENERAL CONTRACTOR/GRADING CONTRACTOR/BUILDER PREVENT SEDIMENTATION FROM LEAVING THE SITE BY THE CONSTRUCTION TRAFFIC. IN ADDITION, THE GENERAL CONTRACTOR/GRADING CONTRACTOR/BUILDER SHALL HAVE ON SITE THE MEANS TO REMOVE ANY SEDIMENT TRACKED ONTO THE STREET. IF CONDITIONS REQUIRE, EQUIPMENT MUST BE ON SITE TO WASH TIRES OF VEHICLES PRIOR TO ENTERING STREET.

**EROSION CONTROL SEQUENCE:**

1. OBTAIN GRADING/EROSION CONTROL PLAN APPROVAL AND PERMIT FROM THE CITY OF LILLINGTON EROSION CONTROL OFFICE AS WELL AS NCG01 CERTIFICATE OF COVERAGE FROM CENTRAL NCDOT OFFICE.
2. CONTACT EROSION CONTROL INSPECTOR TO ESTABLISH A PRE-CONSTRUCTION CONFERENCE AND INSPECTION SCHEDULE.
3. CLEAR ONLY AS NECESSARY TO INSTALL CONSTRUCTION ENTRANCE, TEMPORARY SILT FENCE AND SILT FENCE OUTLETS, AND INLET PROTECTION ON ANY EXISTING INLETS SUBJECT TO CONSTRUCTION RUNOFF.
4. CALL EROSION CONTROL INSPECTOR TO SITE TO INSPECT CONTROLS PRIOR TO BEGINNING STAGE 2.
5. SEE SHEET C-5.1 FOR STAGE 2 EROSION CONTROL SEQUENCING.

**DISTURBED LIMITS:  
+/- 1.17 ACRES**



0650-87-4384  
MCDONALDS REAL ESTATE COMPANY  
AND C/O THOMAS HAYNIE  
102 W CORNELIUS HARNETT BLVD  
DB: 3150 PG: 150  
54838 Sq. Feet +/-  
1.259 Acres +/-  
RIGHT OF WAY TAKEN  
BY FEE SIMPLE  
PROJECT 45222.2.1  
(R-5185)  
DB: 2888 PG: 821  
DB: 3112 PG: 538

RIGHT OF WAY TAKEN  
BY FEE SIMPLE  
PROJECT 45222.2.1  
(R-5185)  
DB: 2888 PG: 821  
DB: 3112 PG: 538

NCDOT TEMPORARY  
CONSTRUCTION EASEMENT  
DB: 3112 PG: 538

NCDOT SLOPE EASEMENT  
DB: 3112 PG: 538

NCDOT TEMPORARY  
CONSTRUCTION EASEMENT  
DB: 3112 PG: 538

NCDOT TEMPORARY  
CONSTRUCTION EASEMENT  
DB: 3112 PG: 538

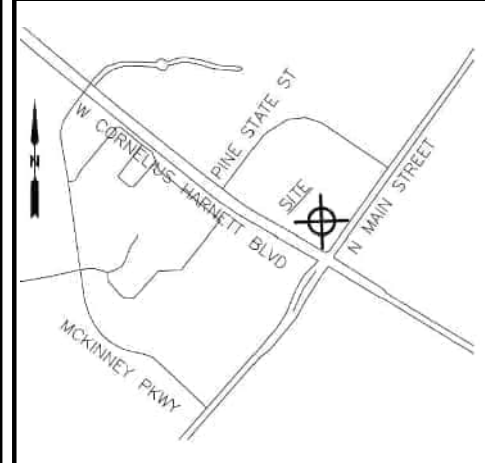
**GRADING / EROSION CONTROL LEGEND:**

- TEMP. CONSTRUCTION ENTRANCE  
REFER TO DETAIL ON SHEET C-8
- SILT FENCE  
REFER TO DETAIL ON SHEET C-8
- TEMPORARY INLET PROTECTION  
REFER TO DETAIL ON SHEET C-8
- LIMITS OF DISTURBANCE (DENUDED LIMITS)

**BASE MAP INFORMATION**

BASED ON:		SURVEY BY: SGROI GEOMATICS, PLLC 1405-A NC 66 KERNERSVILLE, NC 27284 Dated: 01-30-24 / Last Revised: 02-12-24	
PLAN SCALE: As Noted			
STREET ADDRESS 102 W. CORNELIUS HARNETT BLVD.			
CITY LILLINGTON	STATE NORTH CAROLINA		
COUNTY HARNETT			
TAX PARCEL NUMBER 0650-87-4384	LOCATION CODE NUMBER 32-0312		

**VICINITY MAP - n.t.s.**



**stimmel**  
LANDSCAPE ARCHITECTURE  
CIVIL ENGINEERING  
LAND PLANNING  
601 N. TRADE STREET, SUITE 200  
WINSTON-SALEM, NC 27101  
P: 336.723.1067  
www.stimmelpa.com

SEAL  
NORTH CAROLINA  
REGISTERED PROFESSIONAL ENGINEER  
No. 12345  
EXPIRES 12/31/2024

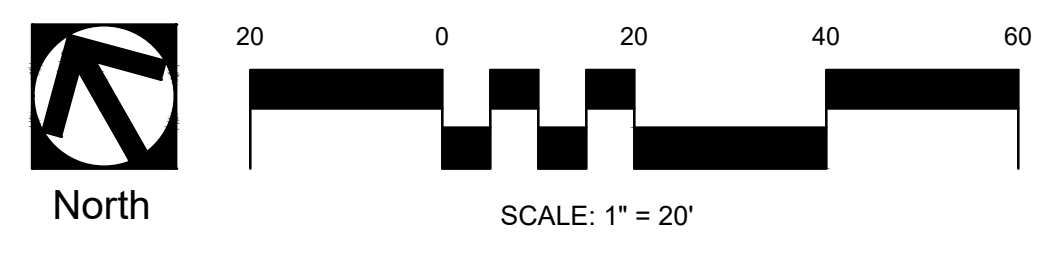
REV	DATE	DESCRIPTION

**McDonald's**  
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AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

STATUS	DATE	BY
FINAL	12-13-24	JKB
PLAN CHECKED	12-13-24	JAL
SAPA PROJECT #	23-233	

**C-5.0**  
INITIAL EROSION  
CONTROL PLAN

ALL CONSTRUCTION MUST CONFORM TO THE  
UNDERGROUND UTILITY PROTECTION ACT  
**811**  
BEFORE YOU DIG!  
CALL 811 N.C. ONE-CALL CENTER  
IT'S THE LAW!



**GRADING NOTES:**

- ALL GRADING ACTIVITIES SHALL BE CONTAINED WITHIN THE LIMITS OF DISTURBANCE SHOWN ON THE EROSION CONTROL PLANS C-5.0 AND C-5.1.
- AREAS TO BE GRADED SHALL BE STRIPPED TO REMOVE ALL TOPSOIL, STUMPS, ROOTS, STONES OF 2" OR LARGER, ORGANICS AND OTHER UNSUITABLE MATERIAL. AFTER STRIPPING, EXPOSED SUBGRADE AREAS TO BE FILLED SHALL BE PROOF ROLLED IN THE PRESENCE OF THE GEOTECHNICAL ENGINEER. IF UNSUITABLE AREAS ARE ENCOUNTERED THAT ARE THE RESULT OF WET SOIL CONDITIONS, THEN REASONABLE EFFORT SHALL BE MADE TO MECHANICALLY DRY THOSE SOILS BY DISING, HARROWING, OR OTHER MEANS. IF UNSUITABLE SOILS ARE ENCOUNTERED, THEN THEY SHALL BE UNDERCUT TO FIRM MATERIALS AS DIRECTED BY THE GEOTECHNICAL ENGINEER, AND BACKFILLED WITH CONTROLLED FILL. REASONABLE DRYING EFFORT AND UNSUITABLE SOILS ARE DEFINED IN THE WRITTEN SPECIFICATIONS.
- CLEAN TOPSOIL FREE OF LARGE ROOTS AND HEAVY VEGETATION MASS SHALL BE TEMPORARILY STOCKPILED ON-SITE FOR LATER RE-SPREADING. STRIPPINGS WITH LARGE ROOTS, HEAVY VEGETATION MASS, UNDERCUT & UNSUITABLE SOILS, AND EXCESS SOILS SHALL BE REMOVED FROM THE SITE. CLEAN TOPSOIL FROM ON-SITE STRIPPINGS CAN BE USED IN BERMS AND GRASS AREA. TOPSOIL FROM ON-SITE STRIPPINGS SHOULD NOT BE USED IN LANDSCAPE AREAS, PLANT BEDS, OR TREE PITS. REFER TO LANDSCAPE NOTES & DETAILS FOR TOPSOIL & SOIL MIX SPECIFICATION TO BE USED IN LANDSCAPE AREAS, PLANT BEDS, AND TREE PITS.
- CONTRACTOR IS RESPONSIBLE FOR MECHANICAL DRYING EFFORTS FOR WET SOILS IN ACCORDANCE WITH GEOTECHNICAL ENGINEER.
- FILL SLOPES SHALL BE CONSTRUCTED BY PLACING CONTROLLED FILL IN HORIZONTAL LIFTS WHICH EXTEND SLIGHTLY BEYOND THE SLOPE FACE. EACH LIFT OF FILL SHALL BE COMPACTED TO THE SPECIFIED MINIMUM DENSITY BEFORE PLACING THE NEXT LIFT. THE COMPACTOR EQUIPMENT SHOULD TRAVEL PARALLEL TO THE SLOPE FACE TO ENSURE PROPER COMPACTON. ONCE THE SLOPE IS COMPLETED IT SHALL BE TRACKED WITH A DOZER TO MINIMIZE THE POTENTIAL FOR EROSION.
- FILL SLOPES SHALL NOT BE CONSTRUCTED BY PLACING FILL AGAINST UNCOMPACTED BERMS.
- CONTROLLED FILL FOR PAVED AND BUILDING AREAS SHALL BE COMPACTED TO 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM - D698), UNLESS OTHERWISE NOTED ON THE PLANS. IN THE SPECIFICATIONS OR GEOTECHNICAL REPORT. FILL IN PAVED AREAS AND BUILDING AREAS SHALL BE COMPACTED TO 98% STANDARD PROCTOR IN THE TOP 12" OF SUBGRADE. COMPACTON TESTS SHALL BE TAKEN TO SUBGRADE AND MINIMUM 15 FEET BEYOND LIMITS OF PAVED AND BUILDING AREAS. FREQUENCY OF COMPACTON TESTING SHALL BE DONE IN ACCORDANCE WITH THE THIRD PARTY GEOTECHNICAL ENGINEER.
- AGGREGATE BASE COURSE (ABC) STONE SHALL BE COMPACTED TO 100% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY UNDER PAYEMENTS.
- ALL PLANTING AREAS, CURBED ISLANDS, ETC. SHALL BE BACKFILLED WITH TOPSOIL. TOPSOIL SHALL BE RAKED DOWN SMOOTH AND FREE OF CLODS, ROOTS AND VEGETATION.
- TRENCHES AND OPENINGS FOR STRUCTURES SHALL BE EXCAVATED IN OPEN CUT, FROM THE SURFACE, TO REQUIRED DEPTH, AND ACCURATELY TO GRADE. TRENCHES SHALL BE EXCAVATED NO WIDER THAN NECESSARY TO WORK EFFICIENTLY AND TO COMPLY WITH SAFETY REGULATIONS.
- CONTRACTOR SHALL TAKE SUCH PRECAUTIONS TO KEEP THE WORK FREE FROM GROUND OR SURFACE WATER BY:
  - PROVIDING PUMPS OF ADEQUATE CAPACITY TO REMOVE WATER FROM EXCAVATIONS WHICH MAY ENTER.
  - REMOVING WATER IN SUCH A MANNER THAT IT WILL NOT INTERFERE WITH PROGRESS OF THE WORK, AND
  - PIPE SHALL NOT BE LAID WHEN CONDITION OF TRANCH OR WEATHER IS UNSUITABLE FOR SUCH WORK.
- WHEN MATERIAL AT THE BOTTOM OF EXCAVATION IS SOFT OR OTHERWISE UNSUITABLE, IT SHALL BE REMOVED TO SUCH DEPTH AND SHALL BE BACKFILLED WITH GRANULAR MATERIAL OR EARTH AS HEREINAFTER SPECIFIED BY GEOTECHNICAL ENGINEER.
- SIDES OF TRENCH SHALL BE AS VERTICAL AS ALLOWED BY OSHA. CONTRACTOR MAY (AT HIS OPTION AND AT NO ADDITIONAL COST TO OWNER) ELECT TO OVER EXCAVATED AND BACKFILL.
- WHERE ROCK IS ENCOUNTERED IN TRENCH EXCAVATION, THE QUANTITY OF TRENCH ROCK EXCAVATION TO YARDS OF ROCK MEASURED IN A RECTANGULAR PRISM ALONG THE VERTICAL CENTERLINE OF THE TRENCH, THE MAXIMUM WIDTH OF THE PRISM SHALL BE EQUAL TO THE NOMINAL DIAMETER OF THE PIPE PLUS TWO FEET. THE HEIGHT OF THE PRISM SHALL BE THE AVERAGE HEIGHT IN FEET OF THE ROCK PROFILE AS MEASURED TO THE NEAREST 0.1 FOOT FROM A POINT 6 FEET BELOW THE PIPE BARREL TO THE TOP OF THE ROCK. THE LENGTH OF THE PRISM SHALL BE THE NUMBER OF LINEAR FEET OF TRENCH ROCK MEASURED FOR PAYMENT ALONG THE VERTICAL CENTERLINE OF THE TRENCH.
- WHERE PIPE IS LAID IN FILLED AREAS, PLACE EARTH FILL BEFORE PIPE IS PLACED. FILL TO A DEPTH OF NOT LESS THAN TWO (2) FEET ABOVE CENTER LINE OF PIPE, AND COMPACT TO 95 PERCENT MAXIMUM DRY DENSITY. TRENCH SHALL THEN BE EXCAVATED TO REQUIRED GRADE AS SPECIFIED PREVIOUSLY.
- CONTRACTOR SHALL EXCAVATE ONLY THAT AMOUNT OF TRENCH THAT HE CAN LAY PIPE AND BACKFILL IN ONE DAY.
- TRENCH BACKFILL SHALL BE PLACED IN 4" UNCOMPACTED LIFTS IF HAND OPERATED COMPACTORS (PLATE TAMPS, JUMPING JACKS, WACKER-PACKERS, ETC.) ARE UTILIZED OR 6" UNCOMPACTED LIFTS IF SMALL SELF PROPELLED COMPACTORS (RAMMERS, EX. ETC.) IS UTILIZED.
- THE OWNER WILL PROVIDE AND PAY FOR PERIODIC INSPECTION AND TESTING SERVICE BY A QUALIFIED ENGINEERING TESTING LABORATORY. EARTHWORK SHALL BE SUBJECT TO THE CONTINUING INSPECTION AND ACCEPTANCE OF THE TESTING LABORATORY AND THE ENGINEER. IT WILL BE THE TESTING LABORATORY'S DECISION, IN CONSULTATION WITH THE ENGINEER, AS TO THE COMPLIANCE OF MATERIALS OR WORK CONTAINING THOSE MATERIALS WITH THE SPECIFICATIONS. COSTS OF SUCH REMEDIAL WORK, AS SPECIFIED BY THE GEOTECHNICAL ENGINEER, SHALL BE BORNE BY THE CONTRACTOR.
- LANDINGS OUTSIDE ALL DOORS SHALL BE SIZED PER THE NORTH CAROLINA BUILDING CODE (NCBC), BE AT THE SAME ELEVATION AS THE FFE, AND SHALL HAVE A MAX. 2% SLOPE IN ANY DIRECTION, INCLUDING IN THE DIAGONAL.
- SLOPES IN THE H.C. PARKING SPACE & ACCESS AISLE AREA SHALL NOT EXCEED 2% IN ANY DIRECTION, INCLUDING IN THE DIAGONAL.
- THERE SHALL BE LEVEL TURNING AREAS (MAX. 2% SLOPE IN ANY DIRECTION, INCLUDING IN THE DIAGONAL) ON ALL SIDEWALKS WHERE AN INTERSECTION WITH ANOTHER SIDEWALK.
- ALL PEDESTRIAN RAMPWAYS >5% (1:20) ARE LABELED AS 'RAMPS' SHOWING SLOPES, LEVEL LANDINGS AT TOP AND BOTTOM (MAX. 2% SLOPE IN ANY DIRECTION, INCLUDING IN THE DIAGONAL), HANDRAILS, EDGE PROTECTION AND SHALL COMPLY WITH NCBC.
- AN ADA ACCESSIBLE ROUTE FROM THE PUBLIC STREET TO THE BUILDING SHALL BE PROVIDED.
- ALL STAIRS SHALL HAVE SLIGHTLY SLOPED LANDINGS (MAX. 2% SLOPE IN ANY DIRECTION, INCLUDING IN THE DIAGONAL) AT THE TOP AND BOTTOM AND SHALL COMPLY WITH THE NCBC.
- CROSS-SLOPES ON ALL SIDEWALKS AND ACCESSIBLE ROUTES SHALL NOT EXCEED 2%.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDINGS AT ALL TIMES.
- ALL ASPHALT PAVED SURFACES SHALL HAVE A MINIMUM OF 2% SLOPE UNLESS OTHERWISE NOTED ON GRADING PLAN. CONTRACTOR TO ENSURE POSITIVE DRAINAGE IS PROVIDED AND NO POONDING ON ANY PAVED SURFACE.
- PERMANENT CUT AND FILL SLOPES SHOWN TO RECEIVE EROSION CONTROL MATTING SHALL BE TRACKED WITH A DOZER PRIOR TO INSTALLING THE MATTING.
- MAINTAIN BENCH MARKS, MONUMENTS AND OTHER REFERENCE POINTS. IF DISTURBED OR DESTROYED, REPLACE AS DIRECTED. IF FOUND AT VARIANCE WITH CONTRACT DOCUMENTS, NOTIFY ENGINEER BEFORE PROCEEDING TO LAY OUT WORK.
- CONSTRUCTION STAKING SHALL BE THE CONTRACTOR'S RESPONSIBILITY. STAKING SHALL BE PERFORMED BY A PROFESSIONAL LAND SURVEYOR. CONTRACTOR SHALL ENGAGE GPS EQUIPMENT AND THE CAPABILITY TO SELF-PERFORM CONSTRUCTION STAKING MAY DO SO, HOWEVER THE CONTRACTOR SHALL ENGAGE THE SERVICES OF A PROFESSIONAL LAND SURVEYOR TO ESTABLISH HORIZONTAL AND VERTICAL CONTROL POINTS FOR THE PROJECT. THESE CONTROL POINTS SHALL BE USED TO CONFIRM THE ACCURACY OF THE GPS EQUIPMENT. CHECKS SHALL BE PERFORMED ON THE EQUIPMENT PERIODICALLY THROUGHOUT THE CONSTRUCTION PROCESS.
- CONTRACTOR IS RESPONSIBLE FOR ALL EXCAVATION WORK INCLUDING, BUT NOT LIMITED TO, THE DESIGN, INSTALLATION AND MAINTENANCE OF SHEETING, SHORING AND BRACING; PROTECTION OF SLOPES; UNDERPINNING; AND DEWATERING IN ACCORDANCE WITH ALL LOCAL, STATE, FEDERAL AND OSHA STANDARDS. THE CONTRACTOR SHALL ENGAGE THE SERVICES OF A QUALIFIED PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF NORTH CAROLINA TO DESIGN THE TEMPORARY SHEETING, SHORING AND BRACING IF REQUIRED FOR THE EXECUTION OF THE PROPOSED WORK. SEE SPECIFICATION SECTION 312000 FOR ADDITIONAL INFORMATION.
- ROADS SHALL BE KEPT CLEAN OF MUD, SEDIMENT AND OTHER CONSTRUCTION RELATED DEBRIS AT ALL TIMES DURING CONSTRUCTION OF THIS PROJECT. THIS MAY INCLUDE STREET SWEEPING AND ROUTINE WASHING AND SHALL BE INCLUDED IN THE CONTRACTOR'S BID.

**STORM DRAINAGE NOTES:**

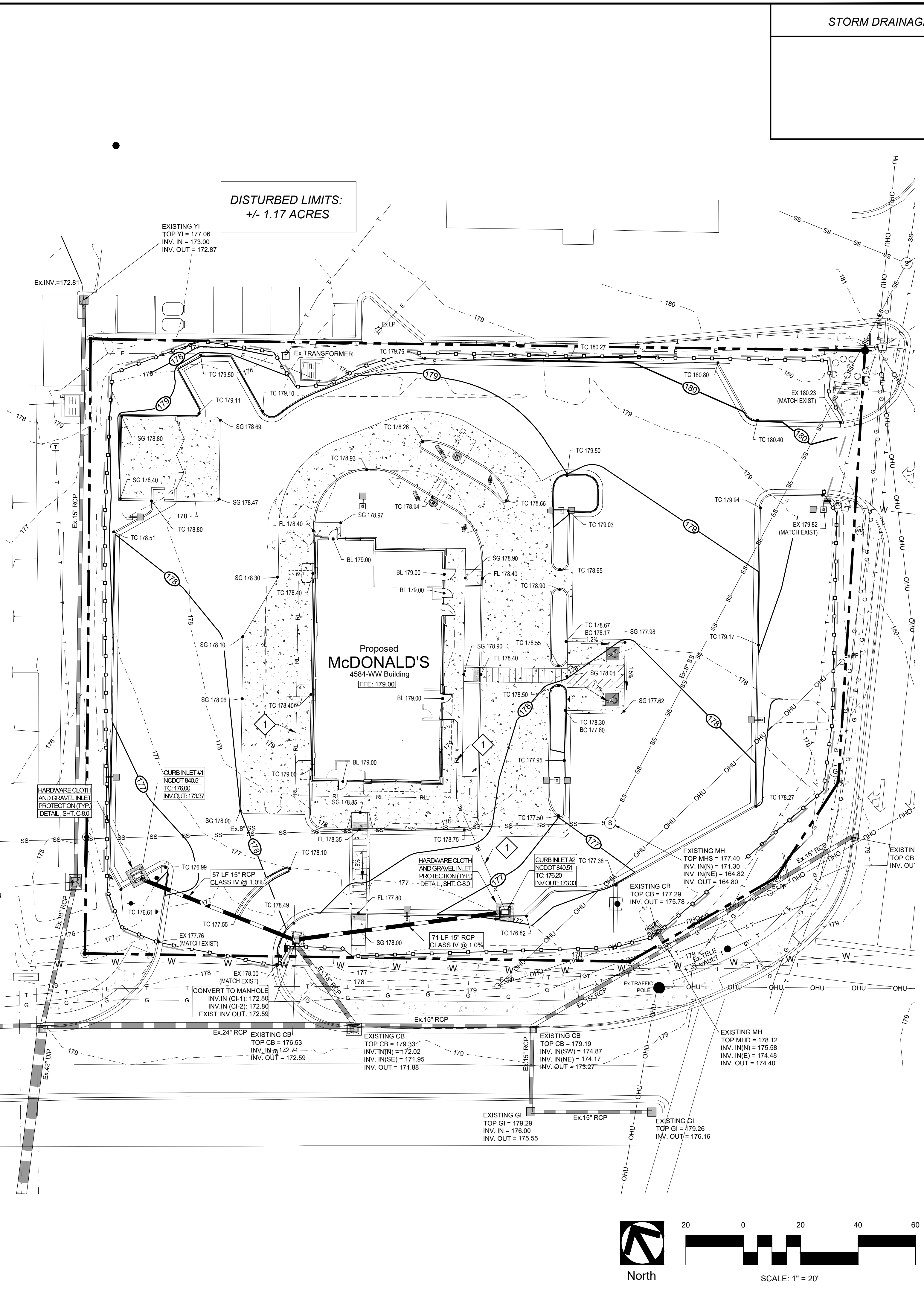
- ALL STORM DRAINAGE PIPE SHALL BE CLASS III REINFORCED CONCRETE CONFORMING TO ASTM C76 UNLESS NOTED OTHERWISE ON THE PLANS. PIPE JOINTS SHALL BE SEALED USING ROPE TYPE BUTYL RUBBER SEALANT CONFORMING TO ASTM C990. TRENCH BEDDING AND BACKFILL SHALL CONFORM TO TYPE 2 TRENCH AS DETAILED.
- HIGH DENSITY POLYETHYLENE (HDPE) PIPE AND POLYPROPYLENE PIPE ARE APPROVED ALTERNATES TO REINFORCED CONCRETE PIPE. PIPE SHALL BE DOUBLE WALL PIPE WITH A SMOOTH INTERIOR AND SHALL HAVE WATER TIGHT JOINTS. PIPE SHALL COMPLY WITH AASHTO STANDARDS FOR EACH RESPECTIVE PIPE TYPE. PIPE BEDDING AND HAUNCHING MATERIAL SHALL BE NCDOT #67 WASHED STONE, OR AS APPROVED BY THE MANUFACTURER. STONE SHALL EXTEND FROM 6 INCHES BELOW THE PIPE TO THE SPRINGLINE FROM THE SPRINGLINE TO ONE FOOT ABOVE THE TOP OF THE PIPE. BACKFILL MATERIAL SHALL BE CLASS III OR BETTER SOIL (AS CLASSIFIED BY ASTM D2321) COMPACTED TO 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY. INSTALLATION OF HDPE PIPE SHALL BE IN ACCORDANCE WITH THE NCDOT'S POLICY FOR THE INSTALLATION OF HDPE PIPE (LATEST EDITION), OR THE MANUFACTURER'S RECOMMENDATIONS, WHICHEVER IS THE MORE RESTRICTIVE.
- ROOF DRAIN PIPE SHALL BE SCHEDULE 40 PVC WITH GLUED JOINTS RUN AT 2% MINIMUM UNLESS OTHERWISE NOTED ON PLANS. REFER TO PLAN FOR SIZES. ALL ROOF DRAIN CLEANOUTS SHALL BE TRAFFIC BEARING.
- ALL STORM DRAINAGE STRUCTURES SHALL BE DESIGNED IN ACCORDANCE WITH NCDOT 840.40 (TRAFFIC BEARING PRECAST), EXCEPT WHERE OTHERWISE NOTED ON FIELD LEVEL STRUCTURES. NCDOT RATED STRUCTURES SHALL BE SOLID WALLS. WAFFLE WALL STRUCTURES WILL NOT BE ACCEPTED. STRUCTURES 10 FEET OR MORE IN DEPTH SHALL BE 4"x4" MINIMUM INSIDE DIMENSIONS REGARDLESS OF PIPE SIZE. YARD INLETS SHALL HAVE CONCRETE TOP AND WEIR OPENINGS ON ALL SIDES.
- CURB INLET STRUCTURES (DENOTED AS C1 # ON PLANS) SHALL CONFORM DIMENSIONALLY TO NCDOT STANDARD 840.02. FRAMES AND GRATES SHALL BE U.S. FOUNDRY - MODEL 5181. TYPE 'E', 'F', AND 'G' GRATES SHALL BE PROVIDED AS APPLICABLE.
- GRATE INLET STRUCTURES (DENOTED AS G1 # ON PLANS) SHALL CONFORM TO NCDOT STANDARDS 840.14 OR 840.15 WITH NCDOT STANDARD 840.16 FRAME AND GRATE, UNLESS OTHERWISE NOTED ON PLANS.
- YARD INLET STRUCTURES (DENOTED AS Y1 # ON PLANS) SHALL CONFORM TO NCDOT STANDARD 840.04 WITH NCDOT STANDARD TOP SLAB, 4-SIDED OPEN THROAT, AND MANHOLE ACCESS, UNLESS OTHERWISE NOTED ON PLANS.
- STORM DRAINAGE MANHOLES SHALL BE PRECAST CONCRETE CONFORMING TO NCDOT STANDARD 840.52. MANHOLES SHALL ALSO BE CONSTRUCTED IN ACCORDANCE WITH ASTM C-178, ASTM A-615, ASTM A-185 AND ASTM C-990. MANHOLE CASTINGS SHALL BE PROVIDED IN ACCORDANCE WITH THE SPECIFICATIONS.
- THE INVERTS OF ALL STORM DRAINAGE STRUCTURES SHALL BE GROUDED TO COMPLETELY DRAIN AND NOT HOLD WATER.
- EXISTING STORM DRAINAGE PIPE TO BE ABANDONED IN PLACE SHALL BE FILLED WITH FLOWABLE FILL.
- EXISTING STORM DRAINAGE STRUCTURES TO BE ABANDONED IN PLACE SHALL BE CUT A MINIMUM OF TWO FEET BELOW FINISHED GRADE AND FILLED WITH FLOWABLE FILL OR BACKFILL. STORM STRUCTURES SHALL BE REMOVED IN AREAS OF CONSTRUCTION, WHERE ROADWAYS, PARKING, BUILDING, BLEACHERS OR OTHER STRUCTURES HAVE BEEN PROPOSED.

**EROSION CONTROL SEQUENCE:**

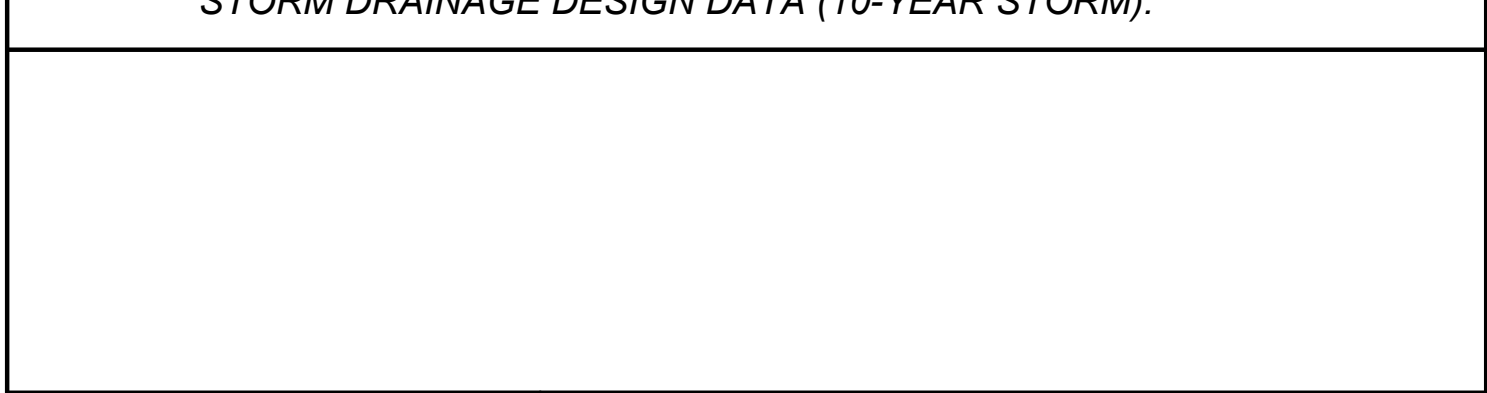
- FOLLOWING APPROVAL FROM EROSION CONTROL INSPECTOR CONTRACTOR TO BEGIN CLEARING AND DEMOLITION OF REMAINDER OF SITE.
  - CONTINUE TO PHASE 2 OF GRADING.
  - INSTALL DRAINAGE STRUCTURES, STORM PIPE AND INLET PROTECTION.
  - BEGIN ROUGH GRADING WHILE MAINTAINING EROSION CONTROL DEVICES IN ACCORDANCE WITH MAINTENANCE PLAN AND THE H.C. EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL.
  - BEGIN BUILDING CONSTRUCTION.
  - FINE GRADE, INSTALL CURBS AND GUTTER AND THEN STONE PARKING LOT.
  - STABILIZE AREAS THAT HAVE BEEN BROUGHT TO FINAL GRADE AND CHANGE INLET PROTECTION FROM WIRE AND STONE INLET PROTECTION TO SILT SACK INLET PROTECTION FOR INLETS COMPLETED IN AREAS WHERE CURB AND ASPHALT HAVE BEEN INSTALLED.
  - CONTINUE TO MAINTAIN EROSION CONTROL MEASURES UNTIL VEGETATIVE COVER HAS BEEN ESTABLISHED OVER ALL DISTURBED AREAS AND SITE HAS BEEN STABILIZED. REMOVE EROSION CONTROL MEASURES ONLY AFTER FINAL INSPECTION AND APPROVAL BY INSPECTOR.
  - ONCE CONSTRUCTION TRAFFIC IS NO LONGER NEEDED ON SITE, CONTRACTOR SHALL APPLY FINAL LAYERS OF ASPHALT IN THE PARKING LOT AREAS.
  - ONCE CONSTRUCTION IS COMPLETE, CONTRACTOR SHALL REMOVE ALL FINAL EROSION CONTROL MEASURES AND CALL EROSION CONTROL INSPECTOR TO SITE FOR FINAL INSPECTION AND RELEASE OF EROSION CONTROL PERMIT.
- SELF INSPECTION--EFFECTIVE APRIL 1, 2019, PERSONS CONDUCTING LAND-DISTURBING ACTIVITIES, LARGER THAN ONE (1) ACRE, MUST INSPECT THEIR PROJECT AFTER EACH PHASE OF THE PROJECT, AND DOCUMENT THE INSPECTION BY WRITING ON APPROVED FORMS AVAILABLE FROM THE CITY OF BURLINGTON EROSION CONTROL DEPARTMENT OFFICE.

**STORM DRAINAGE KEYNOTES:**

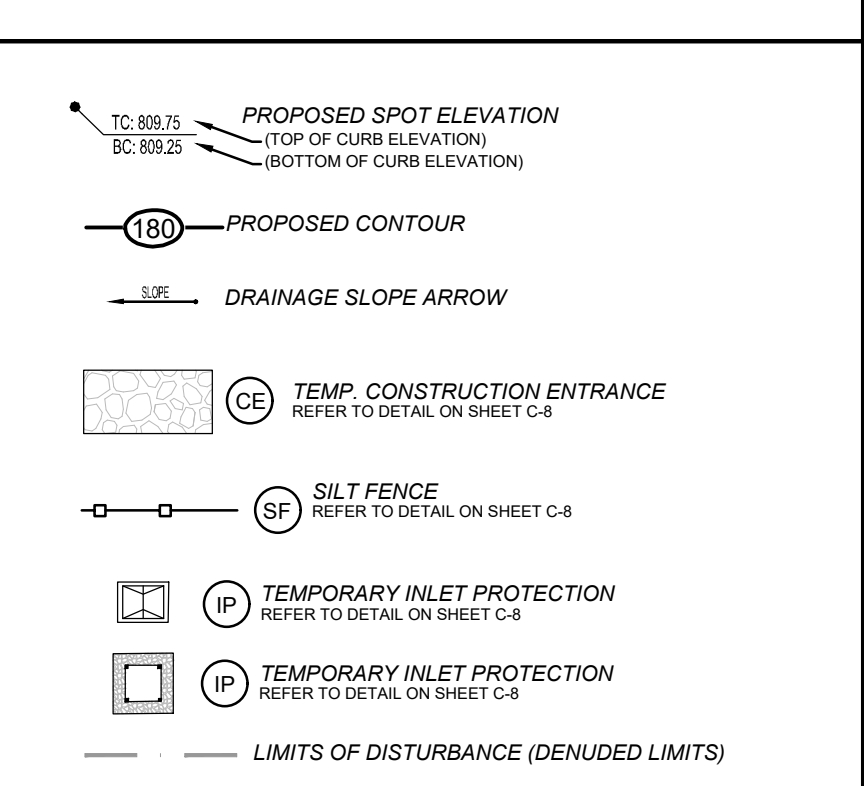
- PROPOSED ROOF LEADER CONNECTION FROM BUILDING AT 1% MIN. SLOPE; VERIFY SIZE, LOCATION & INVERTS WITH ARCHITECTURAL AND PLUMBING PLANS PRIOR TO CONSTRUCTION.
  - TRAFFIC RATED CLEANOUT. REFER TO DETAIL ON SHEET C-9.
- ALL CONSTRUCTION MUST CONFORM TO THE UNDERGROUND UTILITY PROTECTION ACT
- 811**
- BEFORE YOU DIG!  
CALL 811 N.C. ONE-CALL CENTER  
IT'S THE LAW!



**STORM DRAINAGE DESIGN DATA (10-YEAR STORM):**



**GRADING / EROSION CONTROL LEGEND:**



**IMPERVIOUS CALCULATIONS:**

<b>EXISTING IMPERVIOUS CALCULATIONS:</b>	
BUILDING:	0.104 ac. - 8.26 %
PAVEMENT:	0.910 ac. - 72.28 %
OPEN SPACE:	0.245 ac. - 19.46 %
<b>TOTAL SITE:</b>	<b>1.259 ac. - 100.0 %</b>
<b>TOTAL IMPERVIOUS:</b>	<b>1.014 ac. - 80.54 %</b>
<b>PROPOSED IMPERVIOUS CALCULATIONS:</b>	
BUILDING:	0.088 ac. - 6.99 %
PAVEMENT:	0.837 ac. - 66.00 %
OPEN SPACE:	0.340 ac. - 27.01 %
<b>TOTAL SITE:</b>	<b>1.259 ac. - 100.0 %</b>
<b>TOTAL IMPERVIOUS:</b>	<b>0.919 ac. - 72.99 %</b>
<b>NET DECREASE OF IMPERVIOUS: 0.095 AC - 7.55%</b>	

**PAVEMENT SPECIFICATIONS**

CONTRACTOR TO REFER TO SOILS REPORT FOR SITE SPECIFIC PAVEMENT SPECS.

NOTE: McDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTON TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF McDONALD'S. OTHERWISE, GENERAL CONTRACTOR WILL BE CHARGED.

**UTILITY INFORMATION**

SIZE	TYPE	LOCATION
WATER	EX. WATER SERVICE FROM N. MAIN STREET TO EX. BUILDING.	
SANITARY SEWER	EX. SANITARY SEWER MANHOLE ON SITE NEAR THE SOUTH CORNER.	
	EX. 4" PVC SEWER FROM BUILDING TO THE MANHOLE.	
	EX. 8" SEWER LINE FROM OFF-SITE EAST CORNER OF SITE TO MANHOLE.	
STORM	EX. 8" SEWER LINE FROM MANHOLE RUNS TO THE WEST THEN OFF-SITE.	
	EX. 18" RCP RUNS FROM EX. CATCH BASIN AT WEST CORNER OF SITE ACROSS ENTRANCE DRIVE TO ANOTHER EX. CATCH BASIN.	
	EX. 18" RCP RUNS FROM CATCH BASIN TO EX. CATCH BASIN AT EDGE OF W. CORNELIUS HARNETT BLVD.	
GAS	EX. GAS LINES RUN ALONG W. CORNELIUS HARNETT BLVD. AND NORTH MAIN STREET.	
	EX. CATCH BASIN AT SOUTH CORNER OF SITE WITH PIPE TO EX. 15" RCP THAT RUNS OFF-SITE ALONG THE SOUTH SIDE.	
ELECTRIC	EX. UNDERGROUND POWER LINES RUN ACROSS SEVERAL AREAS OF PROPERTY TO BUILDINGS LIGHTS, ETC.	
TELEPHONE	EX. TELEPHONE LINES RUN ALONG W. CORNELIUS HARNETT BLVD., NORTH MAIN STREET AND ALONG REAR PROPERTY LINE WITH SERVICE LINE TO REAR OF EX. BUILDING.	

**BASE MAP INFORMATION**

BASED ON: SURVEY BY: SGROI GEOMATICS, PLLC  
1405-A NC 66  
KERNERSVILLE, NC 27284  
Dated: 01-30-24 / Last Revised: 02-12-24

PLAN SCALE: As Noted

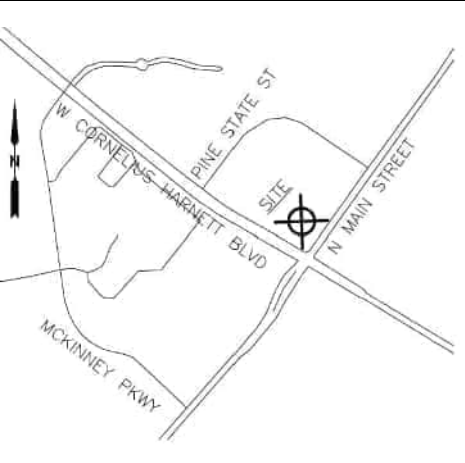
STREET ADDRESS  
102 W. CORNELIUS HARNETT BLVD.

CITY: LILLINGTON STATE: NORTH CAROLINA

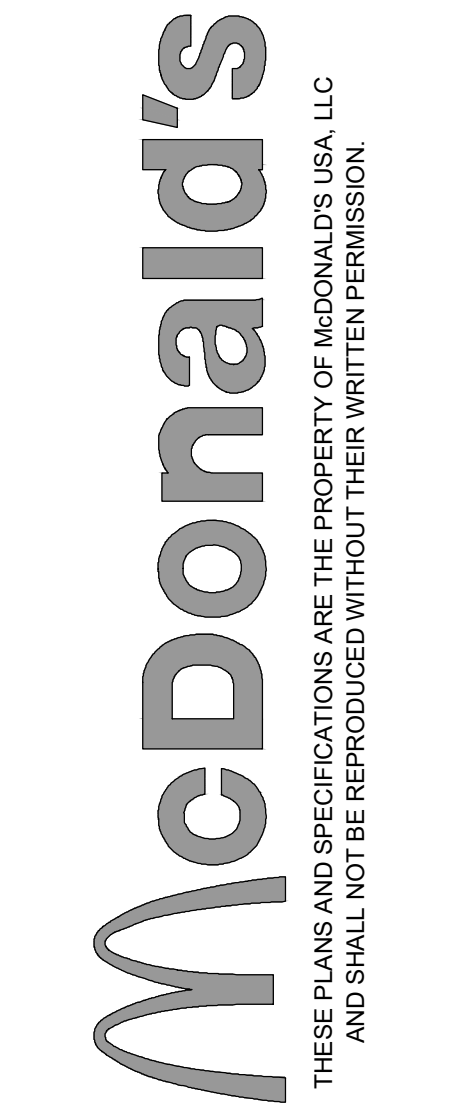
COUNTY: HARNETT

TAX PARCEL NUMBER: 0650-87-4384 LOCATION CODE NUMBER: 32-0312

**VICINITY MAP - n.t.s.**



BY	DATE	DESCRIPTION



STATUS	DATE	BY
FINAL	12-13-24	JKB
PLAN CHECKED	12-13-24	JAL
SAPA PROJECT #	23-233	

**C-5.1**  
GRADING / FINAL  
EROSION CONTROL PLAN

**SITE UTILITY KEYNOTES:**

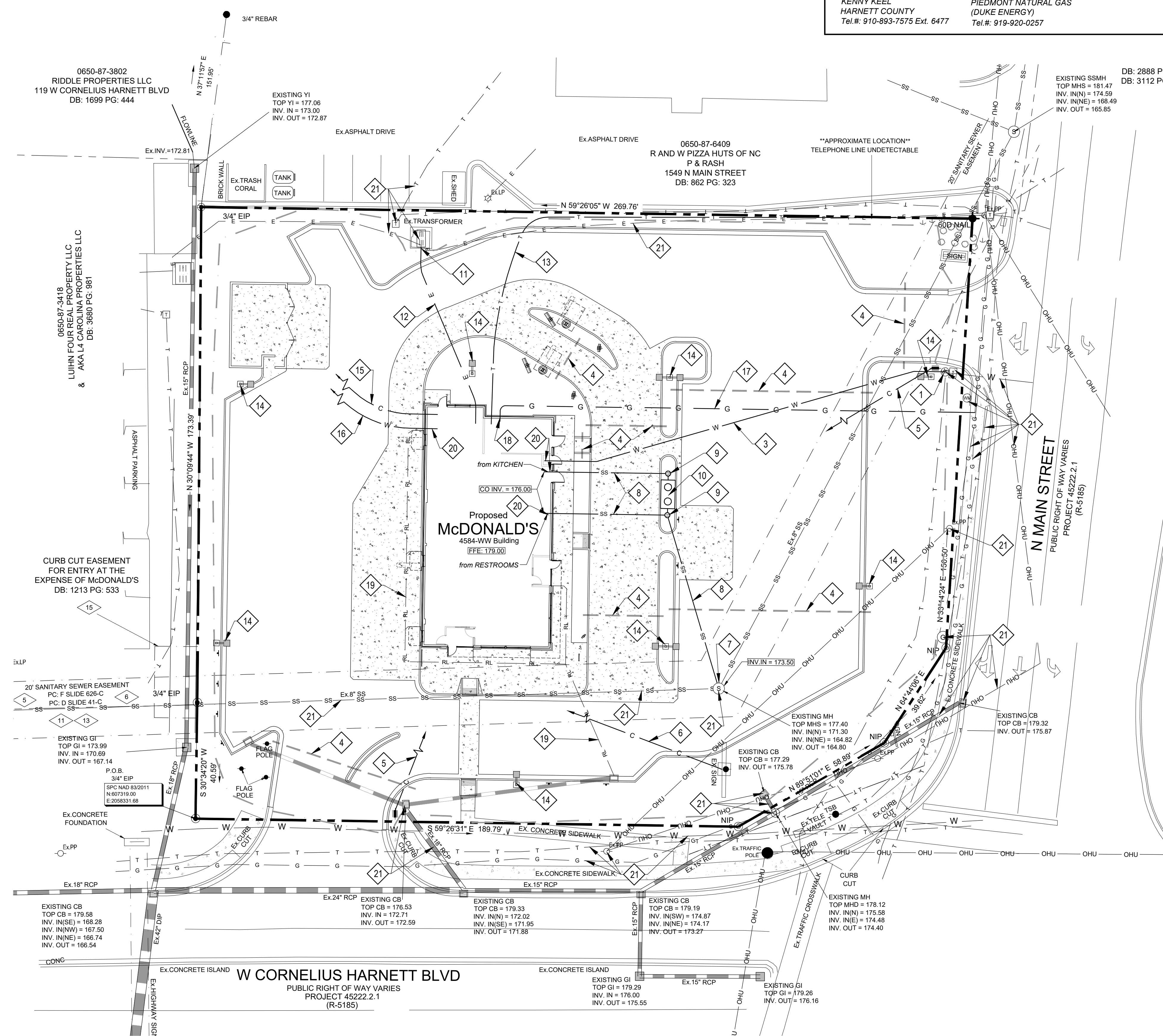
- 1 GC TO REUSE EXISTING 1-1/2" WATER CONNECTION TAP ON EXISTING MAIN AND EXISTING 1-1/2" METER FOR DOMESTIC WATER SERVICE. CONTRACTOR TO SET NEW REDUCED PRESSURE BACKFLOW DEVICE (RP2) AS REQUIRED PER TOWN OF LILLINGTON STANDARDS. CONTRACTOR TO COORDINATE WITH THE TOWN OF LILLINGTON PUBLIC WORKS (Tel.# 910-893-2654) FOR INSTALLATION / VERIFICATION OF DOMESTIC WATER SERVICE AND TO VERIFY TYPE OF BACKFLOW DEVICE REQUIRED.
- 2 GC TO REUSE EXISTING 1" WATER CONNECTION TAP ON EXISTING MAIN AND EXISTING 1" METER FOR IRRIGATION WATER SERVICE. CONTRACTOR TO SET NEW REDUCED PRESSURE BACKFLOW DEVICE (RP2) AS REQUIRED PER TOWN OF LILLINGTON STANDARDS. CONTRACTOR TO COORDINATE WITH THE TOWN OF LILLINGTON PUBLIC WORKS (Tel.# 910-893-2654) FOR INSTALLATION / VERIFICATION OF IRRIGATION WATER SERVICE AND TO VERIFY TYPE OF BACKFLOW DEVICE REQUIRED.
- 3 2" DOMESTIC TYPE "K" COPPER WATER SERVICE. CONTRACTOR SHALL COORDINATE WITH THE TOWN OF LILLINGTON PUBLIC WORKS. ALL WATER LINES SHALL HAVE A FINAL COVER DEPTH OF 3'-0" IN NON-TRAFFIC AREAS AND 4'-0" IN TRAFFIC AREAS UNLESS OTHERWISE NOTED.
- 4 COORDINATE IRRIGATION CONNECTION AND SLEEVE SIZE WITH IRRIGATION CONTRACTOR AND MCD'S CONSTRUCTION MANAGER.
- 5 G.C. TO CONNECT ALL DIRECTIONAL SIGNAGE TO NEW BUILDING AS REQUIRED. COORDINATE WITH MCD'S CONSTRUCTION MANAGER.
- 6 1" CONDUIT WITH #8 WIRE TO EXISTING McDONALD'S GROUND SIGN. FIELD VERIFY FINAL LOCATION WITH McDONALD'S CONSTRUCTION MANAGER PRIOR TO LAYING LINE.
- 7 SANITARY SEWER SERVICE CONNECTION TO EXISTING SANITARY SEWER MANHOLE. CONTRACTOR SHALL VERIFY INVERT OF EXISTING MANHOLE PRIOR TO LAYING PROPOSED SEWER SERVICE AND STORM DRAINAGE AND VERIFY NO CONFLICTS WILL OCCUR. CONTRACTOR TO CONTACT STIMMEL IMMEDIATELY IF ANY CONFLICT SHOULD ARISE. SEE DETAIL SHEET C-9. ALL SANITARY SEWER WORK SHALL BE TO TOWN OF LILLINGTON STANDARDS.
- 8 4" PVC SANITARY SEWER LINE. ALL PVC SEWER PIPING SHALL HAVE TRACER WIRE PER NC PLUMBING CODE SECTION 306.2.4. BEDDING AND COVER PER SUPPLIER SPECIFICATIONS). NOTE: 1/8" / FT. MINIMUM SLOPE FOR 4" LINES. SEWER SERVICE SHALL HAVE A FINAL COVER DEPTH OF 3'-0" OTHERWISE NOTED.
- 9 SANITARY SEWER CLEANOUT. REFER TO DETAIL ON SHEET C-9
- 10 MINIMUM 1500 GALLON CAPACITY GREASE INTERCEPTOR. PER ARCHITECTURAL AND PLUMBING PLANS.
- 11 ELECTRICAL SERVICE CONNECTION TO EXISTING TRANSFORMER. CONTRACTOR SHALL COORDINATE WITH LOCAL POWER SERVICE PROVIDER REPRESENTATIVE.
- 12 UNDERGROUND ELECTRIC SERVICE. CONTRACTOR SHALL COORDINATE WITH LOCAL POWER SERVICE PROVIDER REPRESENTATIVE AND McDONALD'S CONSTRUCTION MANAGER ON-SITE TO DISCUSS PROPOSED ELECTRICAL SERVICE PRIOR TO CONSTRUCTION AND / OR DEMOLITION.
- 13 UNDERGROUND TELEPHONE SERVICE. CONTRACTOR SHALL COORDINATE WITH LOCAL TELEPHONE PROVIDER REPRESENTATIVE.
- 14 POLE MOUNTED AREA LIGHT. SEE LIGHTING PLAN BY SECURITY LIGHTING. ALL LOT LIGHT WIRES TO BE CONTINUOUS RUN FROM PANELS TO LOT LIGHTS WITH NO SPLICES. CONTRACTOR TO COORDINATE.
- 15 INSTALL ONE - 1" PVC ELECTRICAL CONDUIT FOR ELECTRICAL SERVICE TO TRASH CORRAL. COORDINATE WITH McDONALD'S CONSTRUCTION MANAGER.
- 16 HOT WATER TO HOSE BIB AT DUMPSTER LOCATION. REFER TO PLUMBING PLANS (BY OTHERS).
- 17 PROPOSED NATURAL GAS SERVICE TO TIE TO EXISTING SERVICE LINE. COORDINATE WITH LOCAL NATURAL GAS SERVICE PROVIDER REPRESENTATIVE AND McDONALD'S CONSTRUCTION MANAGER FOR PROPER PROCEDURE AND SCHEDULING OF CONNECTION TO EXISTING NATURAL GAS SERVICE.
- 18 NEW GAS METER AND SERVICE PRESSURE REGULATOR. COORDINATE WITH LOCAL NATURAL GAS SERVICE REP.
- 19 PROPOSED ROOF LEADERS. REFER TO GRADING PLAN (SHEET C-5.1) FOR MORE INFORMATION.
- 20 COORDINATE EXACT LOCATION, DEPTH AND ROUTING OF DOMESTIC WATER AND SANITARY SEWER SERVICE CONNECTIONS WITH PLUMBING ENGINEER PRIOR TO CONSTRUCTION.
- 21 PROTECT EXISTING UTILITIES TO REMAIN - TYPICAL. G.C. TO CONTACT ALL UTILITY COMPANIES TO INSURE THE EXISTING UTILITY SERVICES ARE PROPERLY SHUT-DOWN PRIOR TO THE BEGINNING OF ANY SITE AND/OR DEMOLITION ACTIVITIES.

**SITE UTILITY NOTES:**

- 1) THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON THE PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COSTS HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE OWNER FROM THE PRESENCE OF SUCH PIPE, OTHER OBSTRUCTIONS OR FROM ANY DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NON-SUBSCRIBING UTILITIES. THE CONTRACTOR(S) SHALL CONTACT NORTH CAROLINA ONE-CALL UTILITY LOCATION SERVICE AT 1-800-632-4949 FOR ASSISTANCE IN LOCATING EXISTING UTILITIES. CALL AT LEAST 3 DAYS PRIOR TO ANY DIGGING.
- 2) UTILITY INFORMATION SHOWN HEREON WAS OBTAINED FROM THE SURVEYOR ON SHEET C-2 BELOW AND MAY OR MAY NOT BE EITHER ACCURATE OR COMPLETE, AND HAS NOT BEEN VERIFIED BY THE ENGINEER. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXACT LOCATIONS OF EXISTING UTILITIES AND IS RESPONSIBLE FOR ANY DAMAGE TO ANY UTILITIES, EITHER PUBLIC OR PRIVATE, SHOWN HEREON OR NOT SHOWN HEREON. ANY REPAIRS SHALL BE DONE TO THE SATISFACTION OF THE APPROPRIATE UTILITY COMPANY.
- 3) THE GENERAL CONTRACTOR SHALL CONFIRM ALL NEW UTILITY TAP LOCATIONS WITH THE UTILITY OWNERS.
- 4) IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY THE ACTUAL LOCATION AND AVAILABILITY OF ALL EXISTING AND PROPOSED UTILITIES IN THE FIELD PRIOR TO GROUND BREAKING.
- 5) MINIMUM COVER FOR CONDUITS SHALL BE 36 INCHES UNLESS OTHERWISE SHOWN OR NOTED ON THESE PLANS.
- 6) ALL MANHOLES, VALVES AND MONUMENT FRAMES SHALL BE SET TO FINISH GRADE AFTER PAVING.
- 7) THE CONTRACTOR SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE STATE CONSTRUCTION SAFETY ORDERS. TRENCHES SHALL BE SHORED IN ACCORDANCE WITH OSHA.
- 8) EQUIPMENT AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED PROVIDED PRIOR APPROVAL HAS BEEN OBTAINED FROM THE OWNER IN WRITING PRIOR TO ORDERING OR INSTALLATION. THE CONTRACTOR SHALL WAIVE ANY CLAIM FOR ALTERNATE COST RELATED TO THE SUBSTITUTION OF ALTERNATE EQUIPMENT.
- 9) CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE ENGINEER.
- 10) ALL UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPALITY UTILITIES DIVISION AND CROSS CONNECTION CONTROL REGULATIONS AND STANDARDS.
- 11) SITE UTILITY CONTRACTOR TO PROVIDE WATER, SANITARY SEWER, AND ROOF DRAIN LEADERS TO WITHIN 5 FEET OF THE BUILDING. CONTRACTOR SHALL COORDINATE SITE PLAN CONNECTIONS WITH THE ARCHITECTURAL BUILDING PLANS.
- 12) UNDERGROUND CONDUITS TO SIGNS, LOT LIGHTS, ETC., SHALL BE PLACED IN GRASS OR LANDSCAPE AREAS WHENEVER POSSIBLE. THE LOCATION OF THE CONDUIT AS SHOWN ON THESE PLANS SHALL BE CONSIDERED TO BE SCHEMATIC WITH ACTUAL LOCATION TO BE VERIFIED BY THE GENERAL CONTRACTOR. PVC SHC 40 SLEEVES SHALL BE INSTALLED FOR ALL CONDUIT CROSSING UNDER PAVED AREAS.
- 13) THE CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES AND CIRCUITING.
- 14) THE CONTRACTOR PRIOR TO POURING THE BUILDING SLAB AND FOUNDATION, SHALL VERIFY THE ACCESSIBILITY OF THE SANITARY SEWER SERVICE AND OBTAIN CONFIRMATION FROM THE DESIGN ENGINEER REGARDING SANITARY SEWER SERVICE FUNCTIONALITY. G.C. TO CONFIRM SANITARY SEWER INVERT LEAVING BUILDING WILL WORK WITH INVERT ELEVATION SHOWN UPSTREAM OF GREASE TRAP.
- 15) UTILITY WORK IN THE RIGHT OF WAY REQUIRES A 3-PARTY NCDOT ENCROACHMENT.
- 16) ALL WORK SHALL BE IN ACCORDANCE WITH TOWN OF LILLINGTON ENGINEERING SPECIFICATIONS AND STANDARD DRAWINGS.

**UTILITY CONTACTS:**

<b>SANITARY SEWER &amp; STORM SEWER</b> SHANE CUMMINGS TOWN OF LILLINGTON Tel.#: 910-893-0314	<b>FIRE</b> ROGER SULLIVAN HARNETT COUNTY Tel.#: 910-893-0747	<b>ELECTRIC</b> CRAIG ARGO DUKE ENERGY Tel.#: 980-521-8076
<b>WATER</b> KENNY KEEL HARNETT COUNTY Tel.#: 910-893-7575 Ext. 6477	<b>GAS</b> MARCUS THOMPSON PIEDMONT NATURAL GAS (DUKE ENERGY) Tel.#: 919-920-0257	<b>TELEPHONE</b> TBD



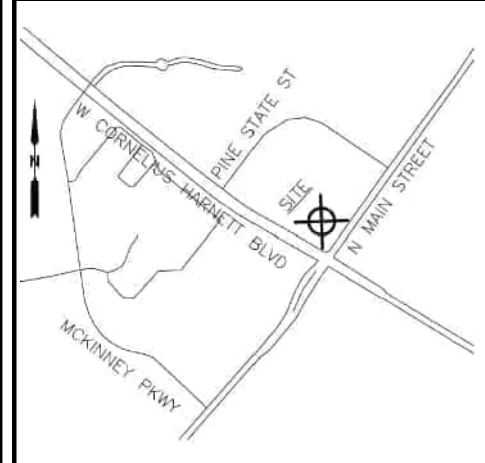
**UTILITY INFORMATION**

WATER	SANITARY SEWER	STORM	GAS	ELECTRIC	TELEPHONE
Ex. WATER SERVICE FROM N. MAIN STREET TO EX. BUILDING.	Ex. SANITARY SEWER MANHOLE ON SITE NEAR THE SOUTH CORNER. Ex. 4" PVC SEWER FROM BUILDING TO THE MANHOLE. Ex. 8" SEWER LINE FROM OFF-SITE EAST CORNER OF SITE TO MANHOLE. Ex. 8" SEWER LINE FROM MANHOLE RUNS TO THE WEST THEN OFF-SITE.	Ex. 18" RCP RUNS FROM EX. CATCH BASIN AT WEST CORNER OF SITE ACROSS ENTRANCE DRIVE TO ANOTHER EX. CATCH BASIN. Ex. 18" RCP RUNS FROM CATCH BASIN TO EX. CATCH BASIN AT EDGE OF W. CORNELIUS HARNETT BLVD. Ex. CATCH BASIN AT SOUTH CORNER OF SITE WITH PIPE TO EX. 18" RCP THAT RUNS OFF-SITE ALONG THE SOUTH SIDE.	Ex. GAS LINES RUN ALONG W. CORNELIUS HARNETT BLVD. AND NORTH MAIN STREET.	Ex. OVERHEAD POWER LINES ACROSS SOUTH END OF SITE. Ex. UNDERGROUND POWER LINES RUN ACROSS SEVERAL AREAS OF PROPERTY TO BUILDING LIGHTS, ETC.	Ex. TELEPHONE LINES RUN ALONG W. CORNELIUS HARNETT BLVD., NORTH MAIN STREET AND ALONG REAR PROPERTY LINE WITH SERVICE LINE TO REAR OF EX. BUILDING.

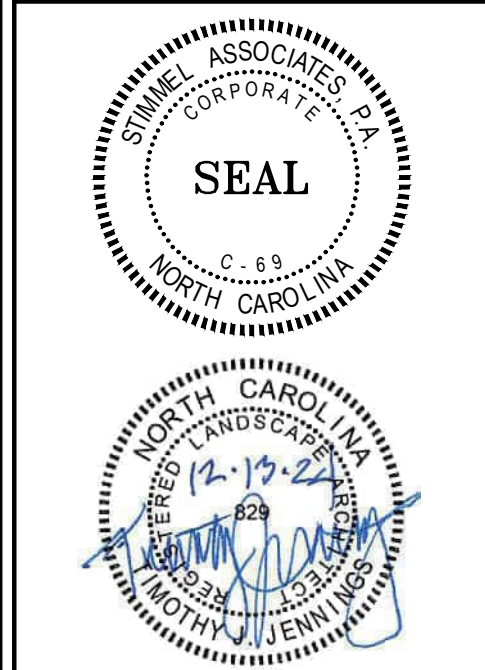
**BASE MAP INFORMATION**

<b>BASED ON:</b>	<b>SURVEY BY:</b> SGROI GEOMATICS, PLLC 1405-A NC 66 KERNERSVILLE, NC 27284 Dated: 01-30-24 / Last Revised: 02-12-24
<b>PLAN SCALE:</b> As Noted	
<b>STREET ADDRESS:</b> 102 W. CORNELIUS HARNETT BLVD.	
<b>CITY:</b> LILLINGTON	<b>STATE:</b> NORTH CAROLINA
<b>COUNTY:</b> HARNETT	
<b>TAX PARCEL NUMBER:</b> 0650-87-4384	<b>LOCATION CODE NUMBER:</b> 32-0312

**VICINITY MAP - n.t.s.**



**stimmel**  
LANDSCAPE ARCHITECTURE  
CIVIL ENGINEERING  
LAND PLANNING  
601 N. TRADE STREET, SUITE 200  
WINSTON-SALEM, NC 27101  
P: 336.723.1067  
www.stimmelpa.com

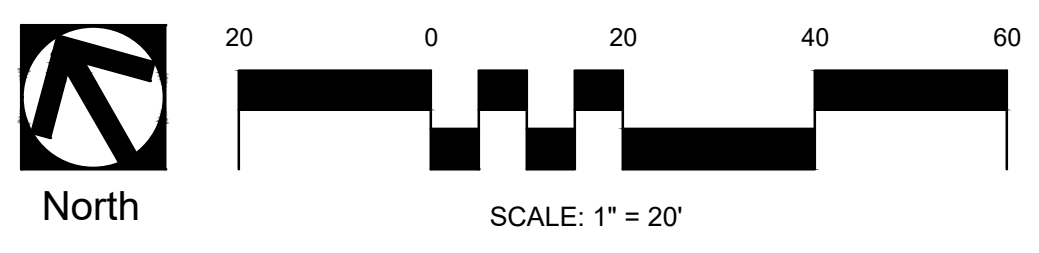


REV	DATE	DESCRIPTION

**McDonald's**  
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S USA, LLC AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

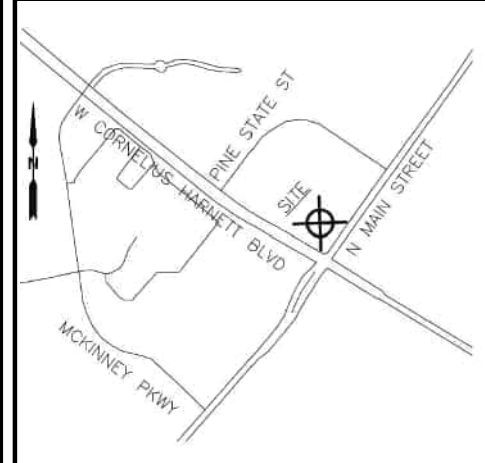
STATUS	DATE	BY
FINAL	12-13-24	JKB
PLAN CHECKED	12-13-24	JAL
SAPA PROJECT #	23-233	

**C-6**  
**SITE UTILITY PLAN**

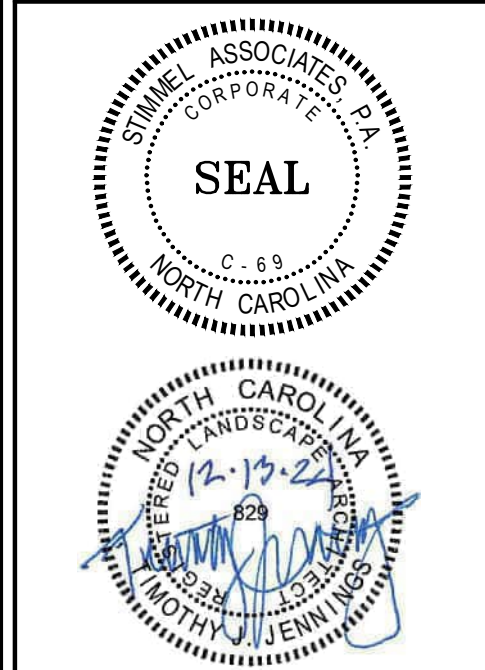








**stimmel**  
 LANDSCAPE ARCHITECTURE  
 CIVIL ENGINEERING  
 LAND PLANNING  
 601 N. TRADE STREET, SUITE 200  
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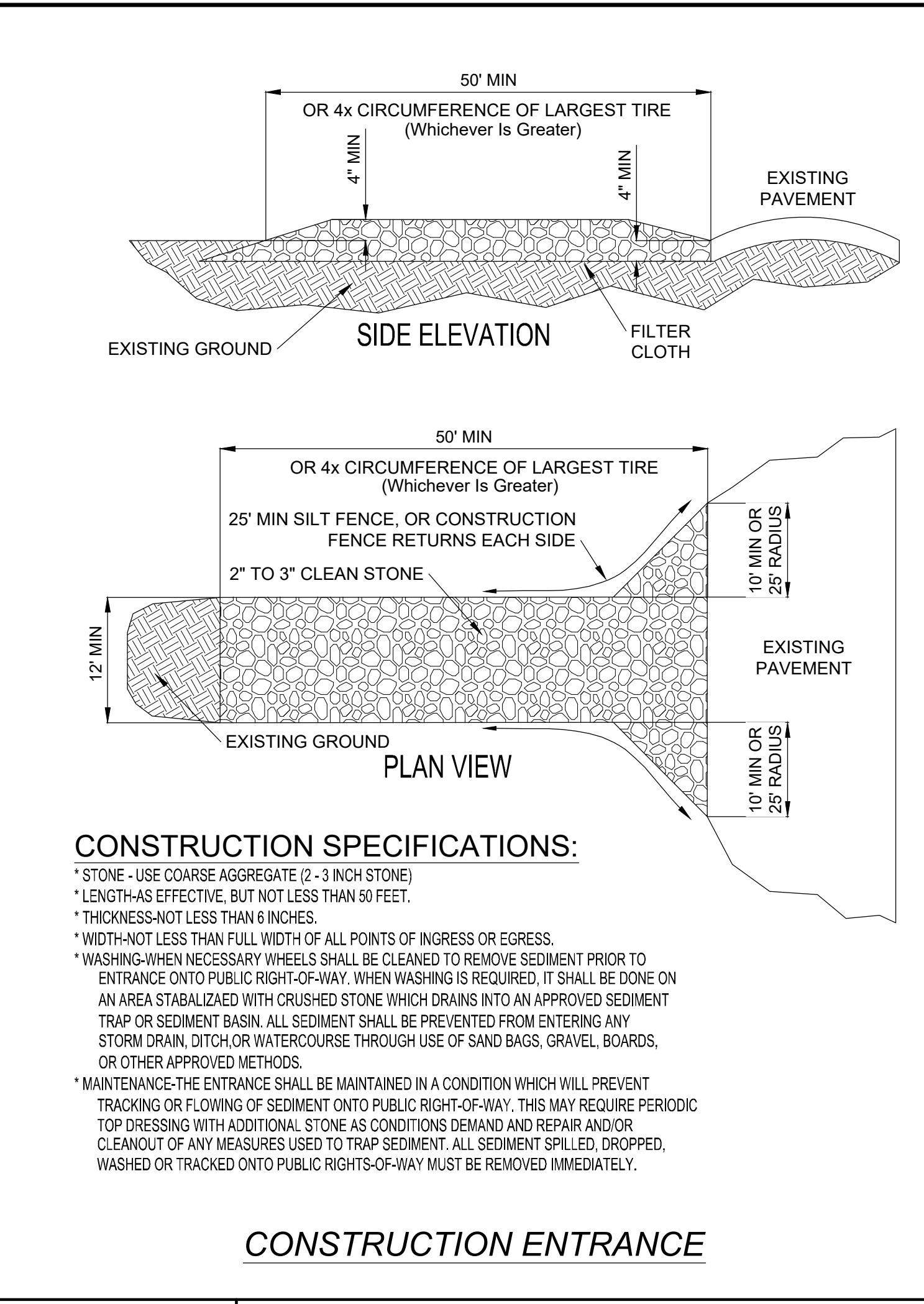
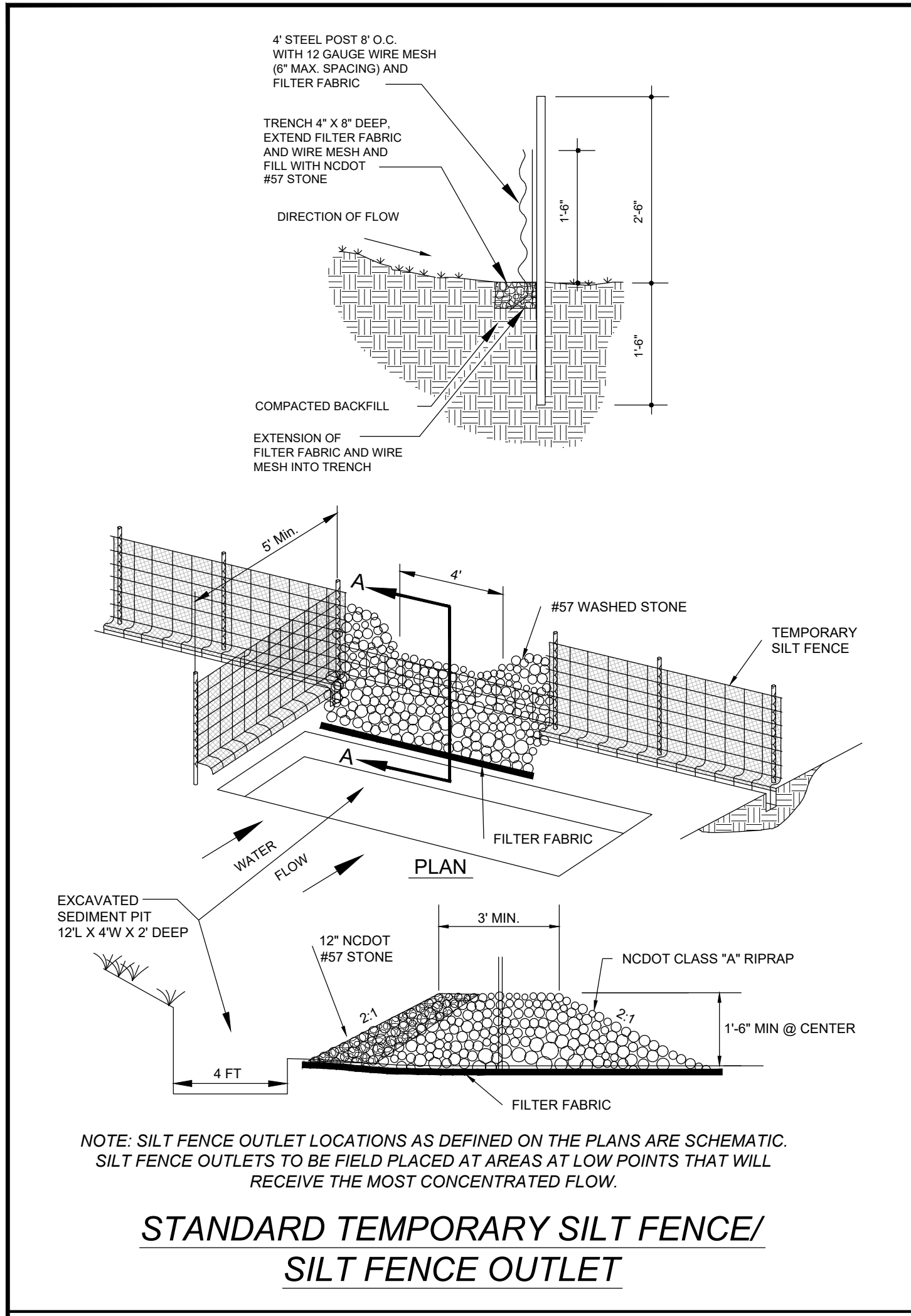


REV	DATE	DESCRIPTION

**McDonald's**  
 THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S USA, LLC AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

STATUS	DATE	BY
FINAL	12-13-24	JKB
PLAN CHECKED	12-13-24	JAL
SAPA PROJECT #	23-233	

**C-8.0**  
 EC DETAILS



**SILT SACK® SPECIFICATIONS**

NOTE: THE SILTSACK® WILL BE MANUFACTURED FROM A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS THE FOLLOWING SPECIFICATIONS.

**REGULAR FLOW SILTSACK®**  
 (FOR AREAS OF LOW TO MODERATE PRECIPITATION AND RUN-OFF)

PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4832	300 LBS
GRAB TENSILE ELONGATION	ASTM D-4832	20%
PUNCTURE	ASTM D-4833	120 LBS
MULLEN BURST	ASTM D-3786	800 PSI
TRAPEZOID TEAR	ASTM D-4533	120 LBS
UV RESISTANCE	ASTM D-3355	80%
APPARENT OPENING SIZE	ASTM D-4751	40 US SIEVE
FLOW RATE	ASTM D-4491	40 GAL/MIN/ SQ FT
PERMITTIVITY	ASTM D-4491	0.55 SEC -1

**HI-FLOW SILTSACK®**  
 (FOR AREAS OF MODERATE TO HEAVY PRECIPITATION AND RUN-OFF)

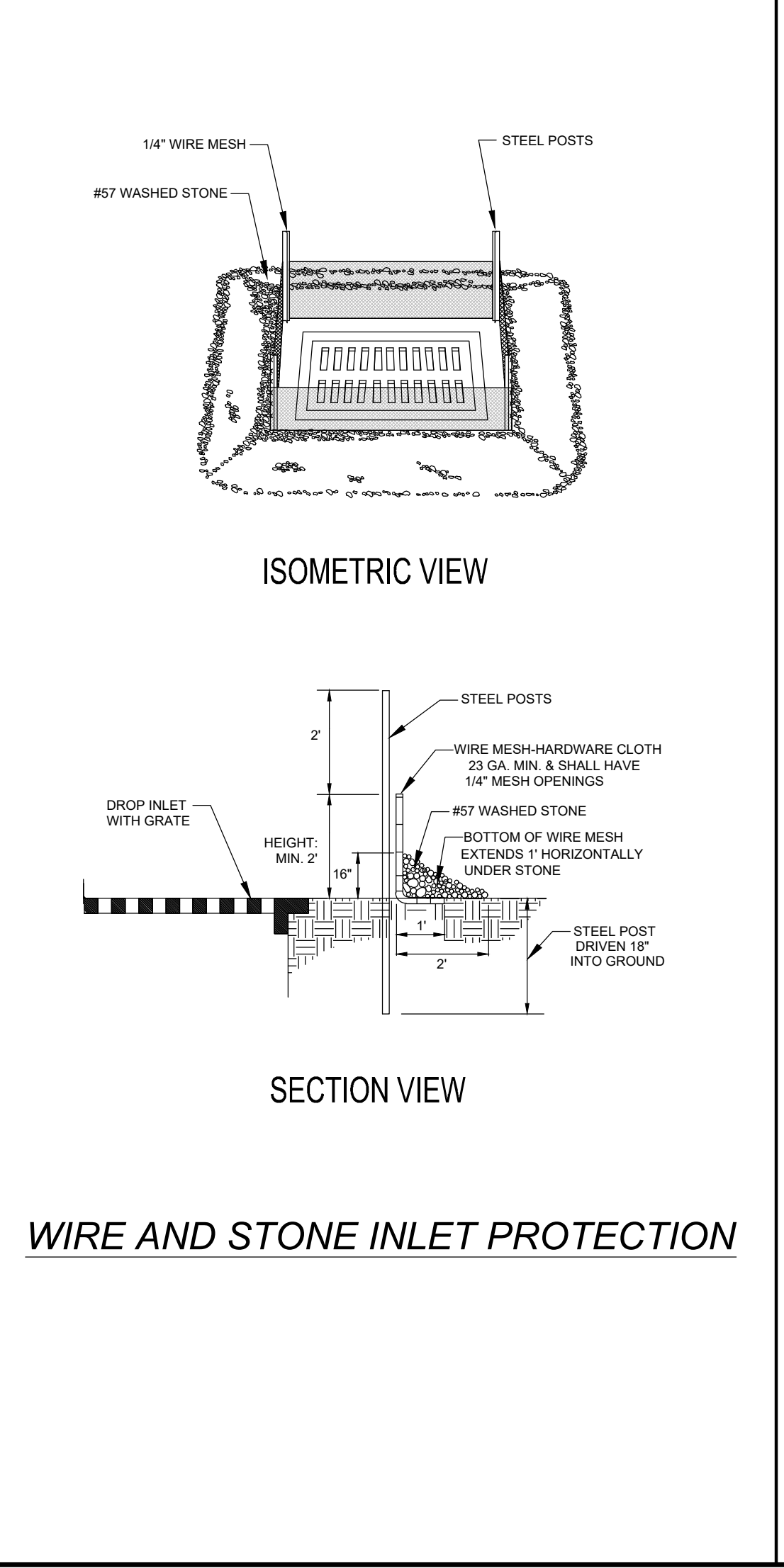
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4832	265 LBS
GRAB TENSILE ELONGATION	ASTM D-4832	20%
PUNCTURE	ASTM D-4833	135 LBS
MULLEN BURST	ASTM D-3786	420 PSI
TRAPEZOID TEAR	ASTM D-4533	45 LBS
UV RESISTANCE	ASTM D-3355	90%
APPARENT OPENING SIZE	ASTM D-4751	20 US SIEVE
FLOW RATE	ASTM D-4491	200 GAL/MIN/ SQ FT
PERMITTIVITY	ASTM D-4491	1.5 SEC -1

**OIL-ABSORBANT SILTSACK®**  
 (FOR AREAS WHERE THERE IS A CONCERN FOR OIL RUN-OFF OR SPILLS)

DEPENDING ON YOUR PARTICULAR APPLICATION, THE SILTSACK® CAN BE MADE FROM EITHER ONE OF THE ABOVE FABRICS WITH AN OIL-ABSORBENT PILLOW INSERT, OR MADE COMPLETELY FROM AN OIL-ABSORBENT SILTSACK® WITH A WOVEN PILLOW INSERT.

NOTE: MUST USE SILT SACK BRAND INLET INSERT OR CITY OF WINSTON-SALEM EROSION CONTROL APPROVED EQUAL.

**SILT SACK INLET PROTECTION**



**TEMPORARY SEEDING SPECS**

**FOR LATE WINTER/EARLY SPRING:**  
 SEEDING MIXTURE SPECIES: RATE (LB/ACRE):  
 RYE (GRAIN) 120  
 ANNUAL LESPEDEZA 50  
 (KOBÉ IN PIEDMONT & COASTAL PLAIN, KOREAN IN MOUNTAINS)  
 SEEDING DATES:  
 MOUNTAINS-FEB. 1 - MAY 1  
 PIEDMONT-JAN. 1 - MAY 1  
 COASTAL PLAIN-DEC. 1 - APR. 15  
 SOIL AMENDMENTS:  
 FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LB/ACRE 10-10-10 FERTILIZER.  
 MULCH:  
 APPLY 4,000 LB/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT NETTING (APPLIED AT A RATE OF 350 GALLONS PER ACRE), OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.  
 SOIL AMENDMENTS: FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LB/ACRE 10-10-10 FERTILIZER.  
 MAINTENANCE: REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, REFERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.

**FOR SUMMER:**  
 SEEDING MIXTURE SPECIES: GERMAN MILLET RATE (LB/ACRE): 40  
 COASTAL PLAIN-APR. 15 - AUG. 15  
 MOUNTAINS-MAY 1 - AUG. 15  
 SOIL AMENDMENTS: FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LB/ACRE 10-10-10 FERTILIZER.

**FOR LATE WINTER/EARLY SPRING:**  
 MULCH: APPLY 4,000 LB/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT NETTING (APPLIED AT A RATE OF 350 GALLONS PER ACRE), OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.  
 REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, REFERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.

**FOR LATE WINTER/EARLY SPRING:**  
 SEEDING MIXTURE SPECIES: RATE (LB/ACRE):  
 RYE (GRAIN) 120  
 ANNUAL LESPEDEZA 50  
 (KOBÉ IN PIEDMONT & COASTAL PLAIN, KOREAN IN MOUNTAINS)  
 SEEDING DATES:  
 MOUNTAINS-FEB. 1 - MAY 1  
 PIEDMONT-JAN. 1 - MAY 1  
 COASTAL PLAIN-DEC. 1 - APR. 15  
 SOIL AMENDMENTS:  
 FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LB/ACRE 10-10-10 FERTILIZER.  
 MULCH:  
 APPLY 4,000 LB/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT NETTING (APPLIED AT A RATE OF 350 GALLONS PER ACRE), OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.  
 SOIL AMENDMENTS: FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LB/ACRE 10-10-10 FERTILIZER.  
 MAINTENANCE: REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, REFERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.

**FOR SUMMER:**  
 SEEDING MIXTURE SPECIES: GERMAN MILLET RATE (LB/ACRE): 40  
 COASTAL PLAIN-APR. 15 - AUG. 15  
 MOUNTAINS-MAY 1 - AUG. 15  
 SOIL AMENDMENTS: FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LB/ACRE 10-10-10 FERTILIZER.

**McDONALD'S CONCRETE SPECIFICATIONS**

ALL SITE CONCRETE IS TO BE TREATED WITH WATER REPELLANT CONCRETE SEALER TO PROTECT THE SURFACES FROM SPALLING AND DAMAGE FROM CHEMICAL ATTACK OF CHLORIDE SALTS. SEALER SHOULD BE SILANE / SILOXANE WATER REPELLANT. RECOMMENDATIONS INCLUDE PROSOCO-SALTGUARD OR V-SEAL 102 WINTERGUARD.

**PAVEMENT SPECIFICATIONS**

CONTRACTOR TO REFER TO SOILS REPORT FOR SITE SPECIFIC PAVEMENT SPECS.

NOTE: McDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF McDONALD'S. OTHERWISE, GENERAL CONTRACTOR WILL BE CHARGED.

**PARKING INFORMATION**

TOTAL SPACES	2 - HC SPACES	18 SPACES	20 SPACES	2 SPACES
42	= 8.0' x 20.0' @ 90°	= 9.0' x 20.0' @ 90°	= 9.0' x 21.0' @ 60°	= 9.0' x 20.0' @ 0°

**UTILITY INFORMATION**

SIZE	TYPE	LOCATION
WATER	EX. WATER SERVICE FROM N. MAIN STREET TO EX. BUILDING.	
SANITARY SEWER	EX. SANITARY SEWER MANHOLE ON SITE NEAR THE SOUTH CORNER. EX. 4" PVC SEWER FROM BUILDING TO THE MANHOLE. EX. 8" SEWER LINE FROM OFF-SITE EAST CORNER OF SITE TO MANHOLE. EX. 8" SEWER LINE FROM MANHOLE RUNS TO THE WEST THEN OFF-SITE.	
STORM	EX. 18" RCP RUNS FROM EX. CATCH BASIN AT WEST CORNER OF SITE ACROSS ENTRANCE DRIVE TO ANOTHER EX. CATCH BASIN. EX. 18" RCP RUNS FROM CATCH BASIN TO EX. CATCH BASIN AT EDGE OF W. CORNELIUS HARNETT BLVD. EX. CATCH BASIN AT SOUTH CORNER OF SITE WITH PIPE TO EX. 18" RCP THAT RUNS OFF-SITE ALONG THE SOUTH SIDE.	
GAS	EX. GAS LINES RUN ALONG W. CORNELIUS HARNETT BLVD. AND NORTH MAIN STREET.	
ELECTRIC	EX. OVERHEAD POWER RUNS ACROSS SOUTH END OF SITE. EX. UNDERGROUND POWER LINES RUN ACROSS SEVERAL AREAS OF PROPERTY TO BUILDING LIGHTS, ETC.	
TELEPHONE	EX. TELEPHONE LINES RUN ALONG W. CORNELIUS HARNETT BLVD. NORTH MAIN STREET AND ALONG REAR PROPERTY LINE WITH SERVICE LINE TO REAR OF EX. BUILDING.	

**BASE MAP INFORMATION**

BASED ON: SURVEY BY: SGROI GEOMATICS, PLLC 1405-A NC 66 KERNERSVILLE, NC 27284  
 Dated: 01-30-24 / Last Revised: 02-12-24

PLAN SCALE: As Noted

STREET ADDRESS: 102 W. CORNELIUS HARNETT BLVD.

CITY	STATE
LILLINGTON	NORTH CAROLINA

COUNTY
HARNETT

TAX PARCEL NUMBER	LOCATION CODE NUMBER
0650-87-4384	32-0312

**GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT**

Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

**SECTION E: GROUND STABILIZATION**

Required Ground Stabilization Timeframes		
Site Area Description	Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes	7	None
(b) High Quality Water (HQW) Zones	7	None
(c) Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed
(d) Slopes 3:1 to 4:1	14	-7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed
(e) Areas with slopes flatter than 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope

**Note:** After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

**GROUND STABILIZATION SPECIFICATION**

Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Temporary Stabilization	Permanent Stabilization
<ul style="list-style-type: none"> <li>Temporary grass seed covered with straw or other mulches and tackifiers</li> <li>Hydroseeding</li> <li>Rolled erosion control products with or without temporary grass seed</li> <li>Appropriately applied straw or other mulch</li> <li>Plastic sheeting</li> </ul>	<ul style="list-style-type: none"> <li>Permanent grass seed covered with straw or other mulches and tackifiers</li> <li>Geotextile fabrics such as permanent soil reinforcement matting</li> <li>Hydroseeding</li> <li>Shrubs or other permanent plantings covered with mulch</li> <li>Uniform and evenly distributed ground cover sufficient to restrain erosion</li> <li>Structural methods such as concrete, asphalt or retaining walls</li> <li>Rolled erosion control products with grass seed</li> </ul>

**POLYACRYLAMIDES (PAMS) AND FLOCCULANTS**

- Select flocculants that are appropriate for the soils being exposed during construction, selecting from the *NC DWR List of Approved PAMS/Flocculants*.
- Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
- Apply flocculants at the concentrations specified in the *NC DWR List of Approved PAMS/Flocculants* and in accordance with the manufacturer's instructions.
- Provide ponding area for containment of treated Stormwater before discharging offsite.
- Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

**EQUIPMENT AND VEHICLE MAINTENANCE**

- Maintain vehicles and equipment to prevent discharge of fluids.
- Provide drip pans under any stored equipment.
- Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
- Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
- Remove leaking vehicles and construction equipment from service until the problem has been corrected.
- Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

**LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE**

- Never bury or burn waste. Place litter and debris in approved waste containers.
- Provide a sufficient number and size of waste containers (e.g dumpster, trash receptacle) on site to contain construction and domestic wastes.
- Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
- Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
- Anchor all lightweight items in waste containers during times of high winds.
- Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
- Dispose waste off-site at an approved disposal facility.
- On business days, clean up and dispose of waste in designated waste containers.

**PAINT AND OTHER LIQUID WASTE**

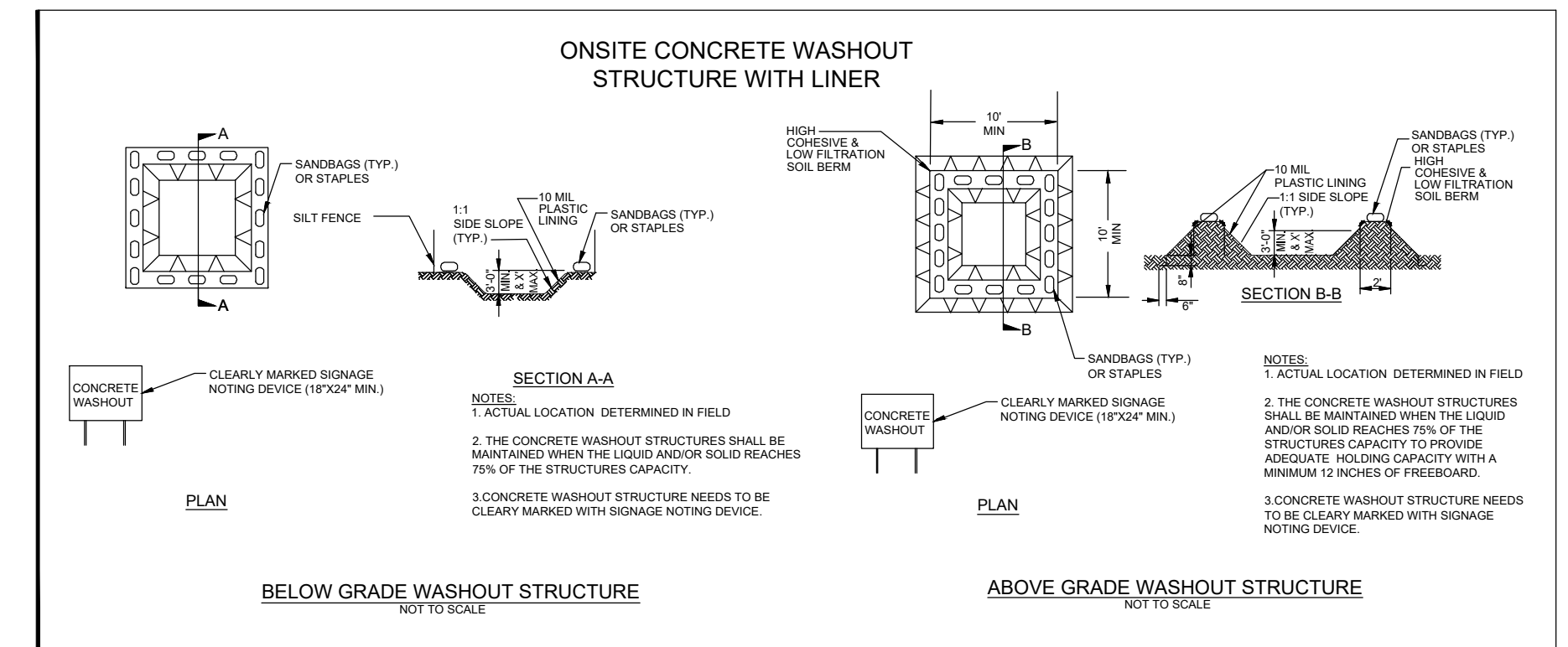
- Do not dump paint and other liquid waste into storm drains, streams or wetlands.
- Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Contain liquid wastes in a controlled area.
- Containment must be labeled, sized and placed appropriately for the needs of site.
- Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

**PORTABLE TOILETS**

- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
- Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
- Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

**EARTHEN STOCKPILE MANAGEMENT**

- Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
- Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
- Provide stable stone access point when feasible.
- Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.



**CONCRETE WASHOUTS**

- Do not discharge concrete or cement slurry from the site.
- Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
- Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.
- Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
- Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
- Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
- Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
- Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
- Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
- At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

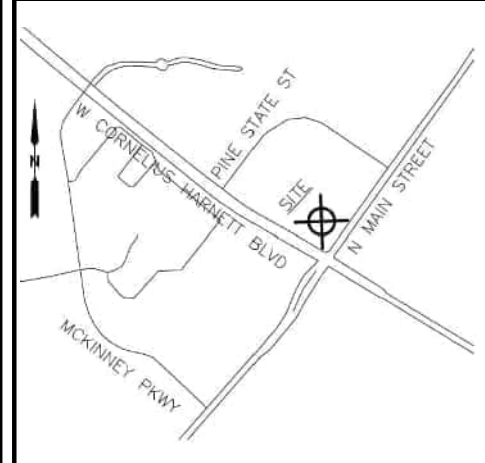
**HERBICIDES, PESTICIDES AND RODENTICIDES**

- Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
- Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
- Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
- Do not stockpile these materials onsite.

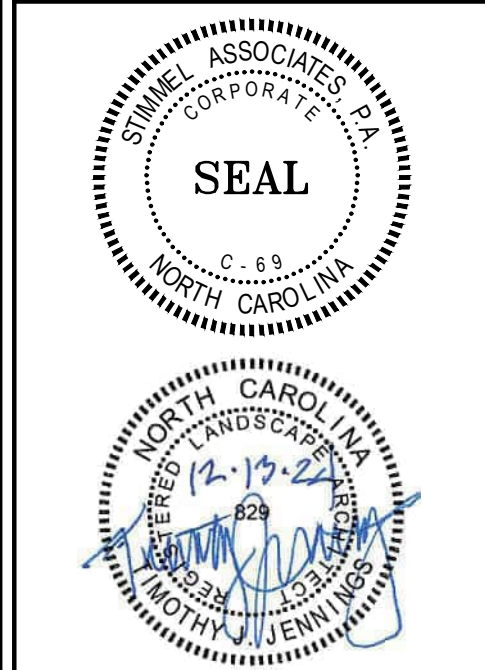
**HAZARDOUS AND TOXIC WASTE**

- Create designated hazardous waste collection areas on-site.
- Place hazardous waste containers under cover or in secondary containment.
- Do not store hazardous chemicals, drums or bagged materials directly on the ground.

**VICINITY MAP - n.t.s.**



**stimmel**  
LANDSCAPE ARCHITECTURE  
CIVIL ENGINEERING  
LAND PLANNING  
601 N. TRADE STREET, SUITE 200  
WINSTON-SALEM, NC 27101  
P: 336.723.1067  
www.stimmelpa.com



REV	DATE	DESCRIPTION	BY

**McDonald's**  
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S USA, LLC AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

STATUS	DATE	BY
FINAL	12-13-24	JKB
PLAN CHECKED	12-13-24	JAL
SAPA PROJECT #	23-233	

**PART III  
SELF-INSPECTION, RECORDKEEPING AND REPORTING**

**SECTION A: SELF-INSPECTION**

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Record.

Inspect	Frequency (during normal business hours)	Inspection records must include:
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amounts. If no daily rain gauge observations are made during weekend or holiday periods, and no individual-day rainfall information is available, record the cumulative rain measurement for those unattended days (and this will determine if a site inspection is needed). Days on which no rainfall occurred shall be recorded as "zero." The permittee may use another rain-monitoring device approved by the Division.
(2) E&SC Measures	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Identification of the measures inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Indication of whether the measures were operating properly, 5. Description of maintenance needs for the measure, 6. Description, evidence, and date of corrective actions taken.
(3) Stormwater discharge outfalls (SDOs)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Identification of the discharge outfalls inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration, 5. Indication of visible sediment leaving the site, 6. Description, evidence, and date of corrective actions taken.
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	If visible sedimentation is found outside site limits, then a record of the following shall be made: 1. Actions taken to clean up or stabilize the sediment that has left the site limits, 2. Description, evidence, and date of corrective actions taken, and 3. An explanation as to the actions taken to control future releases.
(5) Streams or wetlands onsite or offsite (where accessible)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	If the stream or wetland has increased visible sedimentation or a stream has visible increased turbidity from the construction activity, then a record of the following shall be made: 1. Description, evidence and date of corrective actions taken, and 2. Records of the required reports to the appropriate Division Regional Office per Part III, Section C, Item (2)(a) of this permit.
(6) Ground stabilization measures	After each phase of grading	1. The phase of grading (installation of perimeter E&SC measures, clearing and grubbing, installation of storm drainage facilities, completion of all land-disturbing activity, construction or redevelopment, permanent ground cover). 2. Documentation that the required ground stabilization measures have been provided within the required timeframe or an assurance that they will be provided as soon as possible.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

**PART II, SECTION G, ITEM (4)  
DRAW DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT**

Sediment basins and traps that receive runoff from drainage areas of one acre or more shall use outlet structures that withdraw water from the surface when these devices need to be drawn down for maintenance or close out unless this is infeasible. The circumstances in which it is not feasible to withdraw water from the surface shall be rare (for example, times with extended cold weather). Non-surface withdrawals from sediment basins shall be allowed only when all of the following criteria have been met:

- The E&SC plan authority has been provided with documentation of the non-surface withdrawal and the specific time periods or conditions in which it will occur. The non-surface withdrawal shall not commence until the E&SC plan authority has approved these items,
- The non-surface withdrawal has been reported as an anticipated bypass in accordance with Part III, Section C, Item (2)(c) and (d) of this permit,
- Dewatering discharges are treated with controls to minimize discharges of pollutants from stormwater that is removed from the sediment basin. Examples of appropriate controls include properly sited, designed and maintained dewatering tanks, weir tanks, and filtration systems,
- Vegetated, upland areas of the sites or a properly designed stone pad is used to the extent feasible at the outlet of the dewatering treatment devices described in Item (c) above,
- Velocity dissipation devices such as check dams, sediment traps, and riprap are provided at the discharge points of all dewatering devices, and
- Sediment removed from the dewatering treatment devices described in Item (c) above is disposed of in a manner that does not cause deposition of sediment into waters of the United States.

**PART III  
SELF-INSPECTION, RECORDKEEPING AND REPORTING**

**SECTION B: RECORDKEEPING**

**1. E&SC Plan Documentation**

The approved E&SC plan as well as any approved deviation shall be kept on the site. The approved E&SC plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&SC plan shall be kept on site and available for inspection at all times during normal business hours.

Item to Document	Documentation Requirements
(a) Each E&SC measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved E&SC plan.	Initial and date each E&SC measure on a copy of the approved E&SC plan or complete, date and sign an inspection report that lists each E&SC measure shown on the approved E&SC plan. This documentation is required upon the initial installation of the E&SC measures or if the E&SC measures are modified after initial installation.
(b) A phase of grading has been completed.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(c) Ground cover is located and installed in accordance with the approved E&SC plan.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
(d) The maintenance and repair requirements for all E&SC measures have been performed.	Complete, date and sign an inspection report.
(e) Corrective actions have been taken to E&SC measures.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate the completion of the corrective action.

**2. Additional Documentation to be Kept on Site**

In addition to the E&SC plan documents above, the following items shall be kept on the site and available for inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:

- This General Permit as well as the Certificate of Coverage, after it is received.
- Records of inspections made during the previous twelve months. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically-available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.

**3. Documentation to be Retained for Three Years**

All data used to complete the e-NOI and all inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

**PART III  
SELF-INSPECTION, RECORDKEEPING AND REPORTING**

**SECTION C: REPORTING**

**1. Occurrences that Must be Reported**

Permittees shall report the following occurrences:

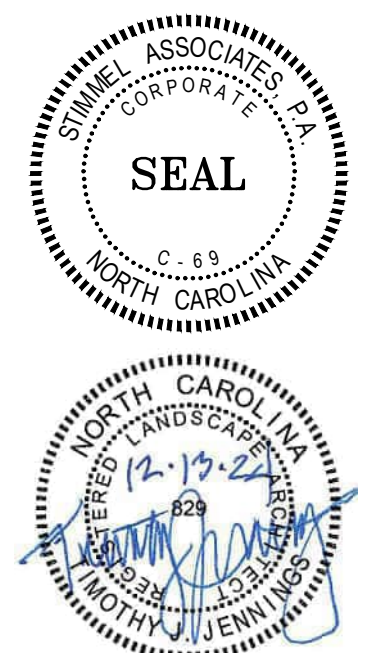
- Visible sediment deposition in a stream or wetland.
  - They are 25 gallons or more,
  - They are less than 25 gallons but cannot be cleaned up within 24 hours,
  - They cause sheen on surface waters (regardless of volume), or
  - They are within 100 feet of surface waters (regardless of volume).
- Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85.
- Anticipated bypasses and unanticipated bypasses.
- Noncompliance with the conditions of this permit that may endanger health or the environment.

**2. Reporting Timeframes and Other Requirements**

After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Department's Environmental Emergency Center personnel at (800) 858-0368.

Occurrence	Reporting Timeframes (After Discovery) and Other Requirements
(a) Visible sediment deposition in a stream or wetland	<ul style="list-style-type: none"> <li><b>Within 24 hours</b>, an oral or electronic notification.</li> <li><b>Within 7 calendar days</b>, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis.</li> <li>If the stream is named on the <a href="#">NC 303(d) list</a> as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired-waters conditions.</li> </ul>
(b) Oil spills and release of hazardous substances per Item 1(b)-(c) above	<ul style="list-style-type: none"> <li><b>Within 24 hours</b>, an oral or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release.</li> </ul>
(c) Anticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none"> <li><b>A report at least ten days before the date of the bypass, if possible.</b> The report shall include an evaluation of the anticipated quality and effect of the bypass.</li> </ul>
(d) Unanticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none"> <li><b>Within 24 hours</b>, an oral or electronic notification.</li> <li><b>Within 7 calendar days</b>, a report that includes an evaluation of the quality and effect of the bypass.</li> </ul>
(e) Noncompliance with the conditions of this permit that may endanger health or the environment [40 CFR 122.41(l)(7)]	<ul style="list-style-type: none"> <li><b>Within 24 hours</b>, an oral or electronic notification.</li> <li><b>Within 7 calendar days</b>, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times, and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent reoccurrence of the noncompliance. [40 CFR 122.41(l)(6).</li> <li>Division staff may waive the requirement for a written report on a case-by-case basis.</li> </ul>

VICINITY MAP - n.t.s.



BY	DATE	DESCRIPTION



STATUS	DATE	BY
FINAL	12-13-24	JKB
PLAN CHECKED	12-13-24	JAL
SAPA PROJECT #	23-233	

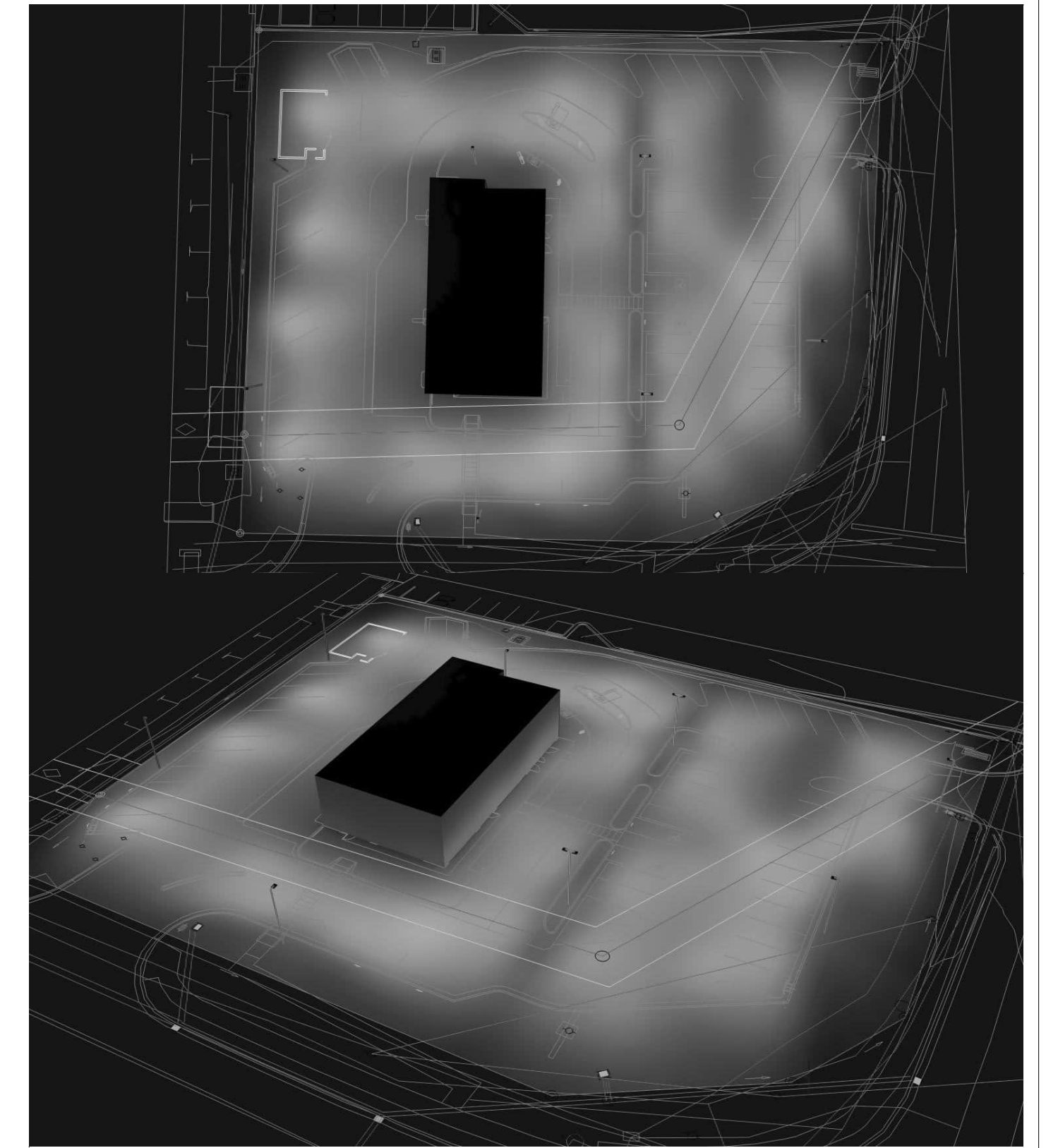
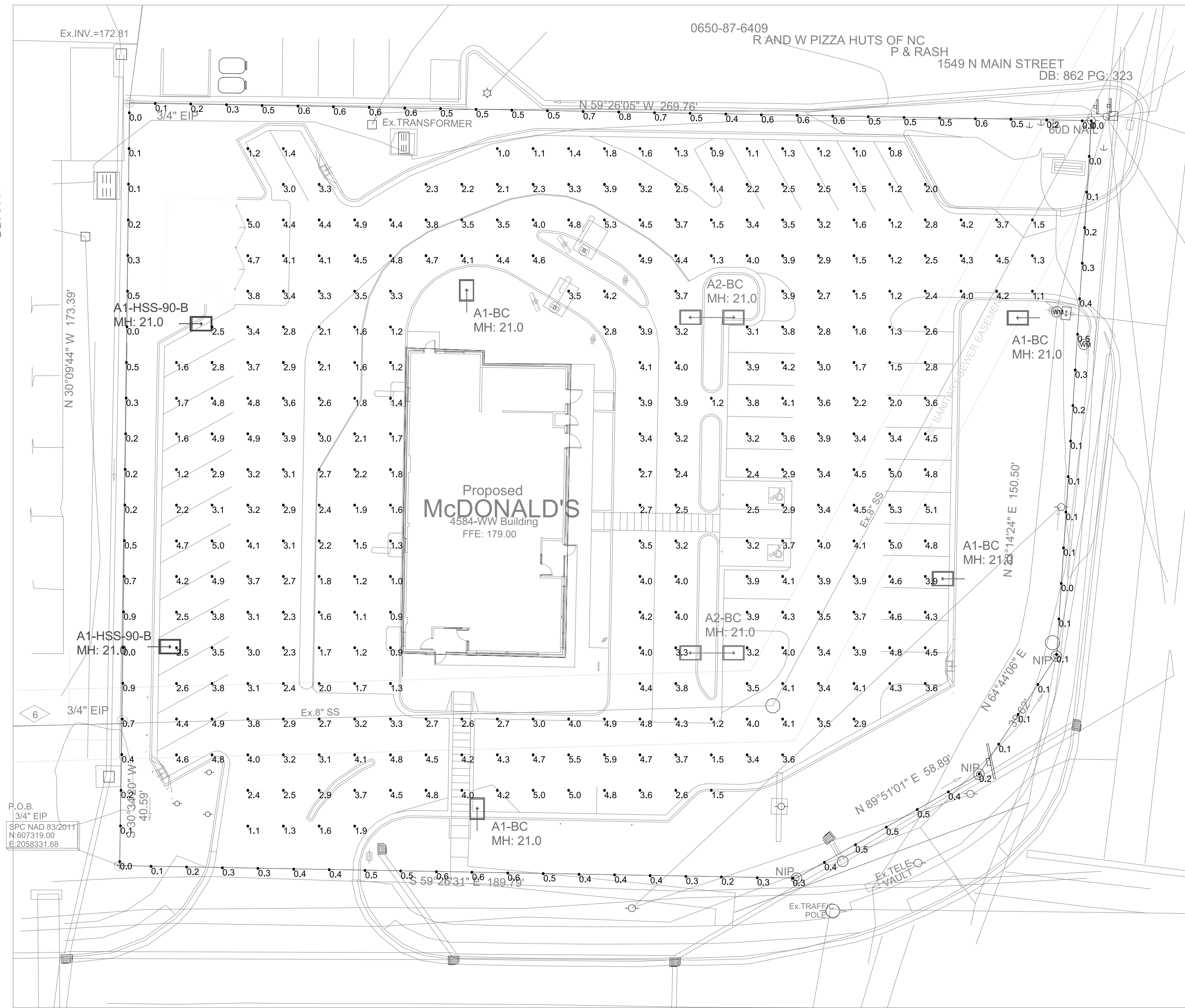




NOTES:

1. THE FOOTCANDLE LEVELS AS SHOWN ARE BASED ON THE FOLLOWING CRITERIA. ANY SUBSTITUTIONS IN SPECIFIED FIXTURES OR CHANGES TO LAYOUT WILL AFFECT LIGHTING LEVELS SHOWN AND WILL NOT BE THE RESPONSIBILITY OF SECURITY LIGHTING.
2. DISTANCE BETWEEN READINGS 10'

0650-87-3418  
 LUIHN FOUR REAL PROPERTY LLC  
 & AKA L4 CAROLINA PROPERTIES LLC  
 DB: 3680 PG: 981



Pole Fixtures Are Full Cutoff  
 Tilt=0  
 Calculation Grids Are At Grade  
 Pole Light Mounting Height=21ft  
 (18' Pole + 3' Base)

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PAVED SURFACE READINGS	Illuminance	Fc	3.16	5.9	0.8	3.95	7.38
Propertyline	Illuminance	Fc	0.35	0.9	0.0	N.A.	N.A.

Luminaire Schedule									
Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts	EPA	Mtg Height	Pole Type
	4	A1-BC	Single	0.850	RAR-2-480L-185-5K7-4W-BC	174.5	0.607	21	SES-18-40-1-TA-GL-xx (4")
	2	A1-HSS-90-B	Single	0.850	RAR2-480L-185-5K7-4W-HSS-90-B	174.5	0.607	21	SES-18-40-1-TA-GL-xx (4")
	2	A2-BC	Back-Back	0.850	RAR-2-480L-185-5K7-4W-BC	174.5	1.214	21	SES-18-40-1-TA-GL-xx (4")

PROJECT WIND LOAD CRITERIA BASED ON:  
 ASCE 7-10 WIND SPEEDS (3-SEC PEAK GUST MPH)  
 50 YEAR MEAN RECURRENCE INTERVAL  
 ALLOWED EPA 10.0 @ WIND LOAD 95 MPH



Regional Drawing  
 # 320312

UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE IN INCHES	
SCALE	1"=20' 0"
DRAWN BY	CLB
POINT-BY-POINT FOOTCANDLE PLOT FOR MCDONALD'S 102 W CORNELIUS HARNETT BLVD LILLINGTON, NC 27546	
NATIONAL STORE NUMBER	10721
DATE	10/3/2024
DRAWING NUMBER	A242168A.AGI

1. THIS LIGHTING DESIGN IS BASED ON INFORMATION SUPPLIED BY OTHERS TO SECURITY LIGHTING SYSTEMS. SITE DETAILS PROVIDED HEREON ARE REPRODUCED ONLY AS A VISUALIZATION AND FIELD DEVIATIONS MAY SIGNIFICANTLY AFFECT PREDICTED PERFORMANCE. PRIOR TO INSTALLATION, CRITICAL SITE INFORMATION (POLE LOCATIONS, ORIENTATION, MOUNTING HEIGHT, ETC.) SHOULD BE COORDINATED WITH THE CONTRACTOR AND/OR SPECIFIER RESPONSIBLE FOR THE PROJECT.
2. LUMINAIRE DATA IS TESTED TO INDUSTRY STANDARDS UNDER LABORATORY CONDITIONS. OPERATING VOLTAGE AND NORMAL MANUFACTURING TOLERANCES OF LAMP, BALLAST, AND LUMINAIRE MAY AFFECT FIELD RESULTS.
3. CONFORMANCE TO FACILITY CODE AND OTHER LOCAL REQUIREMENTS IS THE RESPONSIBILITY OF THE OWNER AND/OR THE OWNER'S REPRESENTATIVE.
4. THIS LAYOUT MAY NOT MEET TITLE 24 OR LOCAL ENERGY REQUIREMENTS. IF THIS LAYOUT NEEDS TO BE COMPLIANT WITH TITLE 24 OR OTHER ENERGY REQUIREMENTS, PLEASE CONSULT FACTORY WITH SPECIFIC DETAILS REGARDING PROJECT REQUIREMENTS SO THAT REVISIONS MAY BE MADE TO THE DRAWING.