A Tenant Alteration for
HARVEY JOHNS STEAKHOUSE

1501 N. Raleigh Street, Suite G
Angier, North Carolina

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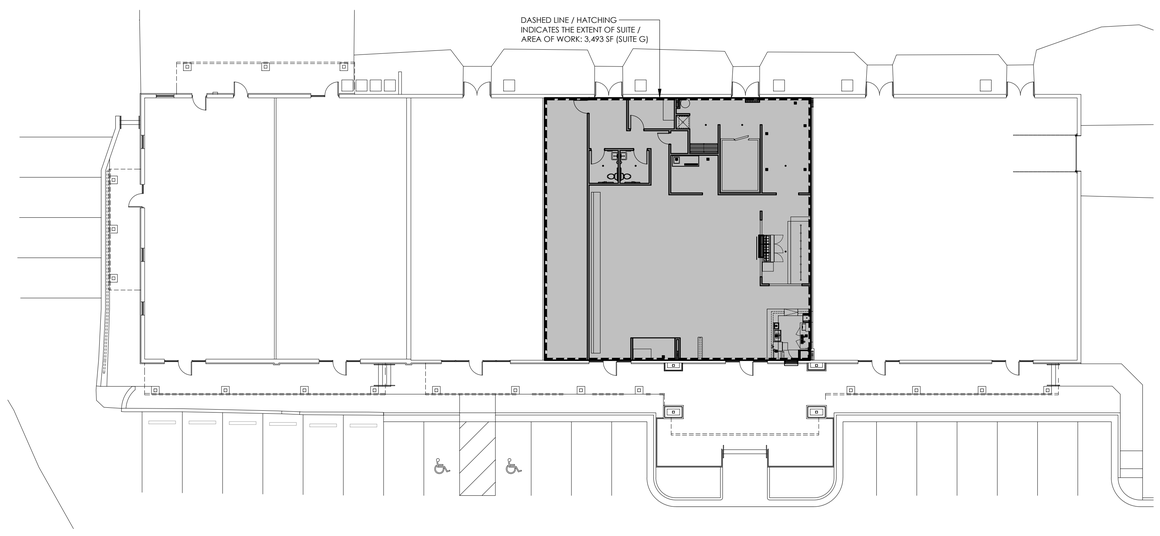
MSH Consultant Group
300 Wendover Court
Durham, North Carolina 27713
Robert Herman - Principal Consultant
Phone (919) 768-3250



1 G-1 KEY PLAN
SCALE: NOT TO SCALE

OCCUPANCY PLAN LEGEND

OCCUPANCY TYPE: ASSEMBLY (A-2)
USE: DINING & KITCHEN

KITCHEN LOAD: 2.87 (FACTOR OF 200 SF/PERSON)
574 SF

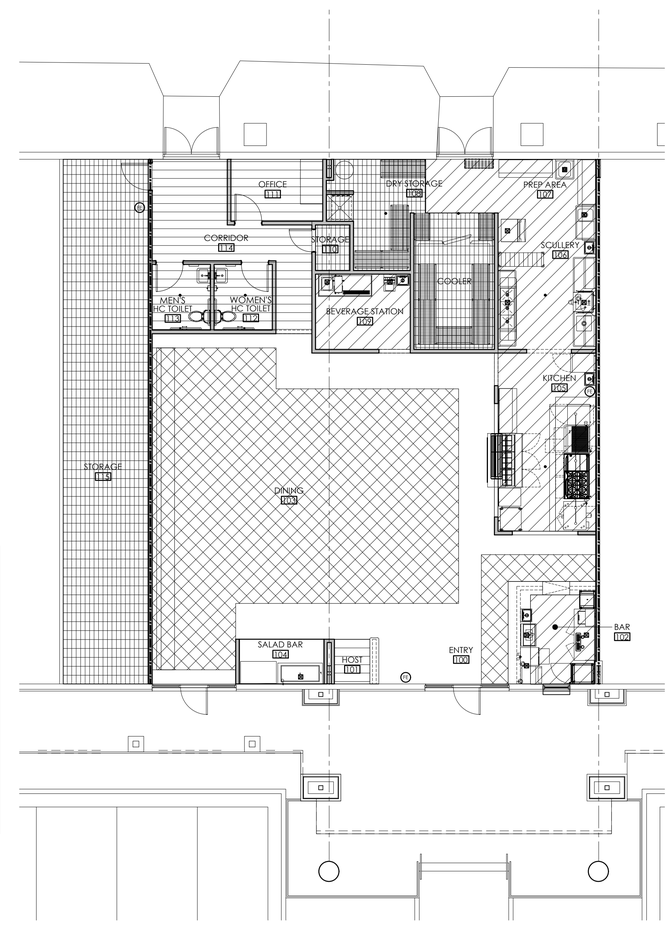
DINING/BAR SEATING LOAD: 68.53 (FACTOR OF 15 SF/PERSON)
1,028 SF

ADMIN / STAFF: 3.71 (FACTOR OF 100 SF/PERSON)
371 SF

OCCUPANCY TYPE: STORAGE (S-2)

USE: COOLER/FREEZER, DRY STORAGE
LOAD: .82 (FACTOR OF 300 SF/PERSON)
246 SF
USE: STORAGE ROOMS
LOAD: 1.9 (FACTOR OF 300 SF/PERSON)
580 SF

TOTAL OCCUPANTS: 78 (77.83)



2 G-1 OCCUPANCY PLAN
SCALE: 1/8"=1'-0"

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DAVID VIRGIL SEASS, JR. REGISTERED ARCHITECT 9987 CARY, N.C.
07-28-23
iS DESIGN PLLC ARCHITECTURAL COMPANY 54070 N.C. RALEIGH, N.C.

A Tenant Alteration for
HARVEY JOHNS STEAKHOUSE
1501 N. Raleigh Street, Suite G
Angier, NC

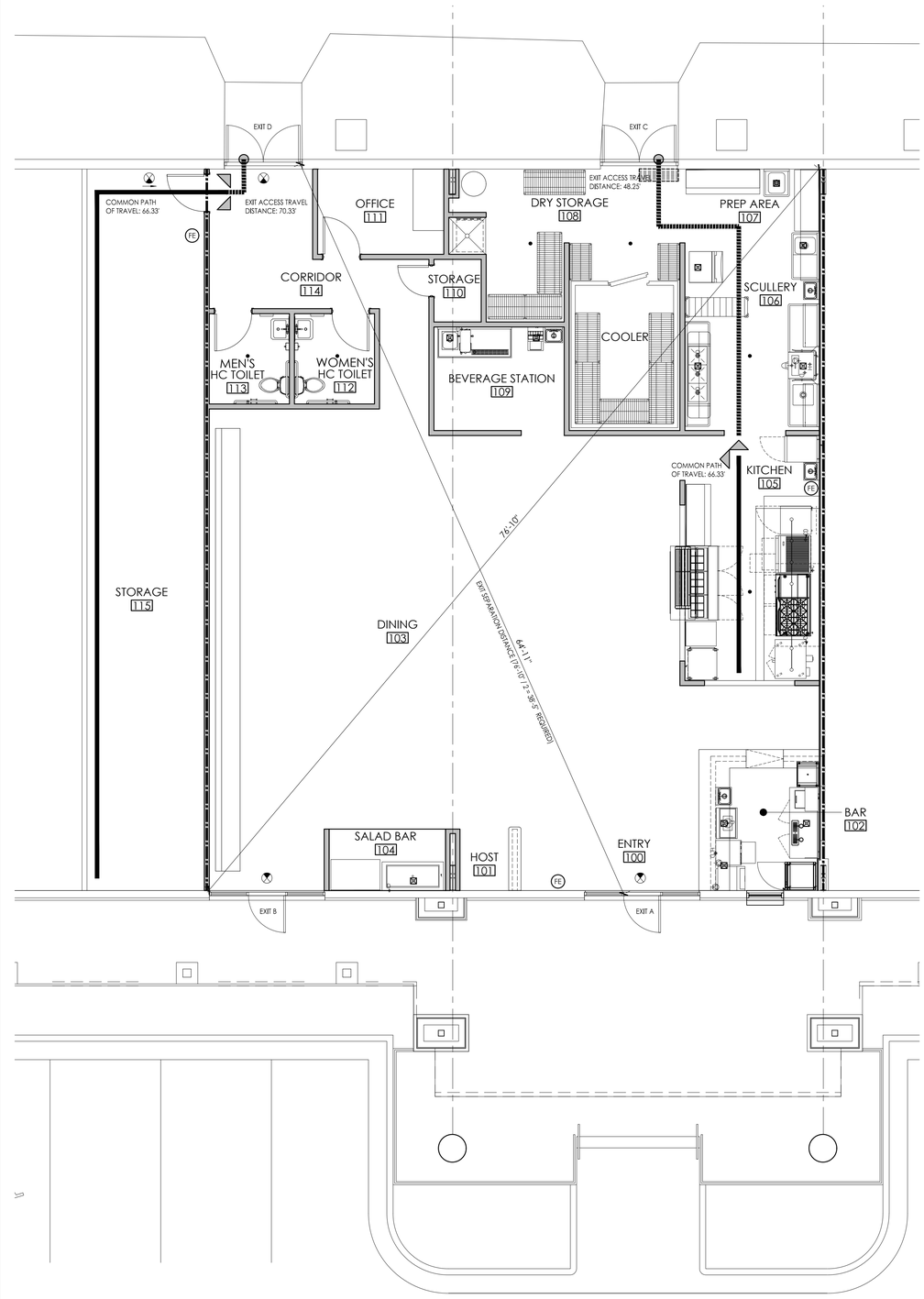
JOB #: 23C1CHARVEYJOHNS

DWG BY: DVS
CHK BY: DVS
DATE: 07/28/23
REV NO DATE

N

TITLE SHEET / KEY PLAN / LIFE SAFETY PLAN

SHEET NUMBER
G-1



1 G-2 LIFE SAFETY PLAN

SCALE: 3/16"=1'-0"

SUITE G

EXIT A

66"	CLR. EXIT WIDTH
330	MAX. CALC. OCCUPANT LOAD
35	ACTUAL OCCUPANT LOAD

EXIT B

33"	CLR. EXIT WIDTH
165	MAX. CALC. OCCUPANT LOAD
35	ACTUAL OCCUPANT LOAD

EXIT C

66"	CLR. EXIT WIDTH
330	MAX. CALC. OCCUPANT LOAD
4	ACTUAL OCCUPANT LOAD

EXIT D

66"	CLR. EXIT WIDTH
330	MAX. CALC. OCCUPANT LOAD
4	ACTUAL OCCUPANT LOAD

TOTAL OCCUPANTS: 78

= INDICATES EXIT SIGN LOCATION

FE = INDICATES LOCATION OF FIRE EXTINGUISHERS. GC TO VERIFY FINAL LOCATIONS W/ FIRE MARHSAL

EXIT ACCESS TRAVEL DISTANCE

COMMON PATH OF TRAVEL TO POINT OF DECISION

= INDICATES EXISTING NON-RATED PARTITIONS

= INDICATES NEW 1 HOUR-RATED FIRE BARRIERS

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JOB #:
23C1C1HARVEYJOHNS

DWG BY: DVS
CHK BY: DVS
DATE: 07/28/23
REV NO DATE

N

LIFE SAFETY PLAN

SHEET NUMBER

G-2

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2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
(EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)
(Reproduce the following data on the building plans sheet 1 or 2)

Name of Project: A Tenant Alteration for Harvey Johns Steakhouse
Address: 1501 N. Raleigh Street, Suite G, Angier, NC Zip Code: 27501
Owner/Authorized Agent: David Sears, AIA Phone # (919) 833-5400
E-Mail mark@isdesignpllc.com
Owned By:
Code Enforcement Jurisdiction: Wake County

CONTACT:

DESIGNER	FIRM	NAME	LICENSE #	TELEPHONE #	E-MAIL
Architectural	iS design PLLC	David Sears, AIA	9987	(919)833.5400	david@isdesignpllc.com
Civil				( )	
Electrical	Align Engineering	Rick Copeland,Jr,PE	36841	(919) 275.1935	rick@ae-nc.com
Fire Alarm				( )	
Plumbing	Align Engineering	Rick Copeland,Jr,PE	36841	(919) 275.1935	rick@ae-nc.com
Mechanical	Align Engineering	Nathan Romblad,PE	37491	(919) 275.1935	nathan@ae-nc.com
Sprinkler-Standpipe				( )	
Structural				( )	
Retaining Walls >5' High				( )	
Other				( )	

("Other" should include firms and individuals such as truss, precast, pre-engineered, interior designers, etc.)

2018 NC BUILDING CODE:
☐ New Building ☐ Addition ☐ Phased Construction Shell/Core
☐ Shell/ Core ☐ 1st Time Interior Completion

2018 NC EXISTING BUILDING CODE:
☐ Prescriptive ☐ Repair ☐ Chapter 14 ☐ Alteration Level I ■ Alteration Level II
☐ Alteration Level III ☐ Historic Property ☐ Change of Use

CONSTRUCTED: (date) 1977 CURRENT OCCUPANCY(S) (Ch. 3): MERCANTILE & BUSINESS
RENOVATED: (date) 2021 PROPOSED OCCUPANCY(S) (Ch. 3): MERCANTILE, BUSINESS & ASSEMBLY (A-2)

OCCUPANCY CATEGORY (Table 1604.5):
Current: ☐ I ■ II ☐ III ☐ IV
Proposed: ☐ I ■ II ☐ III ☐ IV

BASIC BUILDING DATA
Construction Type: ☐ I-A ☐ I-B ☐ II-A ☐ II-B ☐ III-A ☐ III-B ☐ IV ☐ V-A ■ V-B
Sprinklers: ☐ YES ■ NO ☐ PARTIAL ☐ NFPA 13 ☐ NFPA 13R ☐ NFPA 13D

Standpipes: ■ NO ☐ YES CLASS: ☐ I ☐ II ☐ III ☐ Wet ☐ Dry
Primary Fire District: ☐ YES ■ NO **Flood Hazard Area:** ☐ YES ■ NO
Special Inspections Required: ☐ YES (CONTACT THE LOCAL INSPECTION JURISDICTION FOR REQUIRMENTS AND PROCEDURES)
■ NO

Gross Building Area Table

FLOOR	EXISTING (SQ FT)	NEW (SQ FT)	SUB-TOTAL
4th Floor			
3rd Floor			
2nd Floor			
Mezzanine			
1st Floor			
Ground Floor	12,567	0	12,567
Basement			
TOTAL	12,567	0	12,567

Area of Work 3,493 SF (TOTAL INCLUDING ALL DISCIPLINES)

ALLOWABLE AREA

Primary Occupancy Classification(s):
Assembly: ☐ A-1 ■ A-2 ☐ A-3 ☐ A-4 ☐ A-5
■ Business ☐ Educational Factory-Industrial: ☐ F-1 ☐ F-2
■ Mercantile Residential: ☐ R-1 ☐ R-2 ☐ R-3 ☐ R-4
High Hazard: ☐ H-1 ☐ H-2 ☐ H-3 ☐ H-4 ☐ H-5
Institutional: ☐ I-1 ☐ I-2 ☐ I-3 ☐ I-4
I-3 USE CONDITION: ☐ 1 ☐ 2 ☐ 3 ☐ 4 ☐ 5
Storage: ☐ S-1 ☐ S-2 ☐ High-piled
S-1 SPECIAL CONDITIONS: ☐ Repair Garage
S-2 SPECIAL CONDITIONS-- Parking Garage: ☐ Open ☐ Enclosed
☐ Utility and Miscellaneous

Accessory Occupancy Classification(s): Storage: 580 sf = 4.4%
Incidental Uses (Table 509):
Special Uses (Chapter 4 – List Code Sections):
Special Provisions: (Chapter 5 – List Code Sections):
Mixed Occupancy: ■ YES ☐ NO Separation: 1 HR (for A-2 only) Exception:
☐ NON-SEPARATED USE (508.3) ■ SEPARATED USE (508.4)

Actual Area of Occupancy A / Allowable Area of Occupancy A + Actual Area of Occupancy B / Allowable Area of Occupancy B ≤ 1

________ + ________ + …… = ______ ≤ 1.00

STORY NO.	DESCRIPTION AND USE	(A) BLDG AREA PER STORY (ACTUAL)	(B) TABLE 506.2[4] AREA	(C) AREA FOR FRONTAGE INCREASE[1,5]	(D) ALLOWABLE AREA PER STORY OR UNLIMITED[2,3]

EXISTING - NOT APPLICABLE

1 Frontage area increases from Section 506.2 are computed thus:
a. Perimeter which fronts a public way or open space having 20 feet minimum width = _______ (F)
b. Total Building Perimeter = ________ (P)
c. Ratio (F/P) = ___________ (F/P)
d. W = Minimum width of public way = ________ (W)
e. Percent of frontage increase If = 100 [F/P – 0.25] x W/30 = ________ (%)
2 Unlimited area applicable under conditions of Section 507.
3 Maximum Building Area = total number of stories in the building x D (maximum3 stories) (506.2).
4 The maximum area of open parking garages must comply with Table 406.5.4. The maximum area of air traffic control towers must comply with Table 412.3.1.
5 Frontage increase is based on the unsprinklered area value in Table 506.2.

ALLOWABLE HEIGHT

	ALLOWABLE	SHOWN ON PLANS	CODE REFERENCE
Building Height in Feet (Table 504.3)			
Building Height in Stories (Table 504.4)			

1 Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4.

NOT APPLICABLE

FIRE PROTECTION REQUIREMENTS

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	RATING REQ'D	RATING PROVIDED (W/______* REDUCTION)	DETAIL # AND SHEET #	DESIGN # FOR RATED ASSEMBLY	SHEET # FOR RATED PENETRATION	SHEET # FOR RATED JOINTS
Structural Frame, including columns, girders, trusses		0	0				
Bearing Walls							
Exterior							
North	N/A						
East	N/A						
West	N/A						
South	N/A						
Interior							
Nonbearing Walls and Partitions							
Exterior walls							
North	>30'	0	0				
East	>30'	N/A					
West	>30'	N/A					
South	>30'	0	0				
Interior walls and partitions		0	0				
Floor Construction Including supporting beams and joists		N/A					
Floor Ceiling Assembly		0	0				
Columns Supporting Floors		N/A					
Roof Construction, including supporting beams and joists		0	0				
Roof Ceiling Assembly		0	0				
Columns Supporting Roof		0	0				
Shaft Enclosures - Exit		N/A					
Shaft Enclosures - Other		N/A					
Corridor Separation		0	0				
Occupancy/Fire Barrier Separation		1	1	G-5,6,7 & G-8	U419,V497 CJ-D-0006		
Party/Fire Wall Separation		N/A					
Smoke Barrier Separation		N/A					
Smoke Partition		N/A					
Tenant/Dwelling Unit/ Sleeping Unit Separation		0	0				
Incidental Use Separation		N/A					

* Indicate section number permitting reduction

PERCENTAGE OF WALL OPENING CALCULATIONS

FIRE SEPARATION DISTANCE (FEET) FROM PROPERTY LINES	DEGREE OF OPENINGS PROTECTION (TABLE 705.8)	ALLOWABLE AREA (%)	ACTUAL SHOWN ON PLANS (%)

NOT APPLICABLE

LIFE SAFETY SYSTEM REQUIREMENTS

Emergency Lighting: ■ YES ☐ NO
Exit Signs: ■ YES ☐ NO
Fire Alarm: ☐ YES ■ NO
Smoke Detection Systems: ☐ YES ■ NO
Carbon Monoxide Detection: ☐ YES ■ NO

LIFE SAFETY PLAN REQUIREMENTS

Life Safety Plan Sheet #: G-2
■ Fire and/or smoke rated wall locations (Chapter 7)
☐ Assumed and real property line locations (if not on the site plan)
☐ Exterior wall opening area with respect to distance to assumed property lines (705.8)
■ Occupancy Use for each area as it relates to occupant load calculation (Table 1004.1.2)
■ Occupant loads for each area
■ Exit access travel distances (1017)
■ Exit Sign locations (1013)
■ Common path of travel distances (Tables 1006.2.1 & 1006.3.2(1))
☐ Dead end lengths (1020.4)
■ Clear exit widths for each exit door
■ Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3)
■ Actual occupant load for each exit door
☐ A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation
☐ Location of doors with panic hardware (1010.1.10)
☐ Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)
☐ Location of doors with electromagnetic egress locks (1010.1.9.9)
☐ Location of doors equipped with hold-open devices
☐ Location of emergency escape windows (1030)
☐ The square footage of each fire area (202)
☐ The square footage of each smoke compartment for Occupancy Classification I-2 (407.5)
☐ Note any code exceptions or table notes that may have been utilized regarding the items above

ACCESSIBLE DWELLING UNITS
(SECTION 1107)

TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE A UNITS REQUIRED	TYPE A UNITS PROVIDED	TYPE B UNITS REQUIRED	TYPE B UNITS PROVIDED	TOTAL ACCESSIBLE UNITS PROVIDED

NOT APPLICABLE

ACCESSIBLE PARKING
(SECTION 1106)

LOT OR PARKING AREA	TOTAL # OF PARKING SPACES REQUIRED	TOTAL # OF PARKING SPACES PROVIDED	# OF ACCESSIBLE SPACES PROVIDED: REGULAR WITH 5' ACCESS AISLE	VAN SPACES WITH 132" ACCESS AISLE	VAN SPACES WITH 8' ACCESS AISLE	TOTAL # ACCESSIBLE PROVIDED
TOTAL						

NOT APPLICABLE

PLUMBING FIXTURE REQUIREMENTS
(TABLE 2902.1)

USE		WATERCLOSETS MALE	WATERCLOSETS FEMALE	WATERCLOSETS UNISEX	URINALS	LAVATORIES MALE	LAVATORIES FEMALE	LAVATORIES UNISEX	SHOWERS / TUBS	DRINKING FOUNTAINS REGULAR	DRINKING FOUNTAINS ACCESSIBLE
SPACE	EXIST'G										
	NEW	1	1		0	1	1				
	REQ'D	1	1		0	1	1			0	0

SPECIAL APPROVALS

Special approval: (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, etc., describe below)

2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
STRUCTURAL DESIGN
(PROVIDE ON THE STRUCTURAL SHEETS IF APPLICABLE)

DESIGN LOADS:
Importance Factors: Wind (IW) ☐ 1.0
Snow (IS) ☐ 0.8 ☐ 1.0 ☐ 1.1 ☐ 1.2
Seismic (IE) ☐ 1.0 ☐ 1.25 ☐ 1.5

Live Loads: Roof ________ psf
Mezzanine ________ psf
Floor ________ psf

NOT APPLICABLE

Ground Snow Load: ________ psf

Wind Load: Basic Wind Speed ________ mph (ASCE-7)
Exposure Category ☐ B ☐ C ☐ D

SEISMIC DESIGN CATEGORY: ☐ A ☐ B ☐ C ☐ D

Provide the following Seismic Design Parameters:
Occupancy Category (Table 1604.5) ☐ I ☐ II ☐ III ☐ IV
Spectral Response Acceleration SS________ %g S1________ %g
Site Classification (ASCE 7) ☐ A ☐ B ☐ C ☐ D ☐ E ☐ F
Data Source: ☐ FIELD TEST ☐ PRESUMPTIVE ☐ HISTORICAL DATA

Basic structural system
☐ BEARING WALL ☐ DUAL W/ SPECIAL MOMENT FRAME`
☐ BUILDING FRAME ☐ DUAL W/ INTERMEDIATE R/C OR SPECIAL FRAME
☐ MOMENT FRAME ☐ INVERTED PENDULUM

Analysis Procedure:
☐ SIMPLIFIED
☐ EQUIVALENT LATERAL FORCE
☐ DYNAMIC

Architectural, Mechanical, Components anchored? ☐ YES ☐ NO

LATERAL DESIGN CONTROL: ☐ EARTHQUAKE ☐ WIND

SOIL BEARING CAPACITIES:
☐ FIELD TEST (Provide copy of test report) ________________ psf
☐ PRESUMPTIVE BEARING CAPACITY ________________ psf
Pile size, type, and capacity ______________________________

ENERGY SUMMARY

ENERGY REQUIREMENTS:
The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.

Existing building envelope complies with code: ☐ YES (THE REMAINDER OF THIS SECTION IS NOT APPLICABLE)
☐ NO

Exempt Building: Provide code or statutory reference: ☐ YES
☐ NO

Climate Zone: ☐ 3A ☐ 4A ☐ 5A

Method of Compliance:
☐ ENERGY CODE: PERFORAMCE
☐ ENERGY CODE: PERSCRIPTIVE
☐ ASHRAE 90.1: PERFORMANCE
☐ ASHRAE 90.1: PERSCRIPTIVE
☐ OTHER: PERFORMANCE (If "Other" specify source here)________

NOT APPLICABLE

2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
MECHANICAL DESIGN
(PROVIDE ON THE MECHANICAL SHEETS IF APPLICABLE)

MECHANICAL SUMMARY

MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT

Thermal Zone
winter dry bulb: ___________
summer dry bulb: ___________

Interior design conditions
winter dry bulb: ___________
summer dry bulb: ___________
relative humidity: ___________

SEE MECHANICAL SHEETS

Building heating load: ___________

Building cooling load: ___________

Mechanical Spacing Conditioning System
Unitary
description of unit: ___________
heating efficiency: ___________
cooling efficiency: ___________
size category of unit: ___________
Boiler
Size category. If oversized, state reason.: ___________
Chiller
Size category. If oversized, state reason.: ___________

List equipment efficiencies: ___________

2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
ELECTRICAL DESIGN
(PROVIDE ON THE ELECTRICAL SHEETS IF APPLICABLE)

ELECTRICAL SUMMARY

ELECTRICAL SYSTEM AND EQUIPMENT

Method of Compliance:
☐ ENERGY CODE: PERFORAMCE
☐ ENERGY CODE: PERSCRIPTIVE
☐ ASHRAE 90.1: PERFORMANCE
☐ ASHRAE 90.1: PERSCRIPTIVE
☐ OTHER: PERFORMANCE

SEE ELECTRICAL SHEETS

Lighting schedule (each fixture type)
lamp type required in fixture
number of lamps in fixture
ballast type used in the fixture
number of ballasts in fixture
total wattage per fixture
total interior wattage specified vs. allowed (whole building or space by space)
total exterior wattage specified vs. allowed

Additional Efficiency Package Options
(When using the 2018 NCECC; not required for ASHRAE 90.1)
☐ C406.2 More Efficient HVAC Equipment Performance
☐ C406.3 Reduced Lighting Power Density
☐ C406.4 Enhanced Digital Lighting Controls
☐ C406.5 On-Site Renewable Energy
☐ C406.6 Dedicated Outdoor Air System
☐ C406.7 Reduced Energy Use in Service Water Heating

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REV NO DATE

BUILDING CODE SUMMARY

SHEET NUMBER
G-3

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GENERAL NOTES:

The general conditions of the contract for construction, standard form of the American Institute of Architects, current edition, shall apply to all work in this contract, except as specifically modified below and/or by the agreement.

The general contractor is responsible for providing temporary services during the construction process. These services shall include but not be limited to water, toilet facilities, electrical power, a job telephone and fax machine, and proper ventilation.

The building owner and tenant require the submittal of partial lien wavers from each major subcontractor for the total amount submitted in their name and from the general contractor for the total amount submitted on each pay request at the time of submittal.

Prior to the site visit by the tenant and architect for a final punch list, the general contractor and all subcontractors should produce a single compiled punch list of all uncompleted work or touch up work left to be done under the contract. This list will be reviewed at this site visit and become part of the final punch list prepared by the tenant and architect.

The general contractor and all subcontractors are to maintain 1 set of construction drawings at the site, marked up with 'as-built' deviations or clarifications to the original documents. These are to be submitted to the architect with the final request for payment.

The general contractor shall notify the architect immediately of any discrepancies or omissions between the drawings, these notes, and field conditions before commencing with any work and request clarification prior to final bidding or pricing.

The general contractor shall exercise strict dust containment control over job to prevent dirt or dust from leaving the job site.

The general contractor shall properly protect the building management's and any adjoining property or work from damage and any damage to same caused by his work or workmen must be made good without delay.

The general contractor shall maintain a current and complete set of construction drawings on site during all phases of construction for use of all trades.

All required exits, ways of approach thereto, and ways of travel from the exit into the street shall continuously be maintained free from all obstructions and impediments for unobstructed egress in the case of fire or other emergency. All exit ways shall comply with the ADA and NCSBC codes.

During the entire period of construction, all existing exits, exit lighting, fire protective devices and alarms shall be continuously maintained and comply with ADA and NCSBC.

The general contractor shall provide and install fire extinguishers as required by federal occupational safety and health act (OSHA) and by local fire department regulations.

Insurance and bonding for the project shall be as directed by and to the satisfaction of the owner and tenant.

The general contractor shall see that all subcontractors receive complete sets of working drawings and assume full responsibility for coordination of work.

Openings in fire rated walls shall have fire dampers as required by local building codes.

All substitutions, i.e. "equals", must be submitted to architect for approval prior to substitution being made.

Refer all questions regarding dimensions to architect. Do not scale drawings.

Existing stair walls are of fire rated construction, patch and repair to meet NCSBC requirements.

The contractor shall apply for and obtain all permits, inspections, provisions etc., necessary for construction.

The contractor shall coordinate all work with building management regarding deliveries, elevator use, utility disruptions etc.

Contractor to maintain all life safety systems, including but not limited to, exit lights, smoke detectors, emergency lights, fire extinguishers, etc.

The contractor to coordinate delivery of all supplies, materials, devices etc. needed for the construction of this project. Notify the architect immediately of any availability problems that may delay the project completion.

The contractor must maintain all common areas to be free of debris, dust and construction materials.

All work to be performed in accordance with all relevant North North State Building Codes, ordinances and references.

Contractor guarantees that all materials and equipment provided and installed to be in good working condition and warranty all work for a minimum of one year after substantial completion.

Architectural power plans and lighting plans are shown for coordination purposes only. Discrepancies between the engineered drawings and the architectural drawings must be brought to the attention of the architect prior to final pricing /bidding.

Except as otherwise indicated, contractor to provide and pay for all materials, labor, services, fees, etc. Necessary to accomplish entirely, the work set forth in these contract documents.

Unless otherwise specified, all materials shall be new and both materials and workmanship shall be of quality with that expected for a class 'a' installation.

Owner and architect shall be notified immediately of any revisions to be incorporated in construction documents to comply with rules/regulations of any and all local governing authorities having jurisdiction over project.

Where more than one regulation applies, the more strict regulation shall govern.

Final cleaning at substantial completion shall include, but not be limited to, cleaning of all finished wood and glass surfaces, dusting of all finished surfaces and window treatments, cleaning of all floors, vacuuming of all carpeted areas, and the removal of any spots, stains, spills, etc. On any surface incurred during construction.

Where blocking is required in walls, verify w/ governing code editor if fire retardant treated wood is required based on construction type. Contractor shall coordinate setting/placement of these elements as required by local code/building or surrounding construction conditions.

Manufacturer's name, trademark, logos, etc shall not be visible to public

Patch and repair all disturbed surfaces to match existing

All dimensions are given to/from face of drywall to face of drywall unless noted otherwise. All clear dimensions are to hold. Contractor is not to scale drawings - dimensions are to govern.

DEMOLITION NOTES:

Contractor to use proper care in removal of all doors, lights, ceiling tile, window coverings, cabinetry, mechanical and electrical devices to be re-used.

The contractor will protect and store all items to be re-used. Unused items must be returned to building owner unless noted otherwise.

Contractor shall demolish existing partitions and various other elements as indicated on plan and coordinate the proper removal and termination of all related electrical service and all other appurtenances included therein.

All damaged existing areas to remain and existing areas affected by demolition or new construction work shown on drawings shall be patched as required to match immediate existing adjacent areas in materials, fire rating, finish and color

All fire proofing removed from columns and beams during the course of construction shall be replaced with the same material and rating as that which was removed.

Existing hidden conditions not covered by these documents must be brought to the attention of the architect and tenant immediately in order to warrant additional construction costs or time delays.

Properly repair cracks, holes and imperfections in existing walls and sand smooth prior to refinishing.

Properly clean, repair, sand and prepare existing surfaces to be refinished for the proposed new finishes

PRICING NOTES:

Contractor to provide separate line item prices for all upgrades.

Provide a unit cost for additional light fixtures, duplex electrical outlets, quad-plex electrical outlets, communications outlets, and floor boxes.

All changes to contract documents shall be by approved change order

The building owner, tenant, architect, and general contractor must approve any deviations from the contract documents.

FINISH NOTES:

All finishes to be installed according to manufacturer's instructions.

Coordinate all finish colors and styles w/ building owner, tenant and architect.

All drywall construction shall be properly prepared to receive specified finish materials. Drywall joints shall be taped/spackled in conventional manner. No horizontal drywall joints shall be accepted. Butted, untapped drywall joints are not acceptable. Full height gypsum board sheets shall be used throughout for full height construction. Taped joints, corners, "dimples" or screw head shall be spackled smooth and level with adjacent gypsum board surface.

All existing holes/cracks in slab and those resulting from the construction process shall be filled/repaired and the surface patched smooth and level with adjacent floor surface.

All interior walls are nominal 5" thick, 3-5/8" metal stud partitions with painted 5/8" gypsum board to ceiling with rubber cove base. Unless noted otherwise.

Floors are concrete with building standard carpet unless otherwise noted.

Spaces being surfaced shall be closed to traffic and other work during the surfacing process.

Upon completion the contractor, removing all spots of adhesive and surface stains and all scraps, shall clean all work. Cartons and containers shall be removed from the building site.

Ceiling heights vary- see plan.

The general contractor shall repair and/or replace any and all ceiling tiles, which are removed to facilitate above ceiling system installations and repairs.

All new door frames to be hollow metal (unless otherwise noted.) All new doors to be 3'-0" wide building standard unless otherwise noted. All existing hardware meeting ADA requirements shall be retained for reuse. New door hardware must meet building standards and ADA requirements. Coordinate return and storage of leftover building standard components with building owner.

Provide three silencers on all new doors (typical) unless weather-stripping is provided.

Provide doorstops on all doors for protection of adjacent surfaces. Provide the proper type as needed by individual door location.

Verify function of all existing doors. Repair or replace hinges, closers, lock, handles, weather-stripping etc. As needed and adjust door to latch and function properly.

All walls and ceilings shall be properly prepared, spackled, sanded, etc., to provide a smooth finish and surface ready for prime and paint.

All existing loose paint shall be removed and spackled.

The contractor shall examine all areas of construction after completion of work by all trades (including telephone installation, flooring, etc.) And indicate all necessary "touch-up" painting and/or patching.

It is the intent of the drawings that all exposed surfaces receive finishes as indicated on drawings and specifications unless specifically noted. Otherwise any surface that does not have a specific finish noted or are noted "to remain unfinished" shall be brought to the attention of the architect and finished per the architect's instructions.

The contractor shall be responsible for complying with all local VOC (volatile organic compounds) regulations for primers, paints, solvents, and adhesives.

Contractor is to coordinate keying requirements with tenant prior to ordering cylinders for locksets. Keying information shall include hierarchy of security and number of master keys.

All locksets shall be coded and/or keyed in accordance with the building requirements. Codes and/or keys are to be delivered to tenant properly tested and/or tagged. The number of master and passkeys shall be coordinated with building management.

ELECTRICAL NOTES:

Lighting to be building standard 2 x 4 or reuse/relocate existing as shown on plan (unless noted otherwise)

All light fixtures salvaged for reuse shall be thoroughly cleaned prior to reinstallation and re-lamped after re-installation.

The general contractor shall provide all sleeves and fireproofing at any penetrations in rated partitions as required by state and local codes.

The contractor shall remove all electrical switch plates, outlet plates, surface hardware, etc., prior to painting, protecting and replacing it when painting is complete.

FIRE PROTECTION SPECIALTIES:

Fire Extinguisher:
Provide 10 lb. Multi-Purpose Chemical A,B,C "Cosmic Extinguishers" by JL Industries or approved equal.

ACCESSIBILITY NOTES:

The completed project must meet NCSBC, ICC/ ANSI 117.1-2009, and ADA requirements.

Door closers shall be certified by the manufacturer to meet the requirements of the ADA and NCSBC. Installation and adjustments must also comply for operational criteria. For example, the force to open interior doors must not exceed 5 pounds and exterior doors must not exceed 8-1/2 pounds.

Door closers shall meet the NCSBC requirements for sweep period.

Installed floor finishes shall comply with the NCSBC and ADA for accessible surfaces including but not limited to attachment security, carpet pile height and type, and slip resistant characteristics.

All signage must comply with NCSBC and ADA standards for visibility and communication. The supplier must certify this compliance.

When applicable the cabinet supplier will provide break room sink that complies with the NCSBC and ADA for accessibility, clearances and counter height requirements. Coordinate with break room sink supplier to maintain under counter clearances.

All controls, devices, handles, latches, thresholds, transitions, and ramps shall comply with the NCSBC & the Americans w/ Disabilities act. Coordinate any discrepancies with tenant, building owner, and architect.

Abbreviations:

AFF Above finished floor.
ADA Americans w/ Disabilities Act incl. current amendments
BFF Below finished floor
GWB Gypsum wallboard
NCSBC North Carolina state building code, current revision, including all volumes and references

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07-28-2023
i-DESIGN PLLC ARCHITECTURAL COMPANY 54070 N.C. RALEIGH, N.C.

A Tenant Alteration for
HARVEY JOHNS STEAKHOUSE
1501 N. Raleigh Street, Suite G
Angier, NC

JOB #: 23C1C1HARVEYJOHNS

DWG BY: DVS
CHK BY: DVS
DATE: 07/28/23
REV NO DATE

GENERAL NOTES

SHEET NUMBER
G-4

FIRE-RESISTANCE DESIGN

Assembly Usage Disclaimer

BXUV - Fire Resistance Ratings - ANSI/UL 263 Certified for United States

BXUV7 - Fire Resistance Ratings - CAN/ULC-S101 Certified for Canada

See General Information for Fire-resistance Ratings - ANSI/UL 263 Certified for United States Design Criteria and Allowable Variances

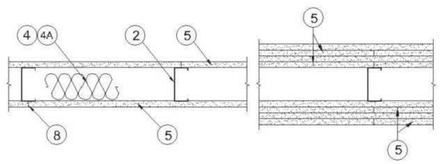
See General Information for Fire Resistance Ratings - CAN/ULC-S101 Certified for Canada Design Criteria and Allowable Variances

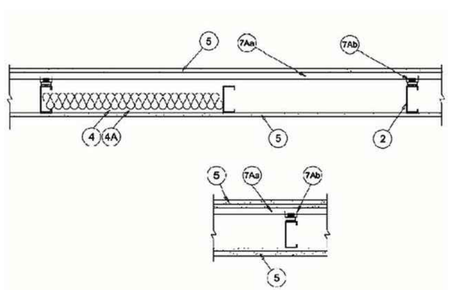
Design No. U419

September 13, 2019

Nonbearing Wall Ratings — 1, 2, 3 or 4 Hr (See Items 4 & 5 through 5K)

" Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.





1. **Floor and Ceiling Runners —** (Not Shown) — For use with Item 2 — Channel shaped, fabricated from min 25 MSG corrosion-protected steel, min depth to accommodate stud size, with min 1-1/4 in. long legs, attached to floor and ceiling with fasteners 24 in. OC max.

1A. **Framing Members* — Floor and Ceiling Runner —** Not Shown — In lieu of Item 1 — For use with Item 2B, proprietary channel shaped runners, 3-5/8 in. deep attached to floor and ceiling with fasteners 24 in. OC max.
CALIFORNIA EXPANDED METAL PRODUCTS CO — Viper25™ Track

CRACO MFG INC — SmartTrack25™

MARINO/WARE, DIV OF WARE INDUSTRIES INC — Viper25™ Track

FUSION BUILDING PRODUCTS — Viper25™ Track

IMPERIAL MANUFACTURING GROUP INC — Viper25™ Track

1B. **Framing Members* — Floor and Ceiling Runner —** Not Shown — In lieu of Item 1 — For use with Item 2C, proprietary channel shaped runners, 1-1/4 in. wide by 3-5/8 in. deep fabricated from min 0.018 in. thick galv steel, attached to floor and ceiling with fasteners spaced 24 in. OC max.
CALIFORNIA EXPANDED METAL PRODUCTS CO — Viper20™ Track

MARINO/WARE, DIV OF WARE INDUSTRIES INC — Viper20™ Track

FUSION BUILDING PRODUCTS — Viper20™ Track

IMPERIAL MANUFACTURING GROUP INC — Viper20™ Track

1C. **Framing Members* — Floor and Ceiling Runners —** (Not Shown) — In lieu of Item 1 — Channel shaped, attached to floor and ceiling with fasteners 24 in. OC. max.
ALLSTEEL & GYPSUM PRODUCTS INC — Type SUPREME D24/30EQD and Type SUPREME D20

CONSOLIDATED FABRICATORS CORP, BUILDING PRODUCTS DIV — Type SUPREME D24/30EQD and Type SUPREME D20

QUAIL RUN BUILDING MATERIALS INC — Type SUPREME D24/30EQD and Type SUPREME D20

SCAFCO STEEL STUD MANUFACTURING CO — Type SUPREME D24/30EQD and Type SUPREME D20

STEEL CONSTRUCTION SYSTEMS INC — Type SUPREME D24/30EQD and Type SUPREME D20

UNITED METAL PRODUCTS INC — Type SUPREME D24/30EQD and Type SUPREME D20

1D. **Floor and Ceiling Runners —** (Not Shown) — For use with Item 2A — Channel shaped, fabricated from min 20 MSG corrosion-protected or galv steel, min depth to accommodate stud size, with min 1 in. long legs, attached to floor and ceiling with fasteners spaced max 24 in. OC.

1E. **Framing Members* — Floor and Ceiling Runners —** (Not Shown, As an alternate to Item 1) — For use with Items 2E, 5F or 5G or 5I only, channel shaped, fabricated from min. 0.015 in. (min bare metal thickness) galvanized steel, attached to floor and ceiling with fasteners 24 in. OC. max.
CLARKDIETRICH BUILDING SYSTEMS — CD ProTRAK

DMFCWBS L L C — ProTRAK

MBA METAL FRAMING — ProTRAK

RAM SALES L L C — Ram ProTRAK

STEEL STRUCTURAL PRODUCTS L L C — Tri-S ProTRAK

1F. **Framing Members* — Floor and Ceiling Runner —** Not Shown — In lieu of Item 1 — For use with Item 2F, proprietary channel shaped runners, minimum width to accommodate stud size, with 1- 1/8 in. long legs fabricated from min 0.015 in. (min bare metal thickness) galv steel, attached to floor and ceiling with fasteners spaced 24 in. OC max.
SUPER STUD BUILDING PRODUCTS — The Edge

1G. **Framing Members* — Floor and Ceiling Runner —** For use with Item 2G, proprietary channel shaped runners, minimum width to accommodate stud size attached to floor and ceiling with fasteners 24 in. OC max.
STUDCO BUILDING SYSTEMS — CROCSTUD Track

1H. **Floor and Ceiling Runners —** (Not Shown) — Channel shaped, fabricated from min 0.02 in. galv steel, min width to accommodate stud size, with min 1 in. long legs, for use with studs specified below and fabricated from min 0.018 in. galv steel or thicker, attached to floor and ceiling with fasteners spaced max 24 in. OC.
MARINO/WARE, DIV OF WARE INDUSTRIES INC — Viper20™ Track VT100

FUSION BUILDING PRODUCTS — Viper20™ Track VT100

IMPERIAL MANUFACTURING GROUP INC — Viper20™ Track VT100

1I. **Framing Members* — Floor and Ceiling Runners —** (Not Shown, As an alternate to Item 1) — For use with Items 2H, channel shaped, fabricated from min. 0.015 in. (min bare metal thickness) galvanized steel, attached to floor and ceiling with fasteners 24 in. OC. max.
TELLING INDUSTRIES L L C — TRUE-TRACK™

1J. **Framing Members* — Floor and Ceiling Runner —** Not Shown — In lieu of Item 1 — For use with Item 2I, proprietary channel shaped runners, 3-5/8 in. deep attached to floor and ceiling with fasteners 24 in. OC max.
TELLING INDUSTRIES L L C — Viper25™ Track

1K. **Framing Members* — Floor and Ceiling Runner —** Not Shown — In lieu of Item 1 — For use with Item 2J, proprietary channel shaped runners, 1-1/4 in. wide by 3-5/8 in. deep fabricated from min 0.018 in. thick galv steel, attached to floor and ceiling with fasteners spaced 24 in. OC max.
TELLING INDUSTRIES L L C — Viper20™ Track

1L. **Framing Members* — Floor and Ceiling Runner —** Not Shown — In lieu of Item 1 — For use with Item 2N, proprietary channel shaped runners, 1-1/4 in. wide by min. 3-1/2 in. deep fabricated from min 0.018 in. thick galv steel, attached to floor and ceiling with fasteners spaced 24 in. OC max.
STEEL INVESTMENT GROUP L L C — AlphaTRAK

1M. **Framing Members* — Floor and Ceiling Runners —** Not Shown — As an alternate to Item 1 — For use with Item 2O, proprietary channel shaped runners, min width to accommodate stud size, galv steel, attached to floor and ceiling with fasteners spaced 24 in. OC max.
RONDO BUILDING SERVICES PTY LTD — Rondo Wall Track

1N. **Framing Members* — Floor and Ceiling Runners —** Not Shown — As an alternate to Item 1 — For use with Item 2P, proprietary channel shaped runners, min width to accommodate stud size, galv steel, attached to floor and ceiling with fasteners spaced 24 in. OC max.
OEG BUILDING MATERIALS — OEG Track

1O. **Framing Members* — Floor and Ceiling Runner —** Not Shown — In lieu of Item 1 — For use with Item 2Q, proprietary channel shaped runners, min width to accommodate stud size, fabricated from min. 25 MSG (0.018 in. min. bare metal thickness), attached to floor and ceiling with fasteners spaced 24 in. OC max.
CALIFORNIA EXPANDED METAL PRODUCTS CO — Viper X Track

2. **Steel Studs —** Channel shaped, fabricated from min 25 MSG corrosion-protected steel, min depth as indicated under Item 5, spaced a max of 24 in. OC. Studs to be cut 3/8 to 3/4 in. less than assembly height.

2A. **Steel Studs —** (As an alternate to Item 2, For use with Items 5B, 5E, 5H, 5J and 5K) — Channel shaped, fabricated from min 20 MSG corrosion-protected or galv steel, 3-1/2 in. min depth, spaced a max of 16 in. OC. Studs friction-fit into floor and ceiling runners. Studs to be cut 5/8 to 3/4 in. less than assembly height.

2B. **Framing Members* - Steel Studs —** (As an alternate to Item 2, For use with Items 5C, 5I or 5K) — Proprietary channel shaped studs, 3-5/8 in. deep spaced a max of 24 in. OC. Studs to be cut 3/4 in less than the assembly height and installed with a 1/2 in. gap between the end of the stud and track at the bottom of the wall. For direct attachment of gypsum board only.
CALIFORNIA EXPANDED METAL PRODUCTS CO — Viper25™

CRACO MFG INC — SmartStud25™

MARINO/WARE, DIV OF WARE INDUSTRIES INC — Viper25™

FUSION BUILDING PRODUCTS — Viper25™

IMPERIAL MANUFACTURING GROUP INC — Viper25™

2C. **Framing Members* — Steel Studs —** Not Shown — In lieu of Item 2 — proprietary channel shaped steel studs, min depth as indicated under Item 5, spaced a max if 24 in. OC, fabricated from min 0.018 in. thick galv steel. Studs cut 3/8 in. to 3/4 in. less in lengths than assembly heights.
CALIFORNIA EXPANDED METAL PRODUCTS CO — Viper20™

MARINO/WARE, DIV OF WARE INDUSTRIES INC — Viper20™

FUSION BUILDING PRODUCTS — Viper20™

IMPERIAL MANUFACTURING GROUP INC — Viper20™

2D. **Framing Members* — Steel Studs —** In lieu of Item 2 — Channel shaped studs, min depth as indicated under Item 5, spaced a max of 24 in. OC. Studs to be cut 3/4 in. less than assembly height.
ALLSTEEL & GYPSUM PRODUCTS INC — Type SUPREME D24/30EQD and Type SUPREME D20

CONSOLIDATED FABRICATORS CORP, BUILDING PRODUCTS DIV — Type SUPREME D24/30EQD and Type SUPREME D20

QUAIL RUN BUILDING MATERIALS INC — Type SUPREME D24/30EQD and Type SUPREME D20

SCAFCO STEEL STUD MANUFACTURING CO — Type SUPREME D24/30EQD and Type SUPREME D20

STEEL CONSTRUCTION SYSTEMS INC — Type SUPREME D24/30EQD and Type SUPREME D20

UNITED METAL PRODUCTS INC — Type SUPREME D24/30EQD and Type SUPREME D20

2E. **Framing Members* — Steel Studs —** (Not Shown, As an alternate to Item 2) — For use with Items 5F or 5G or 5I or 5K only, channel shaped studs, min depth as indicated under Item 5F, 5G or 5I, fabricated from min. 0.015 in. (min bare metal thickness) galvanized steel, spaced a max of 24 in. OC. Studs to be cut 3/4 in. less than assembly height.
CLARKDIETRICH BUILDING SYSTEMS — CD ProSTUD

DMFCWBS L L C — ProSTUD

MBA METAL FRAMING — ProSTUD

RAM SALES L L C — Ram ProSTUD

STEEL STRUCTURAL PRODUCTS L L C — Tri-S ProSTUD

2F. **Framing Members* — Steel Studs —** Not Shown — In lieu of Item 2 — proprietary channel shaped steel studs, minimum width indicated under Item 5, 1-1/4 in. deep fabricated from min 0.015 in. (min bare metal thickness) galvanized steel. Studs 3/8 in. to 3/4 in. less in lengths than assembly heights.
SUPER STUD BUILDING PRODUCTS — The Edge

2G. **Framing Members* — Steel Studs —** Not Shown — In lieu of Item 2 — proprietary channel shaped studs, minimum width indicated under Item 5, Studs to be cut 3/8 to 3/4 in less than the assembly height.
STUDCO BUILDING SYSTEMS — CROCSTUD

2H. **Framing Members* — Steel Studs —** (Not Shown, As an alternate to Item 2) — Fabricated from min. 0.015 in. (min bare metal thickness) galvanized steel, spaced a max of 24 in. OC. Studs to be cut 3/4 in. less than assembly height.
TELLING INDUSTRIES L L C — TRUE-STUD™

2I. **Framing Members* — Steel Studs —** (As an alternate to Item 2, For use with Items 5C or 5L or 5K) — Proprietary channel shaped studs, 3-5/8 in. deep spaced a max of 24 in. OC. Studs to be cut 3/4 in less than the assembly height and installed with a 1/2 in. gap between the end of the stud and track at the bottom of the wall. For direct attachment of gypsum board only.
TELLING INDUSTRIES L L C — Viper25™

2J. **Framing Members* — Metal Studs —** Not Shown — In lieu of Item 2 — proprietary channel shaped steel studs, min depth as indicated under Item 5, spaced a max if 24 in. OC, fabricated from min 0.018 in. thick galv steel. Studs cut 3/8 in. to 3/4 in. less in lengths than assembly heights
TELLING INDUSTRIES L L C — Viper20™

2K. **Framing Members* — Steel Studs —** As an alternate to Item 2 — For use with Item 1, channel shaped studs, fabricated from min 25 MSG corrosion-protected steel, min depth as indicated under Item 5, spaced a max of 24 in. OC. Studs to be cut 3/8 to 3/4 in. less than assembly height.
EB METAL INC — NITROSTUD

2L. **Framing Members* — Steel Studs —** As an alternate to Item 2 — For use with Item 1, channel shaped studs, fabricated from min 25 MSG corrosion-protected steel, min depth as indicated under Item 5, spaced a max of 24 in. OC. Studs to be cut 3/8 to 3/4 in. less than assembly height.
OLMAR SUPPLY INC — PRIMESTUD

2M. **Framing Members* — Steel Studs —** As an alternate to Item 2 — For use with Item 1, channel shaped studs, fabricated from min 25 MSG corrosion-protected steel, min depth as indicated under Item 5, spaced a max of 24 in. OC. Studs to be cut 3/8 to 3/4 in. less than assembly height.
MARINO/WARE, DIV OF WARE INDUSTRIES INC — StudRite™

2N. **Framing Members*— Steel Studs —** As an alternate to Item 2 — proprietary channel shaped steel studs, min depth 3-1/2 in. and as indicated under Item 5, spaced a max of 24 in. OC, fabricated from min 0.018 in. thick galv steel. Studs cut 3/8 in. to 3/4 in. less in length than assembly height.
STEEL INVESTMENT GROUP L L C — AlphaSTUD

i-design ARCHITECTURE + INTERIORS
1111 Haynes Street, Suite 103
Raleigh, North Carolina 27604
t. 919.833.5400
www.idesignpllc.com

A Tenant Alteration for
HARVEY JOHNS STEAKHOUSE
1501 N. Raleigh Street, Suite G
Angier, NC

JOB #: 23C1C1HARVEYJOHNS

DWG BY:	DVS
CHK BY:	DVS
DATE:	07/28/23
REV NO	DATE

UL DETAILS

SHEET NUMBER

G-5

2O. **Framing Members* — Steel Studs —** As an alternate to Item 2 — proprietary channel shaped steel studs, min width as indicated under Item 5, galv steel. Studs to be cut 3/8 to 3/4 in. less in lengths than assembly height. Spaced 24 in. OC max.
RONDO BUILDING SERVICES PTY LTD — Rondo Lipped Wall Stud

2P. **Framing Members* — Steel Studs —** As an alternate to Item 2 — proprietary channel shaped steel studs, min width as indicated under Item 5, min 25 MSG galv steel. Studs to be cut 3/8 to 3/4 in. less in lengths than assembly height. Spaced 24 in. OC max.
OEG BUILDING MATERIALS — OEG Stud

2Q. **Framing Members* — Steel Studs —** Not Shown — In lieu of Item 2 — For use with Item 1O, proprietary channel shaped steel studs, min depth as indicated under Item 5, spaced a max of 24 in. OC, fabricated from min 25 MSG (0.018 in. min. bare metal thickness). Studs cut 3/8 in. to 3/4 in. less in lengths than assembly heights.
CALIFORNIA EXPANDED METAL PRODUCTS CO — Viper X

3. **Wood Structural Panel Sheathing —** (Optional, For use with Item 5 Only) — (Not Shown) — 4 ft wide, 7/16 in. thick oriented strand board (OSB) or 15/32 in. thick structural 1 sheathing (plywood) complying with DOC PS1 or PS2, or APA Standard PRP-108, manufactured with exterior glue, applied horizontally or vertically to the steel studs. Vertical joints centered on studs, and staggered one stud space from wallboard joints. Attached to studs with flat-head self-drilling tapping screws with a min. head diam. of 0.292 in. at maximum 6 in. OC. in the perimeter and 12 in. OC. in the field. When used, gypsum panels attached over OSB or plywood panels and fastener lengths for gypsum panels increased by min. 1/2 in.

4. **Batts and Blankets* —** (Required as indicated under Item 5) — Mineral wool batts, friction fitted between studs and runners. Min nom thickness as indicated under Item 5.

See **Batts and Blankets** (BKNV or BZJZ) Categories for names of Classified companies.

4A. **Batts and Blankets* —** (Optional) — Placed in stud cavities, any glass fiber or mineral wool insulation bearing the UL Classification Marking as to Surface Burning Characteristics and/or Fire Resistance.

See **Batts and Blankets** (BKNV or BZJZ) Categories for names of Classified companies.

4B. **Batts and Blankets* —** For use with Item 5K. Placed in stud cavities, any min. 3-1/2 in. thick glass fiber insulation bearing the UL Classification Marking as to Surface Burning Characteristics and/or Fire Resistance.

See **Batts and Blankets** (BKNV or BZJZ) Categories for names of Classified companies.

4C. **Fiber, Sprayed* —** (Optional) and as an alternate to Batts and Blankets (Item 4B) where insulation is required - Spray applied granulated mineral fiber material. The fiber is applied with adhesive at a minimum density of 4.0 pcf to completely fill the wall cavity in accordance with the application instructions supplied with the product. See **Fiber, Sprayed** (CCAZ).
AMERICAN ROCKWOOL MANUFACTURING, LLC — Type Rockwool Premium Plus

5. **Gypsum Board* —** Gypsum panels with beveled, square or tapered edges, applied vertically or horizontally. Vertical joints centered over studs and staggered one stud cavity on opposite sides of studs. Vertical joints in adjacent layers (multilayer systems) staggered one stud cavity. Horizontal joints need not be backed by steel framing. Horizontal edge joints and horizontal butt joints on opposite sides of studs need not be staggered. Horizontal edge joints and horizontal butt joints in adjacent layers (multilayer systems) staggered a min of 12 in. The thickness and number of layers for the 1 hr, 2 hr, 3 hr and 4 hr ratings are as follows:

Gypsum Board Protection on Each Side of Wall

Rating, Hr	Min Stud Depth, in. Items 2, 2C, 2D, 2F, 2G, 2O	No. of Layers & Thkns of Panel	Min Thkns of Insulation (Item 4)	
1	3-1/2	1 layer, 5/8 in. thick	Optional	
1	2-1/2	1 layer, 1/2 in. thick	1-1/2 in.	
1	1-5/8	1 layer, 3/4 in. thick	Optional	
2	1-5/8	2 layers, 1/2 in. thick	Optional	
2	1-5/8	2 layers, 5/8 in. thick	Optional	
2	3-1/2	1 layer, 3/4 in. thick	3 in.	
3	1-5/8	3 layers, 1/2 in. thick	Optional	
3	1-5/8	2 layers, 3/4 in. thick	Optional	
3	1-5/8	3 layers, 5/8 in. thick	Optional	
4	1-5/8	4 layers, 5/8 in. thick	Optional	
4	1-5/8	4 layers, 1/2 in. thick	Optional	
4	2-1/2	2 layers, 3/4 in. thick	2 in.	

CGC INC — 1/2 in. thick Type C, IP-X2 or IPC-AR; WRC, 5/8 in. thick Type AR, C, IP-AR, IP-X1, IP-X2, IPC-AR, SCX, SHX, WRX or WRC; 3/4 in. thick Types IP-X3 or ULTRACODE

UNITED STATES GYPSUM CO — 1/2 in. thick Type C, IP-X2, IPC-AR or WRC; 5/8 in. thick Type SCX, SGX, SHX, WRX, IP-X1, AR, C, WRC, FRX-G, IP-AR, IP-X2, IPC-AR; 3/4 in. thick Types IP-X3 or ULTRACODE

USG BORAL DRYWALL SFZ LLC — 1/2 in. Type C; 5/8 in. Types C, SCX, SGX, ULTRACODE

USG MEXICO S A DE C V — 1/2 in. thick Type C, IP-X2, IPC-AR or WRC; 5/8 in. thick Type AR, C, IP-AR, IP-X1, IP-X2, IPC-AR, SCX, SHX, WRX, WRC or; 3/4 in. thick Types IP-X3 or ULTRACODE

When Item 7B, **Steel Framing Members***, is used, Nonbearing Wall Rating is limited to 1 Hr. Min. stud depth is 3-1/2 in., min. thickness of insulation (Item 4) is 3 in., and two layers of gypsum board panels (1/2 in. or 5/8 in. thick) shall be attached to furring channels as described in Item 6. One layer of gypsum board panels (1/2 in. or 5/8 in. thick) attached to opposite side of stud without furring channels as described in Item 6.

5A. **Gypsum Board* —** (As an alternate to Item 5) — 5/8 in. thick, 24 to 54 in. wide, applied horizontally as the outer layer to one side of the assembly. Secured as described in Item 6.
CGC INC — Type SHX.

UNITED STATES GYPSUM CO — Type FRX-G, SHX.

USG MEXICO S A DE C V — Type SHX.

5B. **Gypsum Board* —** (Not Shown) — As an alternate to Item 5 when used as the base layer on one or both sides of wall when 5/8 in or 3/4 in. thick products are specified. For direct attachment only to steel studs Item 2A, (not to be used with Item 3) — Nom 5/8 in. or 3/4 in. may be used as alternate to all 5/8 in. or 3/4 in. shown in Item 5, Wallboard Protection on Each Side of Wall table. Nom 5/8 in. or 3/4 in. thick lead backed gypsum panels with beveled, square or tapered edges, applied vertically. Vertical joints centered over studs and staggered min 1 stud cavity on opposite sides of studs. Gypsum board secured to 20 MSG steel studs Item 2A with 1-1/4 in. long Type S-12 steel screws spaced 8 in. OC at perimeter and 12 in. OC in the field. To be used with Lead Batten Strips (see Item 11) or Lead Discs or Tabs (see Item 12).
RAY-BAR ENGINEERING CORP — Type RB-LBG

5C. **Gypsum Board* —** (For Use With Item 2B) — Rating Limited to 1 Hour. 5/8 in. thick, 48 in. wide, Gypsum panels with beveled, square or tapered edges, applied vertically or horizontally. (Vertical Application) - The gypsum board is to be installed on each side of the studs with 1 in. long Type S coated steel screws spaced 8 in. OC starting 4 in. from the edge of the board at the vertical edges and 12 in. OC starting 6 in. from the edge of the board at the center of each board. Gypsum boards are to be secured to the top and bottom track with screws spaced 8 in. OC starting 4 in. from the board edge. Fasteners shall not penetrate through both the stud and the track at the same time. Vertical joints are to be centered over studs and staggered one stud cavity on opposite sides of studs. (Horizontal Application) - The gypsum board is to be installed on each side of the studs with 1 in. long Type S coated steel screws spaced 8 in. OC starting 4 in. from the edge of the board at the vertical edges and 12 in. OC starting 6 in. from the edge of the board at the center of each board. Gypsum boards are to be secured to the top and bottom track with screws spaced 8 in. OC starting 4 in. from the board edge. Fasteners shall not penetrate through both the stud and the track at the same time. All horizontal joints are to be backed as outlined under section VI of Volume 1 in the Fire Resistive Directory.
CGC INC — Type SCX.

UNITED STATES GYPSUM CO — Type SCX, SGX.

USG BORAL DRYWALL SFZ LLC — Type SCX

USG MEXICO S A DE C V — Type SCX

5D. **Gypsum Board* —** (As an alternate to Item 5) — 5/8 in. thick, 48 in. wide, applied vertically or horizontally. Secured as described in Item 6. For use with Items 1 and 2 only.
CGC INC — Type USGX

UNITED STATES GYPSUM CO — Type USGX

USG BORAL DRYWALL SFZ LLC — Type USGX

USG MEXICO S A DE C V — Type USGX

5E. **Gypsum Board* —** (Not Shown) — (As an alternate to Item 5 when used as the base layer on one or both sides of wall when 1/2 in. or 5/8 in thick products are specified, For direct attachment only to steel studs Item 2A, not to be used with Item 3). Nominal 5/8 in. thick lead backed gypsum panels with beveled, square or tapered edges, applied vertically. Vertical joints centered over studs and staggered min 1 stud cavity on opposite sides of studs. Wallboard secured to studs with 1-1/4 in. long Type S-12 (or No. 6 by 1-1/4 in. long bugle head fine driller) steel screws spaced 8 in. OC at perimeter and 12 in. OC in the field.
NEW ENGLAND LEAD BURNING CO INC, DBA NELCO — Nelco

5F. **Gypsum Board* —** (As an alternate to Item 5) — For use with Items 1E and 2E and limited to 1 Hour Rating only, Gypsum panels with beveled, square or tapered edges, applied vertically, and fastened to the steel studs with 1 in. long Type S screws spaced 8 in. OC along vertical and bottom edges and 12 in. OC in the field. Vertical joints centered over studs and staggered one stud cavity on opposite sides of studs. Steel stud depth shall be a minimum 3-5/8 in.
UNITED STATES GYPSUM CO — 5/8 in. thick Type SCX, SGX

USG BORAL DRYWALL SFZ LLC — 5/8 in. thick Type SCX, SGX

5G. **Gypsum Board* —** (As an alternate to Item 5) — For use with Items 1E and 2E only, Gypsum panels with beveled, square or tapered edges, applied vertically or horizontally, as specified in the table below and fastened to the steel studs as described in Item 6. Vertical joints centered over studs and staggered one stud cavity on opposite sides of studs. Vertical joints in adjacent layers (multilayer systems) staggered one stud cavity. Horizontal joints need not be backed by steel framing. Horizontal edge joints and horizontal butt joints on opposite sides of studs need not be staggered. Horizontal edge joints and horizontal butt joints in adjacent layers (multilayer systems) staggered a min of 12 in. The thickness and number of layers for the 2 hr, 3 hr and 4 hr ratings are as follows:

Gypsum Board Protection on Each Side of Wall

Rating, Hr	Min Stud Depth, in. Item 2E	No. of Layers & Thickness of Panel	Min Thkns of Insulation (Item 4)	
2	1-5/8	2 layers, 1/2 in. thick	Optional	
2	1-5/8	2 layers, 5/8 in. thick	Optional	
3	1-5/8	3 layers, 1/2 in. thick	Optional	
3	1-5/8	3 layers, 5/8 in. thick	Optional	
4	1-5/8	4 layers, 5/8 in. thick	Optional	
4	1-5/8	4 layers, 1/2 in. thick	Optional	

CGC INC — 1/2 in. thick Type C, IP-X2 or IPC-AR;, 5/8 in. thick Type AR, C, IP-AR, IP-X1, IP-X2, IPC-AR, SCX, SHX, or; 3/4 in. thick Types IP-X3 or ULTRACODE

UNITED STATES GYPSUM CO — 1/2 in. thick Type C, IP-X2, IPC-AR or; 5/8 in. thick Type SCX, SGX, SHX, IP-X1, AR, C, , FRX-G, IP-AR, IP-X2, IPC-AR, ULIX; 3/4 in. thick Types IP-X3 or ULTRACODE

USG BORAL DRYWALL SFZ LLC — 1/2 in. Type C; 5/8 in. Types C, SCX, SGX, ULTRACODE

USG MEXICO S A DE C V — 1/2 in. thick Type C, IP-X2, IPC-AR or; 5/8 in. thick Type AR, C, IP-AR, IP-X1, IP-X2, IPC-AR, SCX, SHX, or; 3/4 in. thick Types IP-X3 or ULTRACODE

5H. **Gypsum Board* —** (Not Shown) — (As an alternate to Item 5 when used as the base layer on one or both sides of wall when 5/8 or 3/4 in thick products are specified. For direct attachment only to steel studs Item 2A, (not to be used with Item 3) - Nom 5/8 or 3/4 in. may be used as alternate to all 5/8 or 3/4 in. shown in Item 5, Wallboard Protection on Each Side of Wall table. Nom 5/8 or 3/4 in. thick lead backed gypsum panels with beveled, square or tapered edges, applied vertically. Vertical joints centered over 20 MSG steel studs and staggered min 1 stud cavity on opposite sides of studs. Wallboard secured to studs with 1-1/4 in. long Type S-12 steel screws spaced 8 in. OC at perimeter and 12 in. OC in the field. Gypsum board secured to 20 MSG steel studs Item 2B with 1-1/4 in. long Type S-12 steel screws spaced 8 in. OC at perimeter and 12 in. OC in the field. For Joint Compound see Item 5. To be used with Lead Batten Strips (see Item 11A) or Lead Discs (see Item 12A).
MAYCO INDUSTRIES INC — Type X-Ray Shielded Gypsum

5I. **Gypsum Board* —** (As an alternate to Item 5) — Nom. 5/8 in. thick gypsum panels with beveled, square or tapered edges installed as described in Item 5. Steel stud minimum depth shall be as indicated in Item 5.
CGC INC — Type ULX

UNITED STATES GYPSUM CO — Type ULX

USG MEXICO S A DE C V — Type ULX

5J. **Gypsum Board* —** (Not Shown) — (As an alternate to Item 5 when used as the base layer on one or both sides of wall when 1/2 in. or 5/8 in thick products are specified, For direct attachment only to steel studs Item 2A, not to be used with Item 3). Nom 5/8 in. thick lead backed gypsum panels with beveled, square or tapered edges, applied vertically. Vertical joints centered over studs and staggered min 1 stud cavity on opposite sides of studs. Wallboard secured to studs with 1-1/4 in. long Type S-12 steel screws gypsum panel steel screws spaced 8 in. OC at perimeter and 12 in. OC in the field. Lead batten strips required behind vertical joints of lead backed gypsum wallboard and optional at remaining stud locations. Lead batten strips, min 2 in. wide, max 8 ft long with a max thickness of 0.14 in. placed on the face of studs and attached to the stud with construction adhesive and two 1 in. long Type S-12 pan head steel screws, one at the top of the strip and one at the bottom of the strip. Lead discs, nominal 3/8 in. diam by max 0.085 in. thick. Compression fitted or adhered over the screw heads. Lead batten strips and discs to have a purity of 99.9% meeting the Federal specification QQ-L-201f, Grade "C".
RADIATION PROTECTION PRODUCTS INC — Type RPP - Lead Lined Drywall

5K. **Gypsum Board* —** (Not Shown) — (As an alternate to Item 5) — Nom. 5/8 in. thick gypsum panels with beveled, square or tapered edges, applied vertically or horizontally. Vertical joints centered over studs and staggered one stud cavity on opposite sides of studs. Vertical joints in adjacent layers (multilayer systems) staggered one stud cavity. Horizontal joints need not be backed by steel framing. Horizontal edge joints and horizontal butt joints on opposite sides of studs need not be staggered. Horizontal edge joints and horizontal butt joints in adjacent layers (multilayer systems) need not be staggered. The number of layers for the 1 hr, 2 hr, 3 hr and 4 hr ratings are as follows:

Gypsum Board Protection on Each Side of Wall

Rating, Hr	Min Stud Depth, in. Items 2 through 2O	No. of Layers & Thkns of Panel	Min Thkns of Insulation (Item 4B)	
1	3-5/8	1 layer, 5/8 in. thick	3-1/2 in.	
2	1-5/8	2 layers, 5/8 in. thick	Optional	
3	1-5/8	3 layers, 5/8 in. thick	Optional	
4	1-5/8	4 layers, 5/8 in. thick	Optional	

UNITED STATES GYPSUM CO — 5/8 in. thick Type ULIX

6. **Fasteners —** (Not Shown) — For use with Items 2 and 2F - Type S or S-12 steel screws used to attach panels to studs (Item 2) or furring channels (Item 7). **Single layer systems:** 1 in. long for 1/2 and 5/8 in. thick panels or 1-1/4 in. long for 3/4 in. thick panels, spaced 8 in. OC when panels are applied horizontally, or 8 in. OC along vertical and bottom edges and 12 in. OC in the field when panels are applied vertically. **Two layer systems:** First layer- 1 in. long for 1/2 and 5/8 in. thick panels or 1-1/4 in. long for 3/4 in. thick panels, spaced 16 in. OC. Second layer- 1-5/8 in. long for 1/2 in., 5/8 in. thick panels or 2-1/4 in. long for 3/4 in. thick panels, spaced 16 in. OC with screws offset 8 in. from first layer.**Three-layer systems:** First layer- 1 in. long for 1/2 in., 5/8 in. thick panels, spaced 24 in. OC. Second layer- 1-5/8 in. long for 1/2 in., 5/8 in. thick panels, spaced 24 in. OC. Third layer- 2-1/4 in. long for 1/2 in., 5/8 in. thick panels or 2-5/8 in. long for 5/8 in. thick panels, spaced 12 in. OC. Screws offset min 6 in. from layer below. **Four-layer systems:** First layer- 1 in. long for 1/2 in., 5/8 in. thick panels, spaced 24 in. OC. Second layer- 1-5/8 in. long for 1/2 in., 5/8 in. thick panels, spaced 24 in. OC. Third layer- 2-1/4 in. long for 1/2 in. thick panels or 2-5/8 in. long for 5/8 in. thick panels, spaced 24 in. OC. Fourth layer- 2-5/8 in. long for 1/2 in. thick panels or 3 in. long for 5/8 in. thick panels, spaced 12 in. OC. Screws offset min 6 in. from layer below.

7. **Furring Channels —** (Optional, Not Shown, for single or double layer systems) — Resilient furring channels fabricated from min 25 MSG corrosion-protected steel, spaced vertically a max of 24 in. OC. Flange portion attached to each intersecting stud with 1/2 in. long Type S-12 steel screws. Not for use with Item 5A.

7A. **Framing Members* —** (Optional on one or both sides, not shown, for single or double layer systems) — As an alternate to Item 7, furring channels and Steel Framing Members as described below:

a. **Furring Channels —** Formed of No. 25 MSG galv steel, 2-9/16 in. or 2-23/32 in. wide by 7/8 in. deep, spaced max. 24 in. OC perpendicular to studs. Channels secured to studs as described in Item b. Gypsum board attached to furring channels as described in Item 6. Not for use with Item 5A.

b. **Steel Framing Members* —** Used to attach furring channels (Item 7Aa) to studs (Item 2). Clips spaced max. 48 in. OC. RSIC-1 and RSIC-1 (2.75) clips secured to studs with No. 8 x 1-1/2 in. minimum self-drilling, S-12 steel screw through the center grommet. RSIC-V and RSIC-V (2.75) clips secured to studs with No. 8 x 9/16 in. minimum self-drilling, S-12 steel screw through the center hole. Furring channels are friction fitted into clips. RSIC-1 and RSIC-V clips for use with 2-9/16 in. wide furring channels. RSIC-1 (2.75) and RSIC-V (2.75) clips for use with 2-23/32 in. wide furring channels.
PAC INTERNATIONAL L L C — Types RSIC-1, RSIC-V, RSIC-1 (2.75), RSIC-V (2.75).

7B. **Framing Members* —** (Optional, Not Shown) — As an alternate to Item 7, for single or double layer systems, furring channels and Steel Framing Members on only one side of studs as described below:

a. **Furring Channels —** Formed of No. 25 MSG galv steel, spaced 24 in. OC perpendicular to studs. Channels secured to studs as described in Item b. Batts and Blankets placed in stud cavity as described in Item 5. Two layers of gypsum board attached to furring channels as described in Item 5. Not for use with Item 5A.

b. **Steel Framing Members* —** Used to attach furring channels (Item 7Ba) to one side of studs (Item 2) only. Clips spaced 48 in. OC., and secured to studs with two No. 8 x 2-1/2 in. coarse drywall

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DAVID VIRGIL SEASS, JR. REGISTERED ARCHITECT 9987 CARY, N.C.
07-28-23
IDEAING DESIGN PLLC ARCHITECTURAL COMPANY 54070 N.C. RALEIGH, N.C.

A Tenant Alteration for
HARVEY JOHNS STEAKHOUSE
1501 N. Raleigh Street, Suite G
Angier, NC

JOB #: 23C1C1HARVEYJOHNS

DWG BY:	DVS
CHK BY:	DVS
DATE:	07/28/23
REV NO	DATE

UL DETAILS

SHEET NUMBER
G-6

screws, one through the hole at each end of the clip. Furring channels are friction fitted into clips.
KINETICS NOISE CONTROL INC — Type Isomax

7C. **Framing Members* —** (Not Shown) — (Optional on one or both sides, not shown, for single or double layer systems) — As an alternate to Item 7, furring channels and Steel Framing Members as described below:

a. **Furring Channels —** Formed of No. 25 MSG galv steel. 2-3/8 in. wide by 7/8 in. deep, spaced max. 24 in. OC perpendicular to studs. Channels secured to studs as described in Item b. Gypsum board attached to furring channels as described in Item 6. Not for use with Item 5A.

b. **Steel Framing Members* —** Used to attach furring channels (Item 7Ca) to studs (Item 2). Clips spaced max. 48 in. OC. GENIECLIPS secured to studs with No. 8 x 1-1/2 in. minimum self-drilling, S-12 steel screw through the center grommet. Furring channels are friction fitted into clips.
PLITEQ INC — Type GENIECLIP

7D. **Steel Framing Members* —** (Optional on one or both sides, not shown, for single or double layer systems) — Furring channels and Steel Framing Members as described below:

a. **Furring Channels —** Formed of No. 25 MSG galv steel. Spaced 24 in. OC perpendicular to studs. Channels secured to studs as described in Item b. Ends of adjoining channels overlapped 6 in. and tied together with double strand of No. 18 AWG galvanized steel wire.. Gypsum board attached to furring channels as described in Item 6. Not for use with Item 5A.

b. **Steel Framing Members* —** Used to attach furring channels (Item 7Da) to studs. Clips spaced 48 in. OC., and secured to studs with 2 in. coarse drywall screw with 1 in. diam washer through the center hole. Furring channels are friction fitted into clips
STUDCO BUILDING SYSTEMS — RESILMOUNT Sound Isolation Clips - Type A237 or A237R

7E. **Steel Framing Members* —** (Optional on one or both sides, not shown, for single or double layer systems) — Furring channels and Steel Framing Members as described below:

a. **Furring Channels —** Formed of No. 25 MSG galv steel. Spaced 24 in. OC perpendicular to studs. Channels secured to studs as described in Item 7Eb. Ends of adjoining channels overlapped 6 in. and tied together with double strand of No. 18 AWG galvanized steel wire.. Gypsum board attached to furring channels as described in Item 6. Not for use with Item 5A and 5E.

b. **Steel Framing Members* —** Used to attach furring channels (Item 7Ea) to studs. Clips spaced 48 in. OC., and secured to studs with No. 8 x 2-1/2 in. coarse drywall screw through the center hole. Furring channels are friction fitted into clips.
REGUPOL AMERICA — Type SonusClip

7F. **Steel Framing Members* —** (Optional on one or both sides, not shown, for single or double layer systems) — Resilient channels and Steel Framing Members as described below:

a. **Resilient Channels —** Formed of No. 25 MSG galv steel, spaced 24 in. OC, and perpendicular to studs. Channels secured to studs as described in Item b. Ends of adjoining channels overlapped 6 in. and secured in place with two No. 8 15 x 1/2 in. Philips Modified Truss screws spaced 2-1/2 in. from the center of the overlap. Gypsum board attached to resilient channels as described in Item 5. Not for use with Item 5A and 5E.

b. **Steel Framing Members* —** Used to attach resilient channels (Item 7Fa) to studs. Clips spaced 48 in. OC., and secured to studs with No. 8 x 2-1/2 in. coarse drywall screw through the center hole. Resilient channels are secured to clips with one No. 10 x 1/2 in. pan-head self-drilling screw.
KEENE BUILDING PRODUCTS CO INC — Type RC+ Assurance Clip

7G. **Framing Members* —** (Optional on one or both sides, not shown, for single or double layer systems) — As an alternate to Item 7, furring channels and Steel Framing Members as described below:

a. **Furring Channels —** Formed of No. 25 MSG galv steel. 2-23/32 in. wide by 7/8 in. or 1-1/2 in. deep, spaced max. 24 in. OC perpendicular to studs. Channels secured to studs as described in Item b. Gypsum board attached to furring channels as described in Item 6. Not for use with Item 5A.

b. **Steel Framing Members* —** Used to attach furring channels (Item 7Ga) to studs (Item 2). Clips spaced max. 48 in. OC. Clips secured to studs with No. 8 x 1-1/2 in. minimum self-drilling, S-12 steel screw through the center hole. Furring channels are friction fitted into clips.
CLARKDIETRICH BUILDING SYSTEMS — Type ClarkDietrich Sound Clip

8. **Joint Tape and Compound —** Vinyl or casein, dry or premixed joint compound applied in two coats to joints and screw heads of outer layers. Paper tape, nom 2 in. wide, embedded in first layer of compound over all joints of outer layer panels. Paper tape and joint compound may be omitted when gypsum panels are supplied with a square edge.

9. **Siding, Brick or Stucco —** (Optional, Not Shown) — Aluminum, vinyl or steel siding, brick veneer or stucco, meeting the requirements of local code agencies, installed over gypsum panels. Brick veneer attached to studs with corrugated metal wall ties attached to each stud with steel screws, not more than each sixth course of brick.

10. **Caulking and Sealants* —** (Optional, Not Shown) — A bead of acoustical sealant applied around the partition perimeter for sound control.
UNITED STATES GYPSUM CO — Type AS

11. **Lead Batten Strips —** (Not Shown, For Use With Item 5B) — Lead batten strips, min 1-1/2 in. wide, max 10 ft long with a max thickness of 0.125 in. Strips placed on the interior face of studs and attached from the exterior face of the stud with two 1 in. long Type S-12 pan head steel screws, one at the top of the strip and one at the bottom of the strip. Lead batten strips to have a purity of 99.9% meeting the Federal specification QQ-L-201f, Grade "C". Lead batten strips required behind vertical joints of lead backed gypsum wallboard (Item 5B) and optional at remaining stud locations. Required behind vertical joints.

11A. **Lead Batten Strips —** (Not Shown, For Use With Item 5H) — Lead batten strips, 2 in. wide, max 10 ft long with a max thickness of 0.140 in. Strips placed on the face of studs and attached to the stud with two min. 1 in. long min. Type S-8 pan head steel screws, one at the top of the strip and one at the bottom of the strip or with one min. 1 in. long min. Type S-8 pan head steel screw at the top of the strip. Lead batten strips to have a purity of 99.5% meeting the Federal specification QQ-L-201f, Grades "B, C or D". Lead batten strips required behind vertical joints of lead backed gypsum wallboard and optional at remaining stud locations.

12. **Lead Discs or Tabs —** (Not Shown, For Use With Item 5B) — Used in lieu of or in addition to the lead batten strips (Item 11) or optional at other locations - Max 3/4 in. diam by max 0.125 in. thick lead discs compression fitted or adhered over steel screw heads or max 1/2 in. by 1-1/4 in. by max 0.125 in. thick lead tabs placed on gypsum boards (Item 5B) underneath screw locations prior to the installation of the screws. Lead discs or tabs to have a purity of 99.9% meeting the Federal specification QQ-L-201f, Grade "C".

12A. **Lead Discs —** (Not Shown, for use with Item 5H) — Max 5/16 in. diam by max 0.140 in. thick lead discs compression fitted or adhered over steel screw heads. Lead discs to have a purity of 99.5% meeting the Federal Specification QQ-L-201f, Grades "B, C or D".

13. **Lead Batten Strips —** (Not Shown, For Use With Item 5E) — Lead batten strips, 2 in. wide, max 10 ft long with a max thickness of 0.142 in. Strips placed on the face of studs and attached to the stud with two min. 1 in. long min. Type S-8 pan head steel screws, one at the top of the strip and one at the bottom of the strip or with one min. 1 in. long min. Type S-8 pan head steel screw at the top of the strip. Lead batten strips to have a purity of 99.9% meeting the Federal specification QQ-L-201f, Grade "C". Lead batten strips required behind vertical joints of lead backed gypsum wallboard (Item 5E) and optional at remaining stud locations.

14. **Lead Tabs —** (Not Shown, For Use With Item 5E) — 2 in. wide, 5 in. long with a max thickness of 0.142 in. Tabs friction-fit around front face of stud, the stud folded back flange, and the back face of the stud. Tabs required at each location where a screw (that secures the gypsum boards, Item 5E) will penetrate the steel stud. Lead tabs to have a purity of 99.9% meeting the Federal specification QQ-L-201f, Grade "C". Lead tabs may be held in place with standard adhesive tape if necessary.

15. **Barrier Mesh —** (Optional, Not Shown) - Attached to steel studs on one or both sides of the wall using Barrier Mesh Clips spaced at maximum 12 inches on center vertically, using a flat head type screw penetrating through the steel at least 3/8 of an inch. For Steel Studs less than 0.033 inches in thickness, use self-piercing screws. For Steel Studs equal to or greater than 0.033 inches in thickness, use steel drill screws (self-tapping). Gypsum Board (Item 5) to be installed directly over the Barrier Mesh using prescribed screw patterns with lengths increased by a minimum 1/8 in. Barrier Mesh may be installed with the long dimension of the diamond pattern positioned vertically or horizontally. Barrier Mesh joints may occur as butt joints at the framing members and secured using the Barrier Mesh Clips or occur in between framing members as overlapping joints secured using 18 SWG wire ties spaced a maximum 12 in. on center.
CLARKDIETRICH BUILDING SYSTEMS — Barrier Mesh, Barrier Mesh Clips

*** Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.**

Last Updated on 2019-09-13

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XHBO.CJ-D-0006 - Continuity Head-of-wall Joint Systems

Design/System/Construction/Assembly Usage Disclaimer

- Authorities Having Jurisdiction should be consulted in all cases as to the particular requirements covering the installation and use of UL Certified products, equipment, system, devices, and materials.
- Authorities Having Jurisdiction should be consulted before construction.
- Fire resistance assemblies and products are developed by the design submitter and have been investigated by UL for compliance with applicable requirements. The published information cannot always address every construction nuance encountered in the field.
- When field issues arise, it is recommended the first contact for assistance be the technical service staff provided by the product manufacturer noted for the design. Users of fire resistance assemblies are advised to consult the general Guide Information for each product category and each group of assemblies. The Guide Information includes specifics concerning alternate materials and alternate methods of construction.
- Only products which bear UL's Mark are considered Certified.

XHBO - Continuity Head-of-wall Joint Systems

See General Information for Continuity Head-of-wall Joint Systems

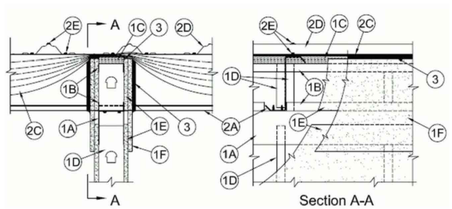
System No. CJ-D-0006

February 08, 2021

Joint Rating — 1 Hr

Nominal Joint Width — 2 in.

Class II or III Movement Capabilities — 100% Compression and Extension



1. **Wall Assembly —** The minimum 1 h fire rated gypsum board/steel stud wall assembly shall be constructed of the materials and in the manner specified in the individual U400, V400 or W400 Series Wall and Partition Design in the UL Fire Resistance Directory and shall include the following construction features:

A. **Ceiling Deflection Channel —** U-shaped channel formed from min 16 ga steel sized to accommodate steel studs (Item 1D) and provided with nom 5 in. (127 mm) flanges. Deflection channel installed perpendicular to purlins and secured to bottom flange of purlins with min No. 14 self-tapping, hex-head, plated steel or stainless steel screws.

B. **Steel Floor and Ceiling Runners —** Floor runner of the wall assembly and the floor and ceiling runners of the cripple wall above the wall assembly shall consist of min 1-1/4 in. (32 mm) deep min 25 ga galv steel channels sized to accommodate steel studs (Item 1D). Floor runner of cripple wall aligned with and screw attached to top of ceiling deflection channel. Ceiling runner of cripple wall installed to compress insulation (Item 2C) to min thickness of 3/8 in. (10 mm) by wedging lengths of stud (Item 1D) between the runners. Steel studs of cripple wall attached to each side of purlin web and to floor and ceiling runners with steel screws.

C. **Batts and Blankets* - Packing Material —** Unfaced compressible mineral wool batt insulation having a nom 2 in. (51 mm) thickness before compression and a nom density of 4 pcf (64 kg/m^3). Strips of nom 2 in. (51 mm) thick batt cut to width of cripple wall ceiling runner and compressed min 50 percent in thickness between cripple wall ceiling runner and insulation (Item 2C). Compression of mineral wool batt packing material to result in compression of insulation (Item 2C) to nominal 3/8 in. (10 mm) thickness.
See **Batts and Blankets** (BZJZ) category in the UL Fire Resistance Directory or **Batts and Blankets** (BKNV) category in the UL Building Materials Directory for names of manufacturers.

D. **Studs —** Steel studs to be min 3-1/2 in. (89 mm) wide. Studs cut max 2 in. (51 mm) less in length than the wall assembly height beneath purlins with bottom nesting in and resting on the floor runner and with top nesting in ceiling deflection channel without attachment. Stud spacing not to exceed 24 in. (610 mm) O.C. Studs of cripple wall cut to length as required to compress packing material (Item 1C) and insulation (Item 2C) to min thicknesses of 1 in. (25 mm) and 3/8 in. (10 mm), respectively. Studs spaced max 24 in. (610 mm) OC.

E. **Gypsum Board* —** (CKNX) — Min 5/8 in. (16 mm) thick gypsum board sheets installed on each side of wall. Wall to be constructed as specified in the individual U400, V400 or W400 Series Design in the UL Fire Resistance Directory except that a max 2 in. (51 mm) wide gap shall be maintained between the gypsum board of the wall assembly below the purlin and the gypsum board of the cripple wall. Top edge of gypsum board of wall assembly to be max 2 in. (51 mm) below top of ceiling deflection channel. Bottom edge of gypsum board of cripple wall to be flush with top of ceiling deflection channel. Screws securing gypsum board to steel studs of wall assembly to be located 2-1/4 in. to 2-1/2 in. (57 to 64 mm) below flange of ceiling deflection channel. Screws securing gypsum board of cripple wall to be driven into studs and runners of cripple wall. No screws are to be driven into flanges of ceiling deflection channel.

F. **Gypsum Board* —** (CKNX) — Min 5/8 in. (16 mm) thick "rip strip" of gypsum board installed to cover first layer of gypsum board on cripple wall and to lap min 3 in. (76 mm) onto gypsum board of wall assembly on each side of wall. The "rip strip" of gypsum board is to be the same material used for the wall assembly and is to be secured to the studs and runners of the cripple wall. No screws are to be driven into flanges of ceiling deflection channel. Joints of "rip strip" to be offset from joints of gypsum board on wall assembly.

Max separation between top of wall assembly gypsum board and bottom of cripple wall gypsum board (at time of installation of joint system) is 2 in. (51 mm). The joint system is designed to accommodate a max 100 percent compression or extension from its installed width.

2. **Nonrated Horizontal Assembly —** The nonrated horizontal assembly shall be constructed of the materials and in the manner described in the individual Roof Deck Constructions (Guide TGKX) in the UL Roofing Materials and Systems Directory and shall include the following construction features:

A. **Purlin —** Min 16 ga coated steel. Max spacing as specified in the individual Roof Deck Construction.

B. **Lateral Bracing —** (Not Shown) - As required.

C. **Batts and Blankets* - Insulation —** Any faced compressible glass-fiber blanket insulation having a min 6 in. (152 mm) thickness before compression and a min density of 0.6 pcf (9.6 kg/m^3). Insulation draped over purlins prior to installation of panel clips (Item 2F) and/or metal roof deck panels (Item 2D). Side edges of the batts shall be butted or overlapped a max of 3 in. (76 mm).
See **Batts and Blankets** (BZJZ) category in the UL Fire Resistance Directory or **Batts and Blankets** (BKNV) category in the UL Building Materials Directory for names of manufacturers.

D. **Metal Roof Deck Panels* —** Min 26 ga coated steel. Panels continuous over two or more spans. Roof panel end laps, if required, centered over purlins with min 3 in. (76 mm) panel overlap as specified in the individual Roof Deck Construction. A line of tube sealant or tape sealant may be used at panel end and side laps.
See **Metal Roof Deck Panels** (TJPV) category in the UL Roofing Materials and Systems Directory for names of manufacturers.

E. **Fasteners —** Fasteners used for panel-to-purlin and panel-to-panel connections to be self-tapping, hex-head, plated steel or stainless steel screws with either an integral or a separate steel washer fitted with a compressible sealing washer. Fastener type, length, pilot hole diam and spacing to be as specified in the individual Roof Deck Construction.

F. **Roof Deck Fasteners* - Panel Clips —** (Not Shown) - Panel clips used for panel-to-purlin connections to be secured to purlin through insulation as specified in the individual Roof Deck Construction.
See **Roof Deck Fasteners** (TLSX) category in the UL Roofing Materials and Systems Directory for names of manufacturers.

G. **Thermal Spacer Blocks —** (Not Shown) - Expanded polystyrene strips cut to fit between panel clips (Item 2F) as specified in the individual Roof Deck Construction. Thermal spacer blocks, when used, are to be installed between insulation (Item 2C) and metal roof deck panels (Item 2D) over purlins.

3. **Fill, Void or Cavity Material* (XHHW) — Caulk —** Min 5/8 in. (16 mm) thickness of fill material installed to fill any gap between top of cripple wall gypsum board and insulation (Item 2C) on each side of the wall. Additional sealant installed to fill annular space between purlin and gypsum board "rip strip" (Item 1F) on both sides of wall. Additional nom 1/2 in. (13 mm) diam bead of sealant to be applied around perimeter of purlin at its interface with the "rip strip" on each side of the wall.
3M COMPANY 3M FIRE PROTECTION PRODUCTS — CP 25WB+ Caulk

*** Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.**

Last Updated on 2021-02-08

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FIRE-RESISTANCE DESIGN

Assembly Usage Disclaimer

BXUV - Fire Resistance Ratings - ANSI/UL 263 Certified for United States

BXUV7 - Fire Resistance Ratings - CAN/ULC-S101 Certified for Canada

See General Information for Fire-resistance Ratings - ANSI/UL 263 Certified for United States Design Criteria and Allowable Variances

See General Information for Fire Resistance Ratings - CAN/ULC-S101 Certified for Canada Design Criteria and Allowable Variances

Design No. V497

July 09, 2019

Nonbearing Wall Rating - 1 or 2 Hr

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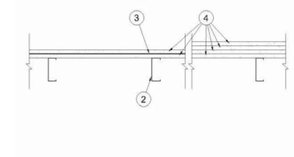

1. **Floor and Ceiling Runners** — (Not Shown) — Channel shaped, fabricated from min 25 MSG corrosion-protected steel, min width to accommodate stud size, with min 1-1/4 in. long legs, attached to floor and ceiling with fasteners 24 in. OC max.

1A. **Framing Members*— Floor and Ceiling Runners** — (Not Shown) — As an alternate to Item 1. For use with Item 2A, channel shaped, min width to

accommodate stud size, with min 1-1/4 in. long legs, attached to floor and ceiling with fasteners 24 in. OC max.
MARINO/WARE, DIV OF WARE INDUSTRIES INC — Viper25™ Track

2. **Steel Studs** — Channel shaped, fabricated from min 25 MSG corrosion-protected steel, min 3-5/8 in. wide, min 1-1/4 in. flanges, spaced a max of 24 in. OC. Studs to be cut 3/8 to 3/4 in. less than assembly height.

2A. **Steel Studs*** — Channel shaped, fabricated from min 25 MSG corrosion-protected steel, min 3-5/8 in. wide, min 1-1/4 in. flanges, spaced a max of 24 in. OC. Studs to be cut 3/8 to 3/4 in. less than assembly height.
MARINO/WARE, DIV OF WARE INDUSTRIES INC — Viper25™

3. **Laminating Compound** — For use with Item 4 - Used to bond outer layer wallboard to inner layer wallboard. Powder type mixed with water in accordance with instructions shown on bags. Applied to entire surface of base layer wallboard. Applied with notched trowel producing continuous beads about 1/4 in. wide and 1/4 in. high.

4. **Gypsum Board*** — 1 Hr Rating - Applied to one side of steel studs (Item 2). Two layers of 5/8 in. gypsum panels with beveled, square or tapered edges. Gypsum panels applied vertically with joints centered over studs. Base layer applied with 1 in. Type S screws spaced 24 in. oc. Face layer applied vertically with joints centered over studs and offset from base layer joints by one stud cavity. Face layer applied with 1-5/8 in. Type S screws spaced 12 in. oc starting with a 6 in. offset from the bottom of the gypsum panel.
NATIONAL GYPSUM CO — 5/8 in. thick Type eXP-C, FSL, FSW, FSK, FSW-3, FSW-5, FSW-G, FSK-G, FSW-6, FSW-8, FSW-C, FSMR-C, FSK-C, SoundBreak XP Type X Gypsum Board

4A. **Gypsum Board*** — (As an alternate to Items 3 and 4) – 1 Hr Rating - Applied to one side of steel studs (Item 2). Three layers of 5/8 in. gypsum panels with beveled, square or tapered edges. Gypsum panels applied vertically or horizontally with vertical joints centered over studs and staggered one stud cavity in adjacent layers. Horizontal edge joints and horizontal butt joints in adjacent layers staggered a minimum of 12 in. Horizontal joints need not be backed by steel framing. First layer applied with 1 in. Type S screws spaced 24 in. oc. Second layer applied vertically with joints centered over studs and offset from base layer joints by 24 in. Second layer applied with 1-5/8 in. Type S screws spaced 24 in. oc. Face layer applied vertically with joints centered over studs and offset from second layer joints by 24 in. Face layer applied with 2-1/4 in. Type S screws spaced 12 in. oc starting with a 6 in. offset from the bottom of the gypsum panel.
NATIONAL GYPSUM CO — 5/8 in. thick Type eXP-C, FSL, FSW, FSK, FSW-3, FSW-5, FSW-G, FSK-G, FSW-6, FSW-C, FSMR-C, FSK-C, SoundBreakXP Type X Gypsum Board

4B. **Gypsum Board*** — 1 Hr Rating - (As an alternate to Item 4A) - Nom. 5/16 in. thick gypsum panels applied vertically. Two layers of 5/16 in. for every single layer of 5/8 in. gypsum board described in Item 4A. Horizontal joints on the same side need not be staggered. Inner layer of each double 5/16 in. layer attached with fasteners, as described in Item 4A, spaced 24 in. OC. Outer layer of each double 5/16 in. layer attached per Item 4A.
NATIONAL GYPSUM CO — Type FSW

4C. **Gypsum Board*** — **2 Hour Rating** — Applied to one side of steel studs (Item 2). Four layers of 5/8 in. gypsum panels with beveled, square or tapered edges. Gypsum panels applied vertically or horizontally with vertical joints centered over studs and staggered one stud cavity in adjacent layers. Horizontal edge joints and horizontal butt joints in adjacent layers staggered a minimum of 12 in. Horizontal joints need not be backed by steel framing. First layer applied with 1 in. Type S screws spaced 24 in. oc. Second layer applied with 1-5/8 in. Type S screws spaced 24 in. oc. Third layer applied with 2-1/2 in. Type S screws spaced 16 in. oc. Fourth layer applied with 3" Type S screws spaced 12 in. o.c.
NATIONAL GYPSUM CO — 5/8 in. thick Type eXP-C, FSL, FSW, FSK, FSW-3, FSW-5, FSW-G, FSK-G, FSW-6, FSW-C, FSMR-C, FSK-C, SoundBreakXP Type X Gypsum Board

5. **Joint Tape and Compound** — (Not Shown) - Joints covered with joint compound and paper tape. Paper tape, nom 2 in. wide, embedded in first layer of compound over all joints of outer panels.

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Last Updated on 2019-07-09

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DAVID VIRGIL SEASS, JR. REGISTERED ARCHITECT 9987 CARY, N.C.
07-28-23

i-DESIGN PLLC ARCHITECTURAL COMPANY 54070 RALEIGH, N.C.

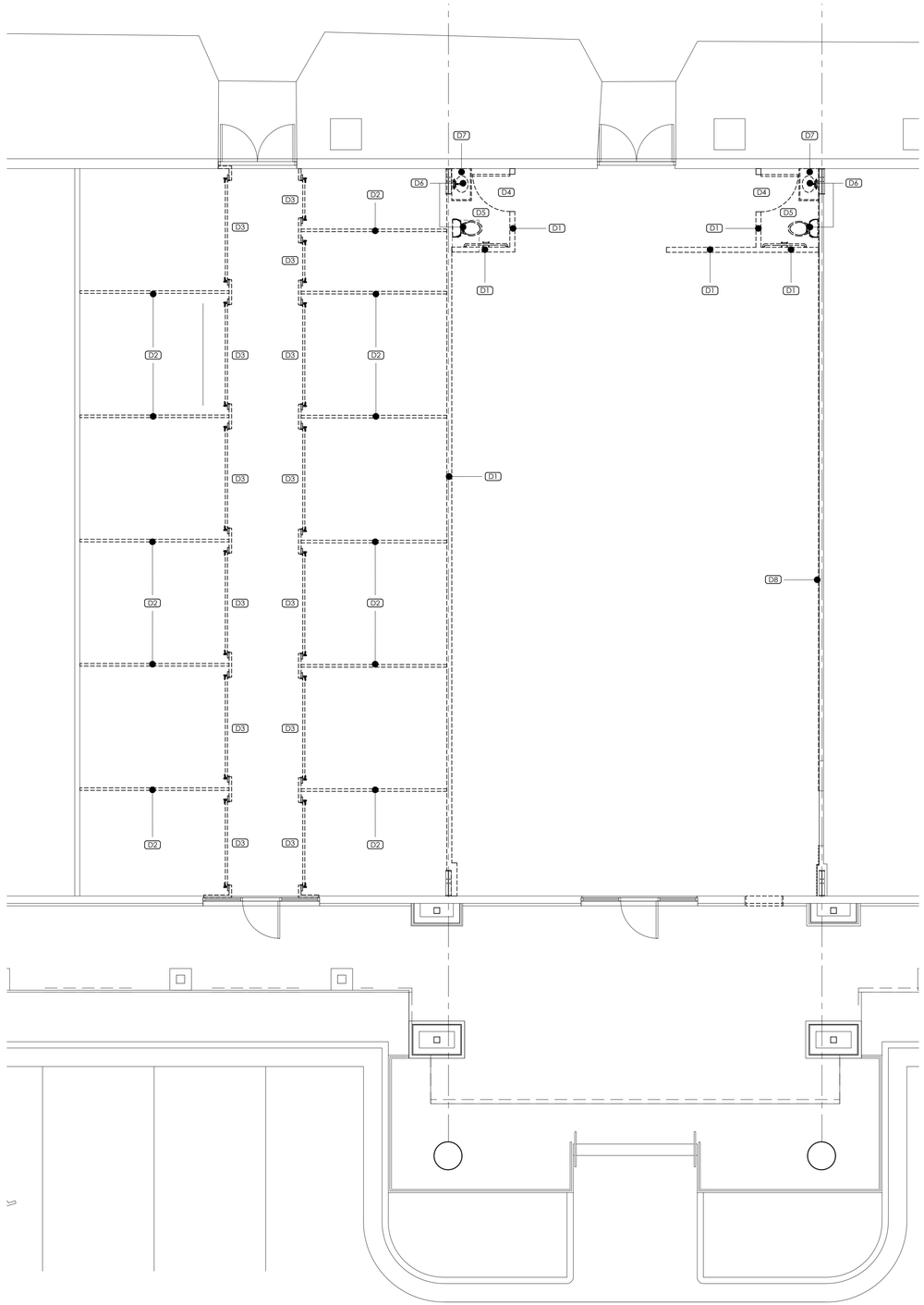
A Tenant Alteration for
HARVEY JOHNS STEAKHOUSE
1501 N. Raleigh Street, Suite G
Angier, NC

JOB #: 23C1C1HARVEYJOHNS

DWG BY: DVS
CHK BY: DVS
DATE: 07/28/23
REV NO DATE

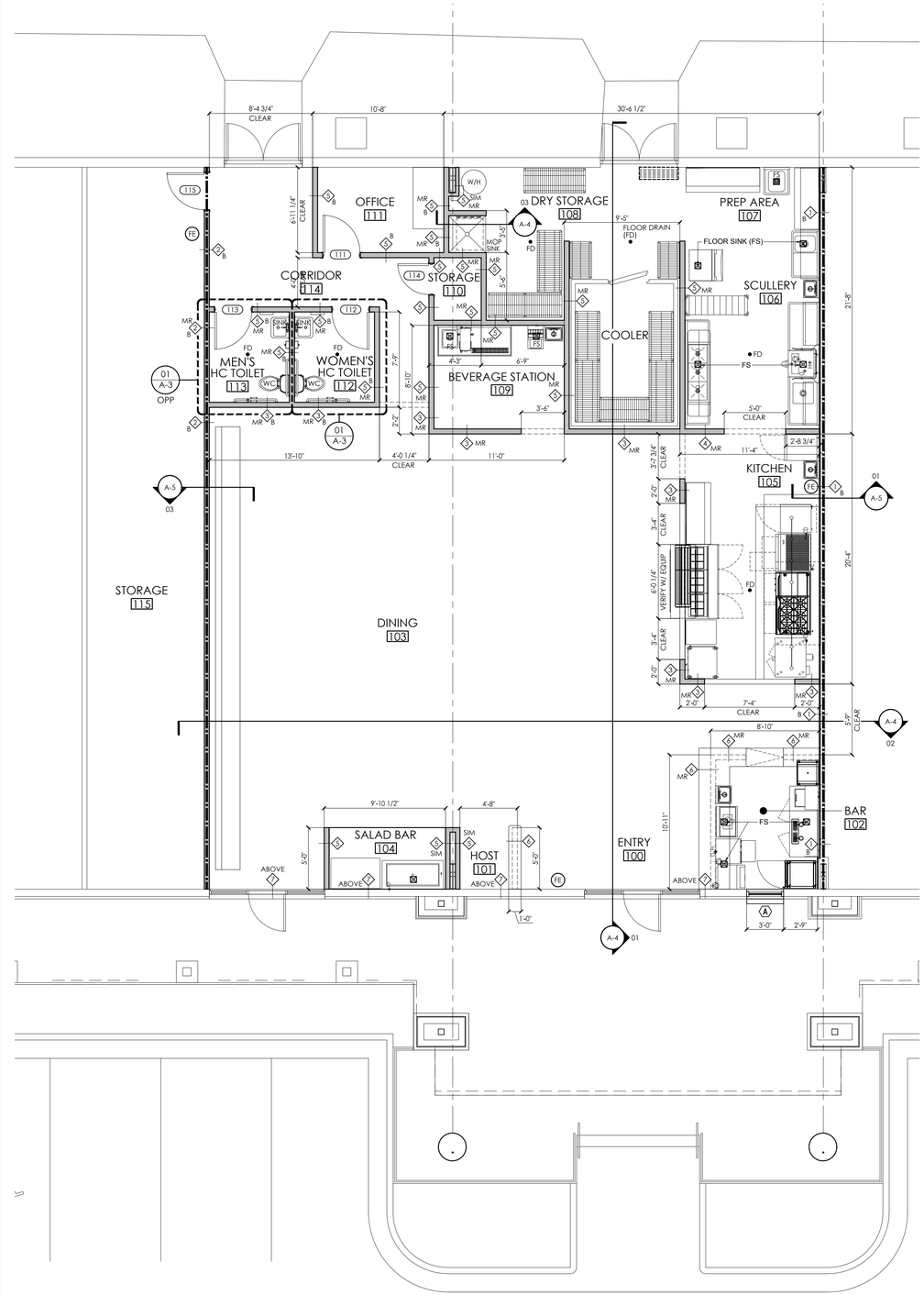
UL DETAILS

SHEET NUMBER
G-8



01 A-1 DEMOLITION PLAN

SCALE: 3/16"=1'-0"



02 A-1 FLOOR PLAN

SCALE: 3/16"=1'-0"

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SYMBOLS LEGEND

- INDICATES EXISTING PARTITIONS TO BE REMOVED
- INDICATES EXISTING NON-RATED PARTITION
- 1 HOUR RATED FIRE BARRIER. PROVIDE (2) LAYERS 5/8" GYPSUM WB ON PROJECT SIDE OF THE EXISTING WALL STUD FRAMING. SEE DETAIL 01/A-5 FOR WALL CONSTRUCTION AND DETAIL 02/A-5 FOR HEAD OF WALL DETAIL. UL DESIGN V497.
- 1 HOUR RATE FIRE BARRIER. PROVIDE 5/8" GYPSUM WB ON EACH SIDE OF 3 5/8" METAL STUDS (20 GA.) @ 16" O.C. RUN WALL ASSEMBLY FROM THE FINISH FLOOR TO THE UNDERSIDE OF THE ROOFING ABOVE. SEE DETAIL 03/A-5. UL DESIGN U419.
- NON-RATED PARTITION. PROVIDE 5/8" GYPSUM WB ON EACH SIDE OF 3 5/8" METAL STUDS (20 GA.) @ 16" O.C. RUN WALL ASSEMBLY FROM THE FINISH FLOOR TO THE UNDERSIDE OF THE ROOFING ABOVE. SEE DETAIL 04/A-5.
- NON-RATED PARTITION. PROVIDE 5/8" GYPSUM WB ON EACH SIDE OF 3 5/8" METAL STUDS (25 GA.) @ 16" O.C. RUN WALL ASSEMBLY FROM THE FINISH FLOOR TO 10'-0" A.F.F. PROVIDE LATERAL BRACING TO STRUCTURE ABOVE AT 8'-0" O.C. MAX. SEE DETAIL 05/A-5.
- NON-RATED PARTITION. PROVIDE 5/8" GYPSUM WB ON EACH SIDE OF 3 5/8" METAL STUDS (25 GA.) @ 16" O.C. RUN WALL ASSEMBLY FROM THE FINISH FLOOR TO 9'-0" A.F.F. PROVIDE LATERAL BRACING TO STRUCTURE ABOVE AT 8'-0" O.C. MAX. SEE DETAIL 05/A-5. AT SIM CONDITION: PROVIDE GYPSUM WB ON FINISH SIDE ONLY.
- NON-RATED PARTITION. PROVIDE 5/8" GYPSUM WB ON EACH SIDE OF 3 5/8" METAL STUDS (25 GA.) @ 16" O.C. RUN WALL ASSEMBLY FROM THE FINISH FLOOR TO A HEIGHT SUCH THAT THE FINISHED COUNTERTOP IS AT 3'-6" A.F.F. FINISH THEME BY TENANT. INSTALL PONY WALL SUPPORT POST AT END. SEE DETAIL 05/A-3 & 06/A-5.
- NON-RATED PARTITION. PROVIDE 5/8" GYPSUM WB ON INTERIOR SIDE OF EXISTING EXTERIOR WALL FRAMING TO THE TOP OF EXPOSED WALL WHERE NOT CURRENTLY INSTALLED. PROVIDE R-19 BATT INSULATION IF NOT CURRENTLY INSTALLED.
- B — PROVIDE SOUND BATTS IN WALL STUD CAVITIES FOR SOUND ATTENUATION WHERE INDICATED
- MR — PROVIDE MOISTURE RESISTANT GYPSUM WB FOR WALLS WITHIN BAR 102, KITCHEN 105, SCULLERY 106, PREP AREA 107, DRY STORAGE 108, BEVERAGE STATION 109, WOMEN'S HC TOILET 112 & MEN'S HC TOILET 113.
- EXISTING DOOR TO REMAIN
- NEW DOOR AND FRAME (SEE DOOR SCHEDULE)
- EXISTING DOOR TO BE REMOVED
- FE — WALL MOUNTED FIRE EXISTINGUISHER
- EXISTING ELECTRICAL OUTLET TO REMAIN
- EXISTING DATA TO REMAIN
- EXISTING ELECTRICAL OUTLET TO BE REMOVED
- EXISTING DATA TO BE REMOVED
- NEW ELECTRICAL DUPLEX OUTLET
- NEW ELECTRICAL QUAD OUTLET
- NEW COMMUNICATIONS/DATA RECEPTACLE
- NEW EXTERIOR CARRIAGE LIGHT FIXTURE - OWNER PROVIDED/CONTRACTOR INSTALLED
- NEW INTERNALLY ILLUMINATED EXTERIOR MENU BOARD - OWNER PROVIDED/CONTRACTOR INSTALLED
- NEW FLY FAN ABOVE DOOR - OWNER PROVIDED/CONTRACTOR INSTALLED

DEMOLITION NOTES

- D1 INDICATES PORTION OF EXISTING INTERIOR PARTITION TO BE REMOVED. REMOVE THE ENTIRE WALL ASSEMBLY AND ASSOCIATED ELECTRICAL COMPONENTS.
- D2 INDICATES PORTION OF EXISTING INTERIOR STORAGE WALL DIVIDER PARTITIONS. COORDINATE WITH OWNER WHETHER TO SALVAGE FOR FUTURE USE.
- D3 INDICATES PORTION OF EXISTING INTERIOR STORAGE ROOM ROLL UP DOOR. COORDINATE WITH OWNER WHETHER TO SALVAGE FOR FUTURE USE
- D4 INDICATES EXISTING DOOR AND FRAME TO BE REMOVED AND DISCARDED.
- D5 INDICATES EXISTING FLOORING AND WALL BASE TO BE REMOVED AND DISCARDED. PREP FLOOR TO RECEIVE FLOORING
- D6 INDICATES EXISTING PLUMBING FIXTURE / ACCESSORIES TO BE REMOVED AND DISCARDED.
- D7 INDICATES EXISTING M,ILLWORK TO BE REMOVED AND DISCARDED.
- D8 INDICATES EXISTING GYSPUM WB TO BE REMOVED ON PROJECT SIDE OF EXISTING DEMISING WALL.

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DAVID VIRGIL SEASS, JR. REGISTERED ARCHITECT 9987 CARY, N.C. 07/28/23

iS DESIGN PLLC ARCHITECTURAL COMPANY 54070 RALEIGH, N.C.

A Tenant Alteration for

HARVEY JOHNS STEAKHOUSE

1501 N. Raleigh Street, Suite G
Angier, NC

JOB #: 23HARVEYJOHNS

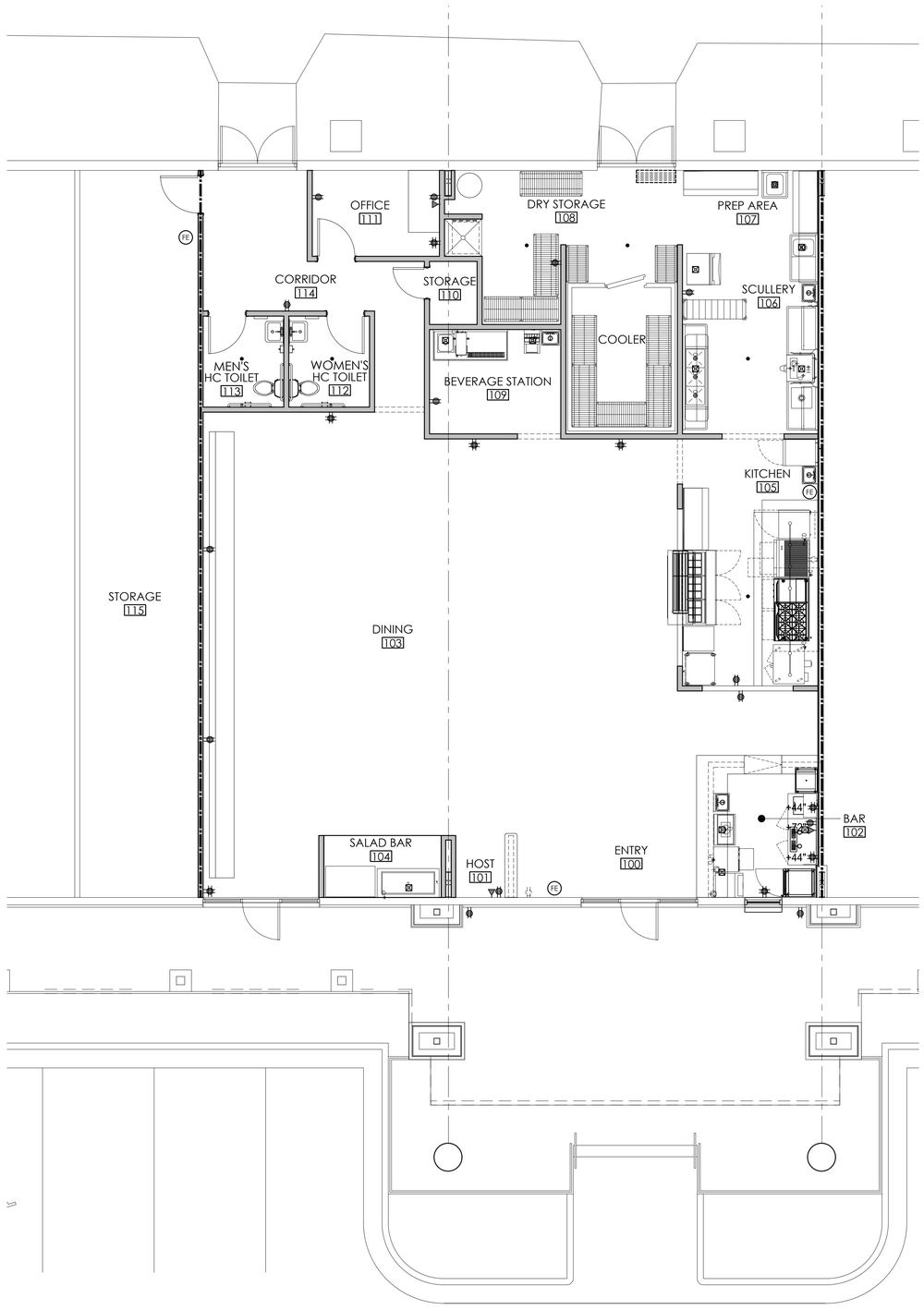
DWG BY:	DVS
CHK BY:	DVS
DATE:	07/28/23
REV NO	DATE

N

FLOOR PLANS

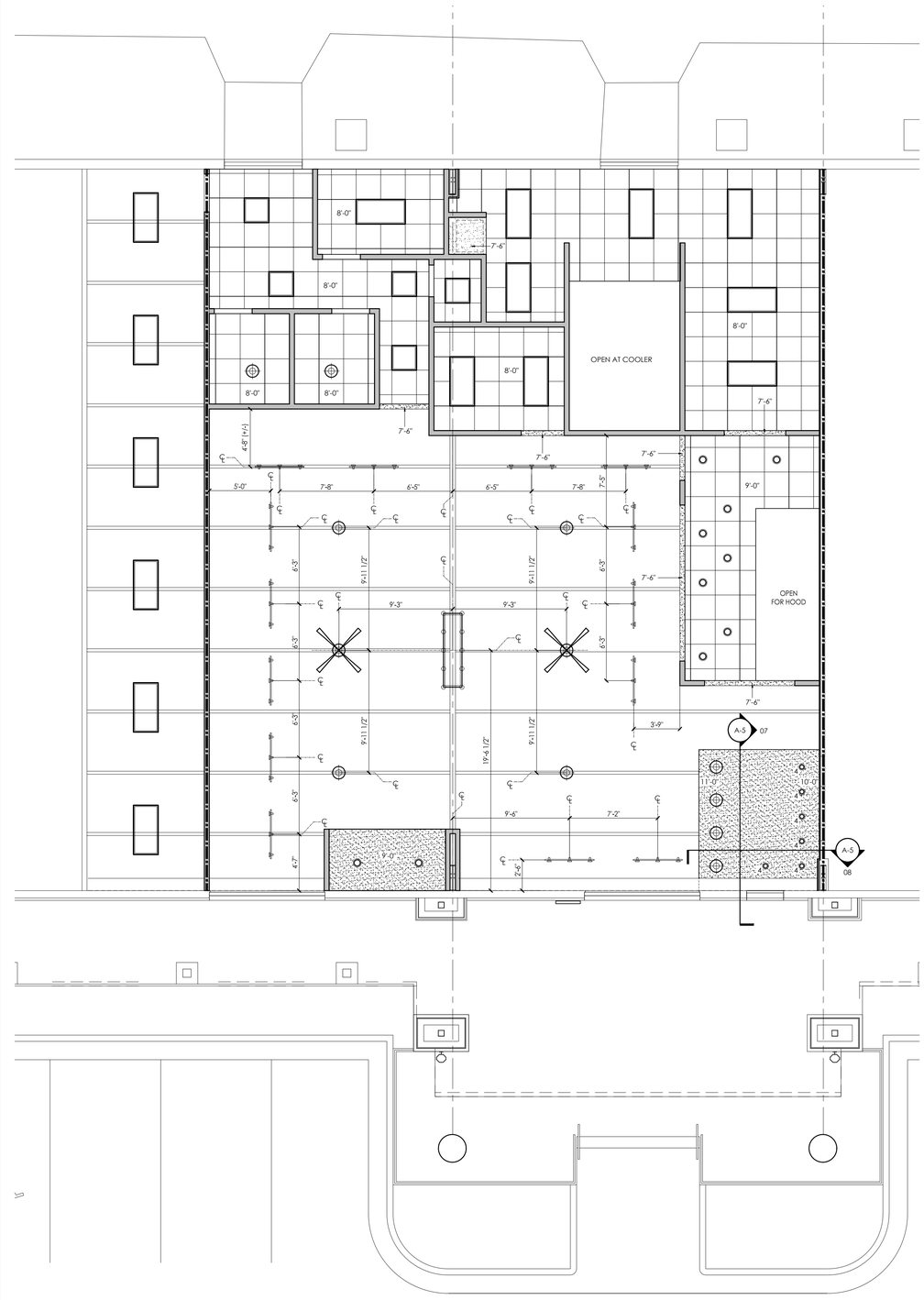
SHEET NUMBER

A-1



01 A-2 OUTLET FLOOR PLAN

SCALE: 3/16"=1'-0"



02 A-2 REFLECTED CEILING PLAN

SCALE: 3/16"=1'-0"

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SYMBOLS LEGEND

- INDICATES EXISTING PARTITIONS TO BE REMOVED
- INDICATES EXISTING NON-RATED PARTITION
- 1 — 1 HOUR RATED FIRE BARRIER. PROVIDE (2) LAYERS 5/8" GYPSUM WB ON PROJECT SIDE OF THE EXISTING WALL STUD FRAMING. SEE DETAIL 01/A-5 FOR WALL CONSTRUCTION AND DETAIL 02/A-5 FOR HEAD OF WALL DETAIL. UL DESIGN V497.
- 2 — 1 HOUR RATE FIRE BARRIER. PROVIDE 5/8" GYPSUM WB ON EACH SIDE OF 3 5/8" METAL STUDS (20 GA.) @ 16" O.C. RUN WALL ASSEMBLY FROM THE FINISH FLOOR TO THE UNDERSIDE OF THE ROOFING ABOVE. SEE DETAIL 03/A-5. UL DESIGN U419.
- 3 — NON-RATED PARTITION. PROVIDE 5/8" GYPSUM WB ON EACH SIDE OF 3 5/8" METAL STUDS (20 GA.) @ 16" O.C. RUN WALL ASSEMBLY FROM THE FINISH FLOOR TO THE UNDERSIDE OF THE ROOFING ABOVE. SEE DETAIL 04/A-5.
- 4 — NON-RATED PARTITION. PROVIDE 5/8" GYPSUM WB ON EACH SIDE OF 3 5/8" METAL STUDS (25 GA.) @ 16" O.C. RUN WALL ASSEMBLY FROM THE FINISH FLOOR TO 10'-0" A.F.F. PROVIDE LATERAL BRACING TO STRUCTURE ABOVE AT 8'-0" O.C. MAX. SEE DETAIL 05/A-5.
- 5 — NON-RATED PARTITION. PROVIDE 5/8" GYPSUM WB ON EACH SIDE OF 3 5/8" METAL STUDS (25 GA.) @ 16" O.C. RUN WALL ASSEMBLY FROM THE FINISH FLOOR TO 9'-0" A.F.F. PROVIDE LATERAL BRACING TO STRUCTURE ABOVE AT 8'-0" O.C. MAX. SEE DETAIL 05/A-5. AT SIM CONDITION: PROVIDE GYPSUM WB ON FINISH SIDE ONLY.
- 6 — NON-RATED PARTITION. PROVIDE 5/8" GYPSUM WB ON EACH SIDE OF 3 5/8" METAL STUDS (25 GA.) @ 16" O.C. RUN WALL ASSEMBLY FROM THE FINISH FLOOR TO A HEIGHT SUCH THAT THE FINISHED COUNTERTOP IS AT 3'-6" A.F.F. FINISH THEME BY OWNER. INSTALL PONY WALL SUPPORT POST AT END. SEE DETAIL 05/A-3 & 06/A-5.
- 7 — NON-RATED PARTITION. PROVIDE 5/8" GYPSUM WB ON INTERIOR SIDE OF EXISTING EXTERIOR WALL FRAMING TO THE TOP OF EXPOSED WALL WHERE NOT CURRENTLY INSTALLED. PROVIDE R-19 BATT INSULATION IF NOT CURRENTLY INSTALLED.
- B — PROVIDE SOUND BATTS IN WALL STUD CAVITIES FOR SOUND ATTENUATION WHERE INDICATED
- MR — PROVIDE MOISTURE RESISTANT GYPSUM WB FOR WALLS WITHIN BAR 102, KITCHEN 105, SCULLERY 106, PREP AREA 107, DRY STORAGE 108, BEVERAGE STATION 109, WOMEN'S HC TOILET 112 & MEN'S HC TOILET 113.
- EXISTING DOOR TO REMAIN
- NEW DOOR AND FRAME (SEE DOOR SCHEDULE)
- EXISTING DOOR TO BE REMOVED
- FE — WALL MOUNTED FIRE EXISTINGUISHER
- EXISTING ELECTRICAL OUTLET TO REMAIN
- EXISTING DATA TO REMAIN
- EXISTING ELECTRICAL OUTLET TO BE REMOVED
- EXISTING DATA TO BE REMOVED
- NEW ELECTRICAL DUPLEX OUTLET
- NEW ELECTRICAL QUAD OUTLET
- NEW COMMUNICATIONS/DATA RECEPTACLE
- NEW EXTERIOR CARRIAGE LIGHT FIXTURE - OWNER PROVIDED/CONTRACTOR INSTALLED
- NEW INTERNALLY ILLUMINATED EXTERIOR MENU BOARD - OWNER PROVIDED/CONTRACTOR INSTALLED
- NEW FLY FAN ABOVE DOOR - OWNER PROVIDED/CONTRACTOR INSTALLED
- NEW 2X4 LAY-IN LED LIGHT FIXTURE
- NEW 2X2 LAY-IN LED LIGHT FIXTURE
- NEW 6" RECESSED CAN LIGHT
- 4 — NEW 4" RECESSED CAN LIGHT
- NEW PENDANT LIGHT FIXTURE - OWNER PROVIDED/CONTRACTOR INSTALLED
- NEW CIELING FAN - OWNER PROVIDED/ CONTRACTOR INSTALLED
- NEW CHANDELIER LIGHT FIXTURE - OWNER PROVIDED/CONTRACTOR INSTALLED
- NEW TRACK LIGHT SYSTEM - OWNER PROVIDED/ CONTRACTOR INSTALLED
- NEW 2'X2 CEILING GRID & ACOUSTIC CEILING TILE - PROVIDE WASHABLE VINYL WRAPPED GYPSUM WB PANELS AT ROOMS 105, 06, 107 & 108
- NEW GYPSUM WB SOFFIT / CEILING

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07-28-23
iS DESIGN PLLC ARCHITECTURAL COMPANY 54070 RALEIGH, N.C.

A Tenant Alteration for
HARVEY JOHNS STEAKHOUSE
1501 N. Raleigh Street, Suite G
Angier, NC

JOB #: 23HARVEYJOHNS

DWG BY: DVS
CHK BY: DVS
DATE: 07/28/23
REV NO DATE

N

REFLECTED CEILING PLAN & OUTLET PLAN

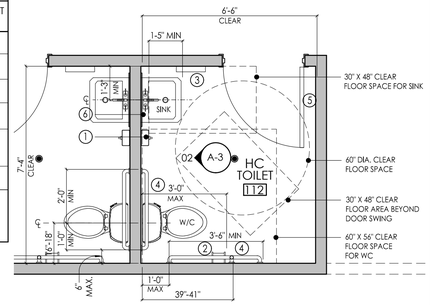
SHEET NUMBER
A-2

BATHROOM ACCESSORY SCHEDULE

ITEM	SYMBOL	SPECIFICATION/BASIS OF DESIGN	LOCATION/ QUANTITY	
			HC TOILET 112	HC TOILET 113
SURFACE-MOUNTED SOAP DISPENSER	1	OWNER PROVIDED/OWNER INSTALLED	1	1
TOILET PAPER DISPENSER	2	OWNER PROVIDED/OWNER INSTALLED	1	1
PAPER TOWEL DISPENSER	3	OWNER PROVIDED/OWNER INSTALLED	1	1
ADA GRAB BARS	4	BRUSHED STAINLESS STEEL	1 SET	1 SET
COAT HOOK	5	BRADLEY #915 SINGLE HOOK, SURFACE MOUNTED CLOTHES HOOK & DOOR BUMPER , CHROME-PLATED BRASS	1	1
MIRROR	6	24"X36" WELDED-FRAME MIRROR, BOBRICK B-290 2436	1	1

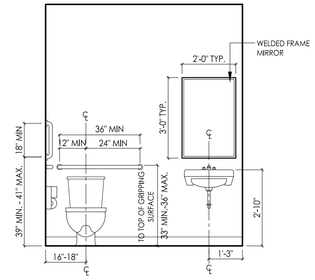
BATHROOM NOTES:

-NEW PLUMBING FIXTURES - SEE PLUMBING SPECS ON PLUMBING ENGINEERING PLANS



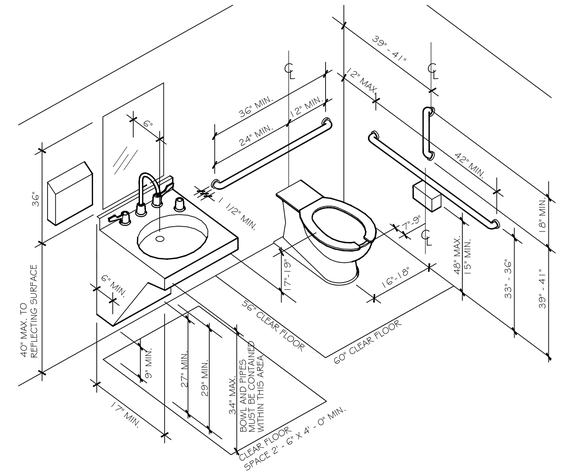
01 A-3 ENLARGED PLAN

SCALE: 3/8"=1'-0"



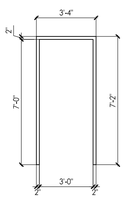
02 A-3 INTERIOR ELEVATION

SCALE: 3/8"=1'-0"



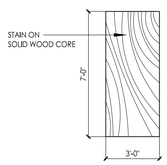
DOOR SCHEDULE

NO.	SIZE	MATERIAL	FRAME	FRAME ELEVATION	DOOR ELEVATION	DOOR FINISH	HARDWARE	FIRE RATING		REMARKS
								DOOR	GLASS	
111	3'-0" X 7'-0" X 1 3/4"	SOLID CORE WOOD	HOLLOW METAL	3	4	STAIN	LOCK SET, WALL STOP	N/A	N/A	
112	3'-0" X 7'-0" X 1 3/4"	SOLID CORE WOOD	HOLLOW METAL	3	4	STAIN	PRIVACY SET, WALL STOP	N/A	N/A	
113	3'-0" X 7'-0" X 1 3/4"	SOLID CORE WOOD	HOLLOW METAL	3	4	STAIN	PRIVACY SET, WALL STOP	N/A	N/A	
114	3'-0" X 7'-0" X 1 3/4"	SOLID CORE WOOD	HOLLOW METAL	3	4	STAIN	LOCK SET, WALL STOP	N/A	N/A	



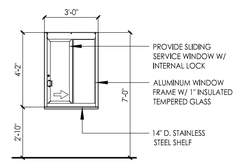
03

HOLLOW METAL FRAME



04

SOLID CORE WOOD



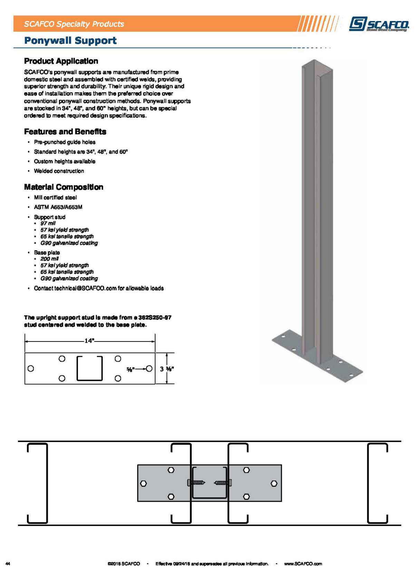
"A"

A-3 DOOR AND FRAME ELEVATIONS

SCALE: 1/4"=1'-0"

A-3 WINDOW ELEVATION

SCALE: 1/4"=1'-0"



05 A-3 PONY WALL SUPPORT DETAIL

SCALE: NOT TO SCALE

ROOM FINISH SCHEDULE

ROOM	ROOM NAME	FLOOR	BASE	CABINETRY	COUNTERTOPS	WALLS				CEILING
						NORTH	EAST	SOUTH	WEST	
100	ENTRY	EPOXY	TO BE SELECTED	-	-	PAINT 1	PAINT 1	-	PAINT 1	OPEN
101	HOST	EPOXY	TO BE SELECTED	-	-	PAINT 1	PAINT 1	-	PAINT 1	OPEN
102	BAR	EPOXY	TO BE SELECTED	-	-	PAINT 1	PAINT 1	PAINT 1	PAINT 1	PAINT (GWB)
103	DINING	EPOXY	TO BE SELECTED	-	-	PAINT 1	PAINT 1	PAINT 1	PAINT 1	OPEN
104	SALAD BAR	EPOXY	TO BE SELECTED	-	-	PAINT 1	PAINT 1	-	PAINT 1	PAINT (GWB)
105	KITCHEN	EPOXY	EPOXY	-	-	FRP PANELS	FRP PANELS	FRP PANELS	FRP PANELS	VINYL WRAPPED GWB
106	SCULLERY	EPOXY	EPOXY	-	-	FRP PANELS	FRP PANELS	FRP PANELS	FRP PANELS	VINYL WRAPPED GWB
107	PREP AREA	EPOXY	EPOXY	-	-	FRP PANELS	FRP PANELS	FRP PANELS	FRP PANELS	VINYL WRAPPED GWB
108	DRY STORAGE	EPOXY	EPOXY	-	-	FRP PANELS	FRP PANELS	FRP PANELS	FRP PANELS	VINYL WRAPPED GWB
109	BEVERAGE STATION	EPOXY	EPOXY	-	-	PAINT 1	PAINT 1	PAINT 1	PAINT 1	ACT 1
110	STORAGE	EPOXY	EPOXY	-	-	PAINT 1	PAINT 1	PAINT 1	PAINT 1	ACT 1
111	OFFICE	EPOXY	EPOXY	-	-	PAINT 1	PAINT 1	PAINT 1	PAINT 1	ACT 1
112	WOMEN'S HC TOILET	EPOXY	EPOXY	-	-	PAINT 2	PAINT 2	PAINT 2	PAINT 2	ACT 1
113	MEN'S HC TOILET	EPOXY	EPOXY	-	-	PAINT 2	PAINT 2	PAINT 2	PAINT 2	ACT 1
114	CORRIDOR	EPOXY	EPOXY	-	-	PAINT 1	PAINT 1	PAINT 1	PAINT 1	ACT 1
115	STORAGE	EPOXY	EPOXY	-	-	PAINT 1	PAINT 1	PAINT 1	PAINT 1	OPEN

GENERAL NOTE: GENERAL CONTRACTOR TO VERIFY ALL FINISHES WITH CLIENT PRIOR TO INSTALLATION

ROOM FINISH KEY

FLOOR		
	EPOXY FLOORING	EPOXY FLOORING - COLOR TO BE SELECTED
BASE		
	EPOXY	INTEGRATED COVE BASE UTILIZING FLOOR MATERIAL (EXISTING & NEW)
WALLS		
	PAINT 1	SATIN FINISH, COLOR TO BE SELECTED
	PAINT 2	EPOXY PAINT, COLOR TO BE SELECTED
	FRP PANELS	FIBERGLASS REINFORCED PLASTIC PANELS - COLOR "WHITE"
CEILING		
	ACT 1	ACOUSTICAL CEILING TILE - ARMSTRONG 24" X 24" "CORTEGA" ACOUSTICAL CEILING TILE IN STANDARD 15/16" WHITE GRID
	VINYL WRAPPED GWB	ACOUSTICAL CEILING TILE - PROVIDE VINYL WRAPPED 24" X 24" X 5/8" GYPSUM WB CEILING PANELS IN STANDARD 15/16" WHITE GRID
WOOD DOORS		
	SCW	SPECIES AND STAIN TO BE SELECTED BY TENANT
DOOR HARDWARE		DOOR HARDWARE TO BE SELECTED BY TENANT. DOOR HARDWARE TO COMPLY WITH ANSI A117.1-2009

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IS DESIGN PLLC ARCHITECTURAL COMPANY 54070 N.C. RALEIGH, N.C.

A Tenant Alteration for
HARVEY JOHNS STEAKHOUSE
1501 N. Raleigh Street, Suite G
Angier, NC

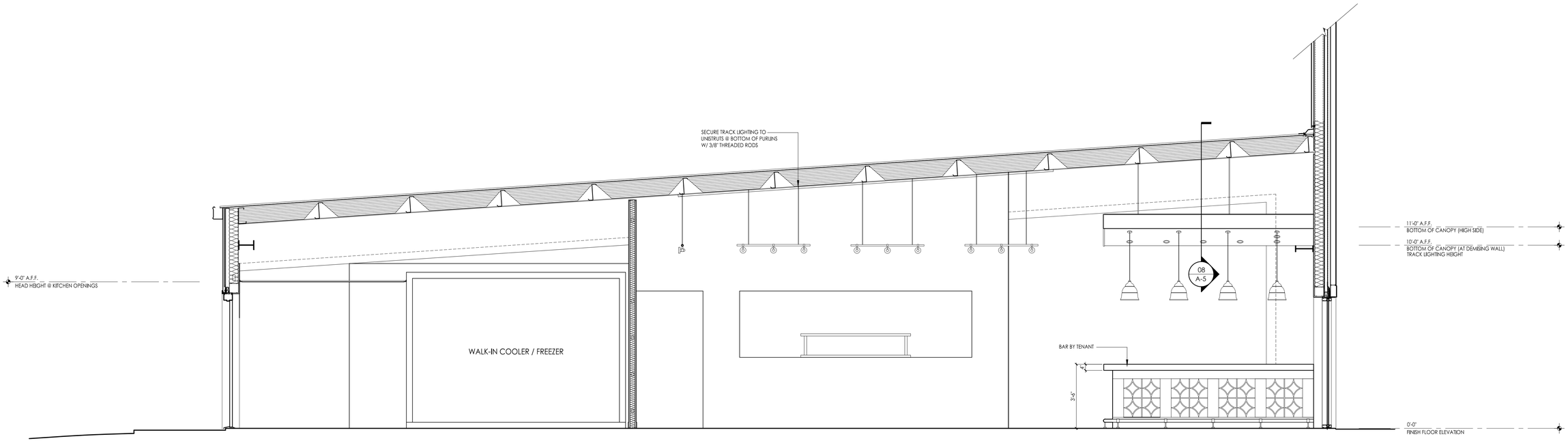
JOB #: 23C1CHARVEYJOHNS

DWG BY: DVS
CHK BY: DVS
DATE: 07/28/23
REV NO DATE

HC TOILET DETAILS, DOOR & FINISH SCHEDULE

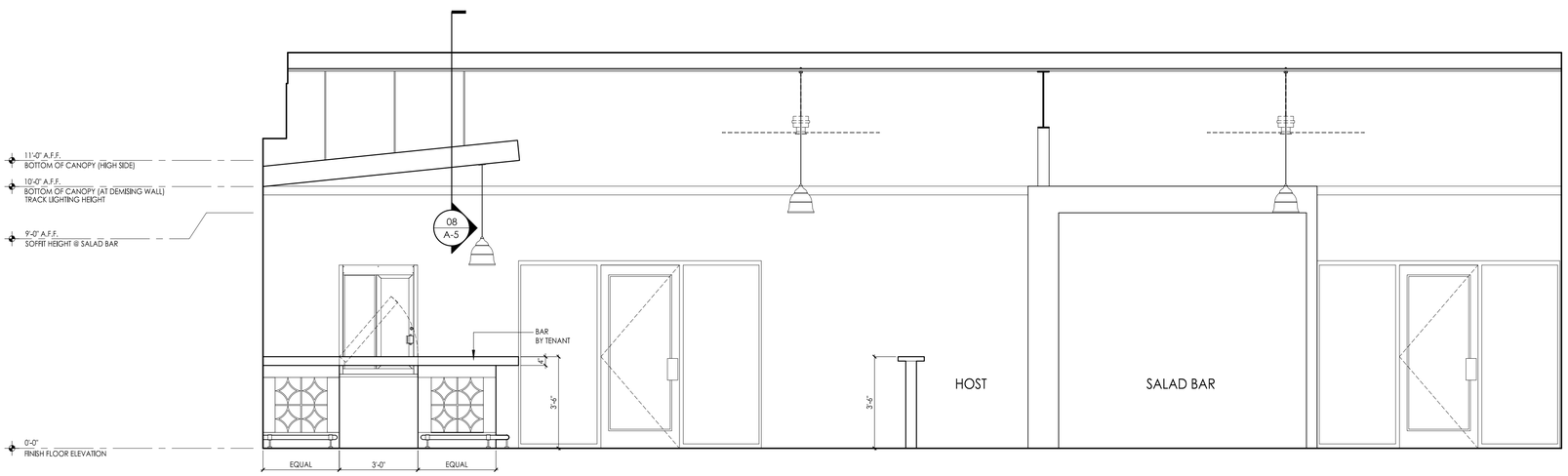
SHEET NUMBER

A-3



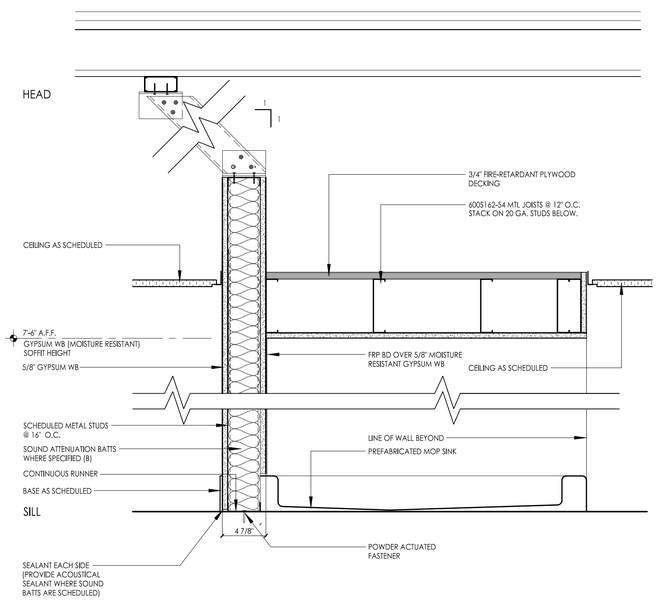
01 A-4 BUILDING SECTION / INTERIOR ELEVATIONS

SCALE: 3/8"=1'-0"



02 A-4 BUILDING SECTION / INTERIOR ELEVATIONS

SCALE: 3/8"=1'-0"



03 A-4 SECTION DETAIL

SCALE: 1 1/2"=1'-0"

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1501 N. Raleigh Street, Suite G
Angier, NC

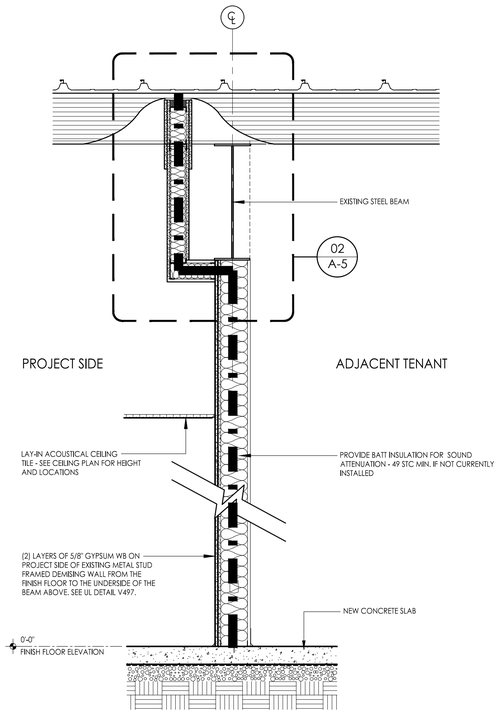
JOB #:
23C1CHARVEYJOHNS

DWG BY:	DVS
CHK BY:	DVS
DATE:	07/28/23
REV NO	DATE

BUILDING SECTIONS/ INTERIOR ELEVATIONS/DETAILS

SHEET NUMBER

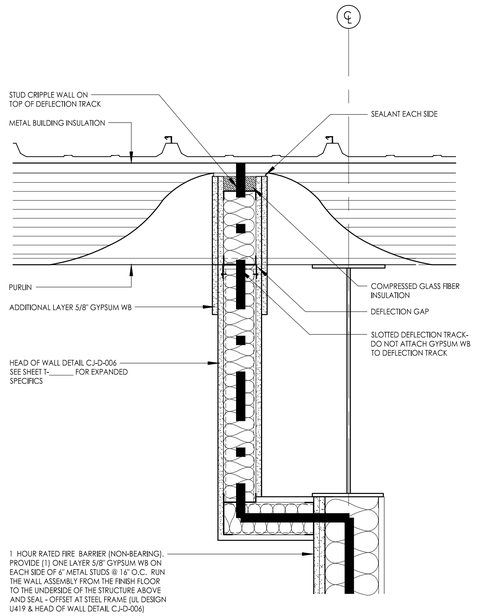
A-4



1 HOUR RATED FIRE PARTITION. PROVIDE (2) LAYERS 5/8" GYPSUM WB ON PROJECT SIDE OF THE EXISTING WALL STUD FRAMING. UL DESIGN V497.

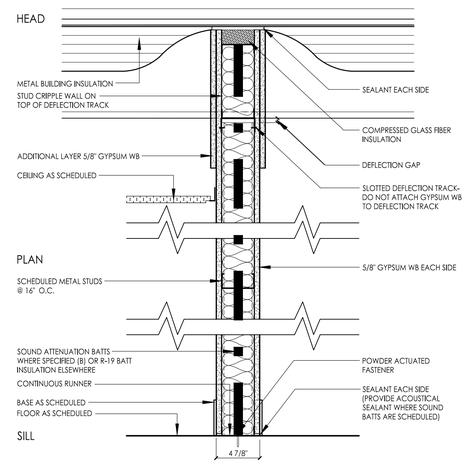
01 A-5 WALL SECTION

SCALE: 3/4"=1'-0"



02 A-5 SECTION DETAIL

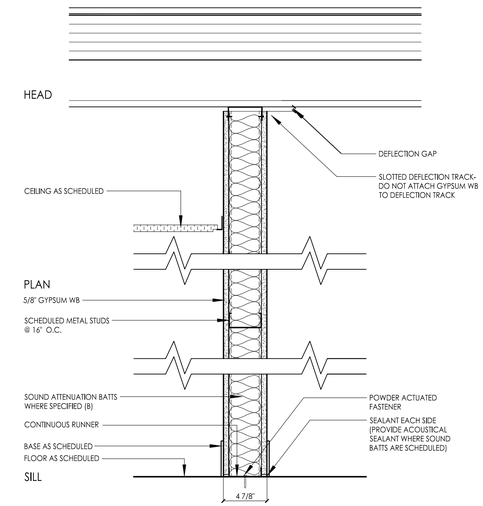
SCALE: 1 1/2"=1'-0"



2 1 HOUR RATE FIRE PARTITION. PROVIDE 5/8" GYPSUM WB ON EACH SIDE OF 3 5/8" METAL STUDS (20 GA.) @ 16" O.C. RUN WALL ASSEMBLY FROM THE FINISH FLOOR TO THE UNDERSIDE OF THE ROOFING ABOVE. UL DESIGN U419.

03 A-5 WALL SECTION

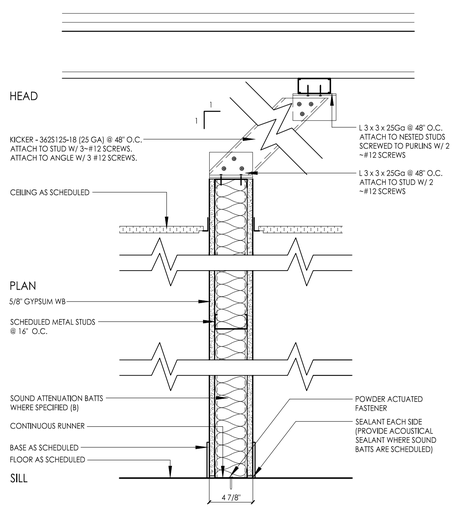
SCALE: 1 1/2"=1'-0"



3 NON-RATED PARTITION. PROVIDE 5/8" GYPSUM WB ON EACH SIDE OF 3 5/8" METAL STUDS (20 GA.) @ 16" O.C. RUN WALL ASSEMBLY FROM THE FINISH FLOOR TO THE UNDERSIDE OF THE ROOF STRUCTURE ABOVE.

04 A-5 WALL SECTION

SCALE: 1 1/2"=1'-0"

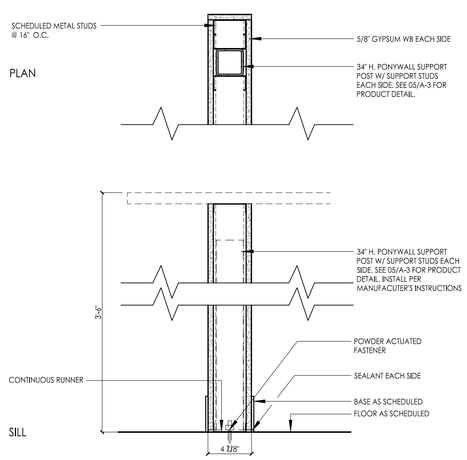


4 NON-RATED PARTITION. PROVIDE 5/8" GYPSUM WB ON EACH SIDE OF 3 5/8" METAL STUDS (25 GA.) @ 16" O.C. RUN WALL ASSEMBLY FROM THE FINISH FLOOR TO 10'-0" A.F.F. PROVIDE LATERAL BRACING TO STRUCTURE ABOVE AT 4'-0" O.C. MAX.

5 NON-RATED PARTITION. PROVIDE 5/8" GYPSUM WB ON EACH SIDE OF 3 5/8" METAL STUDS (25 GA.) @ 16" O.C. RUN WALL ASSEMBLY FROM THE FINISH FLOOR TO 9'-0" A.F.F. PROVIDE LATERAL BRACING TO STRUCTURE ABOVE AT 4'-0" O.C. MAX.

05 A-5 WALL SECTION

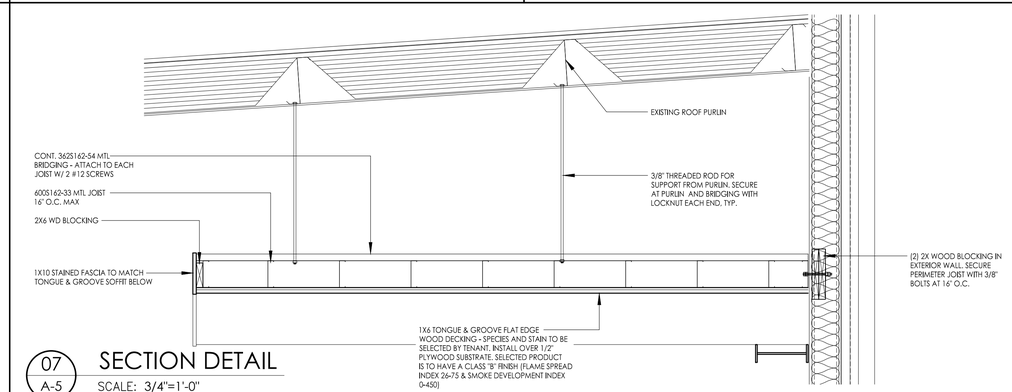
SCALE: 1 1/2"=1'-0"



6 NON-RATED PARTITION. PROVIDE 5/8" GYPSUM WB ON EACH SIDE OF 3 5/8" METAL STUDS (25 GA.) @ 16" O.C. RUN WALL ASSEMBLY FROM THE FINISH FLOOR TO A HEIGHT SUCH THAT THE FINISHED COUNTERTOP IS AT 3'-6" A.F.F.

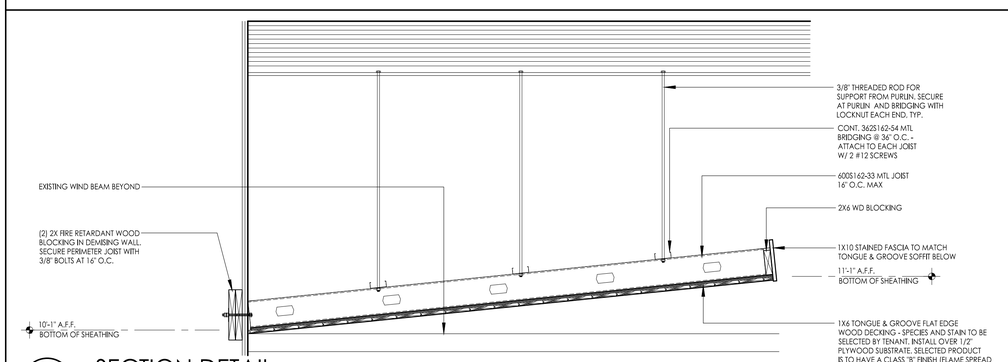
06 A-5 WALL SECTION

SCALE: 1 1/2"=1'-0"



07 A-5 SECTION DETAIL

SCALE: 3/4"=1'-0"



08 A-5 SECTION DETAIL

SCALE: 3/4"=1'-0"

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JOB #: 23C1CHARVEYJOHNS

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REV NO	DATE

DETAILS

SHEET NUMBER

A-5