

THE PRESERVE AT KIPLING CREEK

CONSTRUCTION DRAWINGS

BALLARD ROAD HARNETT COUNTY, NORTH CAROLINA

APPROVED

DEC 12 2022

HARNETT REGIONAL WATER
PO. BOX 1119
LILLINGTON, NC 27546



THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
5410 Trinity Road, Suite 102 | Raleigh, NC 27607
TEL 919.866.4951 FAX 919.833.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

DATE
11/22/2022

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DESIGNED BY
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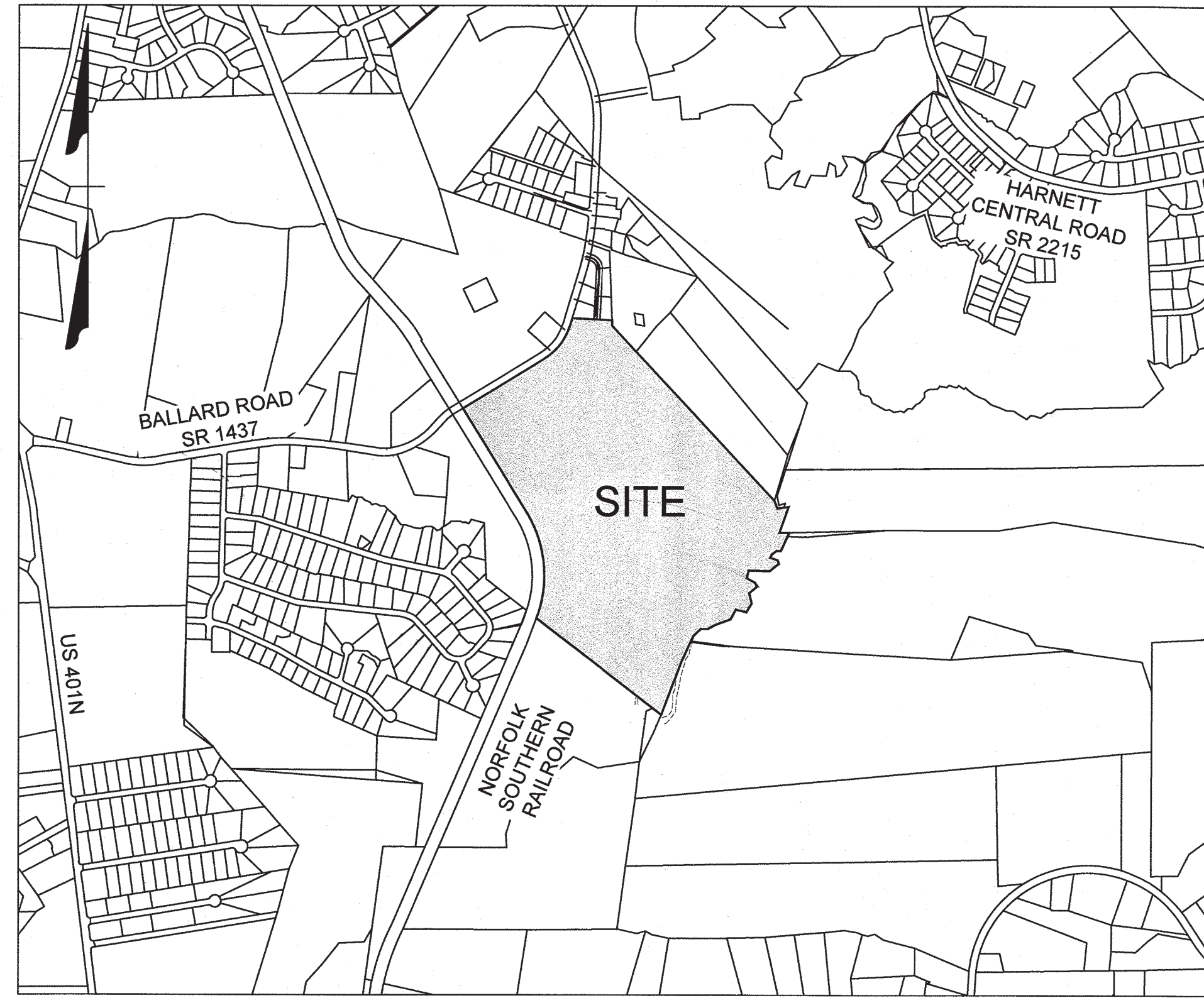
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SITE DATA

PROJECT:	THE PRESERVE AT KIPLING CREEK
ENGINEER:	MIKE ZACCARDO, PE TIMMONS GROUP 5410 TRINITY ROAD, SUITE 102 RALEIGH, NC 27607 PHONE: 919-532-3281 FAX: 919-859-5663 EMAIL: MIKE.ZACCARDO@TIMMONS.COM
DEVELOPER:	GARDEN STREET COMMUNITIES SOUTHEAST, LLC 149 US HWY 70 GARNER, NC 27529 PHONE: 919-233-6747 ZACH DAUGHERTY EMAIL: ZDAUGHERTY@GARDENSTREETCOMMUNITIES.COM
LAND OWNER:	FKA ESPLANADE COMMUNITIES OF FLORIDA, LLC 3000 GULF BREEZE PARKWAY GULF BREEZE, FL 32563
TOTAL PROJECT AREA:	107.18 ACRES
PIN:	0652-50-9919
TOTAL LOTS:	117
ZONING:	RA-20M, RA-30, CONS
TOWNSHIP:	HECTORS CREEK, BLACK RIVER, NEILLS CREEK
WATERSHED:	WVS-IV
PROPOSED USE:	SINGLE FAMILY RESIDENTIAL



VICINITY MAP
1" = 1,000'

I hereby certify that the Harnett County Development Review Board approves or approves with conditions this Preliminary Plan and authorizes the design and construction of utilities and infrastructure in accordance with all local, state, and local government regulations and expiration periods that apply.

Michael Zaccardo 11/22/22
Development Review Board, Chairman Date

Sheet List Table

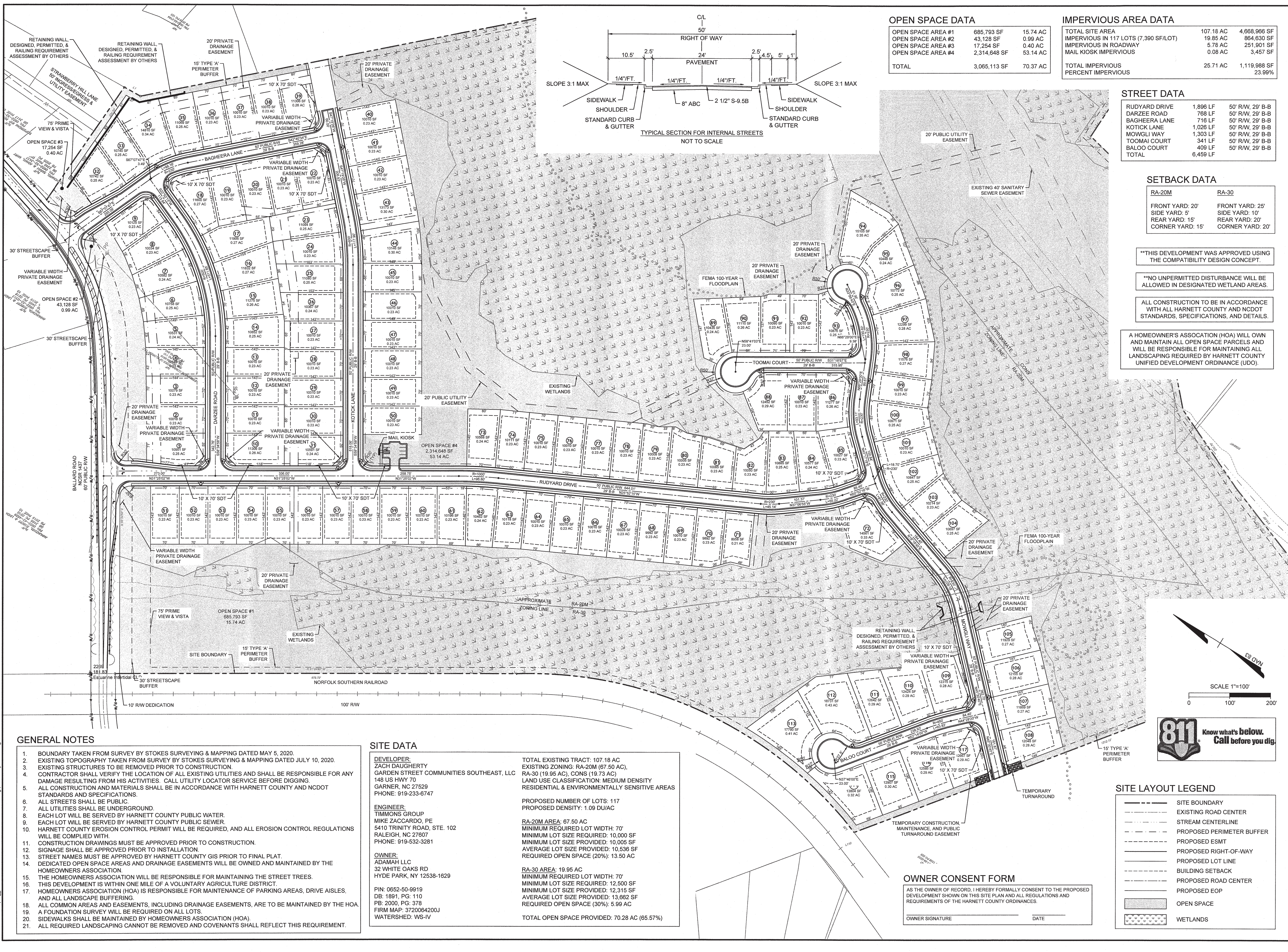
Sheet Number	Sheet Title
C0.0	COVER SHEET
C0.1	HCPUD UTILITY NOTES
C1.0	EXISTING CONDITIONS & DEMOLITION PLAN
C2.0	SITE PLAN
C3.0	UTILITY PLAN
C3.1	SANITARY SEWER SCHEDULE
C3.2	SANITARY SEWER TEMPORARY BYPASS PLAN
C4.0	GRADING & DRAINAGE PLAN
C4.1	DETAILED GRADING & DRAINAGE PLAN - SHEET 1 OF 2
C4.2	DETAILED GRADING & DRAINAGE PLAN - SHEET 2 OF 2
C4.3	STORM DRAINAGE SCHEDULE
C5.1	EROSION & SEDIMENTATION CONTROL PLAN STAGE 1
C5.2	EROSION & SEDIMENTATION CONTROL PLAN STAGE 2
C5.3	EROSION & SEDIMENT CONTROL NOTES & DETAILS
C5.4	EROSION & SEDIMENT CONTROL NOTES & DETAILS
C5.5	EROSION & SEDIMENT CONTROL NOTES & DETAILS
C6.1	RUDYARD DRIVE (9+50 TO 19+50) PLAN & PROFILE
C6.2	RUDYARD DRIVE (18+50 TO 30+00) PLAN & PROFILE
C6.3	BAGHEERA LANE PLAN & PROFILE
C6.4	DARZEE ROAD PLAN & PROFILE
C6.5	KOTICK LANE PLAN & PROFILE
C6.6	MOWGLI WAY PLAN & PROFILE
C6.7	TOOMAI COURT & BALOO STREET PLAN & PROFILE
C6.8	SANITARY SEWER OUTFALL A PLAN & PROFILE
C6.9	SANITARY SEWER OUTFALL B (15+00 TO 26+00) PLAN & PROFILE
C6.10	SANITARY SEWER OUTFALL B (25+00 TO 32+00) PLAN & PROFILE
C6.11	OFFSITE WATER MAIN (9+50 TO 22+50) PLAN & PROFILE
C6.12	OFFSITE WATER MAIN (21+50 TO 34+50) PLAN & PROFILE
C6.13	OFFSITE WATER MAIN (33+50 TO 45+50) PLAN & PROFILE
C6.14	STORM OUTFALLS SHEET 1 OF 3
C6.15	STORM OUTFALLS SHEET 2 OF 3
C6.16	STORM OUTFALLS SHEET 3 OF 3
C7.1	BALLARD ROAD WIDENING (9+50 TO 21+00) PLAN & PROFILE
C7.2	BALLARD ROAD WIDENING (20+00 TO 30+00) PLAN & PROFILE
C10.0	LIGHTING PLAN
C11.1	NOTES & DETAILS
C11.2	NOTES & DETAILS
C11.3	NOTES & DETAILS
C11.4	NOTES & DETAILS
C11.5	NOTES & DETAILS

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652
THE PRESERVE AT KIPLING CREEK
HARNETT COUNTY, NORTH CAROLINA
COVER SHEET

JOB NO.
44455
SHEET NO.
C0.0

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OPEN SPACE DATA

OPEN SPACE AREA #1	685,793 SF	15.74 AC
OPEN SPACE AREA #2	43,128 SF	0.99 AC
OPEN SPACE AREA #3	17,254 SF	0.40 AC
OPEN SPACE AREA #4	2,314,648 SF	53.14 AC
TOTAL	3,065,113 SF	70.37 AC

IMPERVIOUS AREA DATA

TOTAL SITE AREA	107.18 AC	4,688,966 SF
IMPERVIOUS IN 117 LOTS (7,390 SF/LOT)	19.85 AC	864,830 SF
IMPERVIOUS IN ROADWAY	5.78 AC	251,901 SF
MAIL KIOSK IMPERVIOUS	0.08 AC	3,457 SF
TOTAL IMPERVIOUS	25.71 AC	1,119,988 SF
PERCENT IMPERVIOUS		23.99%

STREET DATA

RUDYARD DRIVE	1,896 LF	50' R/W, 29' B-B
DARZEE ROAD	768 LF	50' R/W, 29' B-B
BAGHEERA LANE	716 LF	50' R/W, 29' B-B
KOTICK LANE	1,026 LF	50' R/W, 29' B-B
MOWGLI WAY	1,303 LF	50' R/W, 29' B-B
TOWMAL COURT	341 LF	50' R/W, 29' B-B
BALOO COURT	409 LF	50' R/W, 29' B-B
TOTAL	6,459 LF	

SETBACK DATA

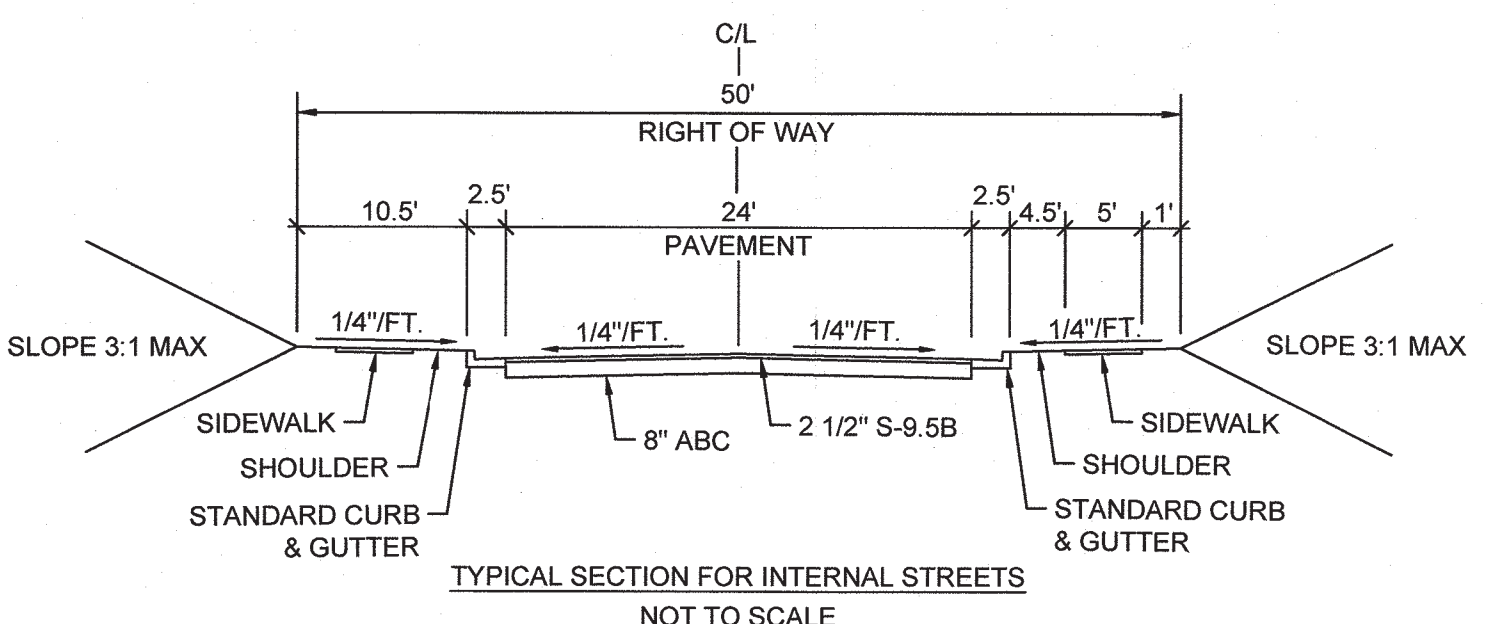
RA-20M	RA-30
FRONT YARD: 20'	FRONT YARD: 25'
SIDE YARD: 5'	SIDE YARD: 10'
REAR YARD: 15'	REAR YARD: 20'
CORNER YARD: 15'	CORNER YARD: 20'

***THIS DEVELOPMENT WAS APPROVED USING THE COMPATIBILITY DESIGN CONCEPT.

***NO UNPERMITTED DISTURBANCE WILL BE ALLOWED IN DESIGNATED WETLAND AREAS.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL HARNETT COUNTY AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.

A HOMEOWNER'S ASSOCIATION (HOA) WILL OWN AND MAINTAIN ALL OPEN SPACE PARCELS AND WILL BE RESPONSIBLE FOR MAINTAINING ALL LANDSCAPING REQUIRED BY HARNETT COUNTY UNIFIED DEVELOPMENT ORDINANCE (UDO).



- GENERAL NOTES**
- BOUNDARY TAKEN FROM SURVEY BY STOKES SURVEYING & MAPPING DATED MAY 5, 2020.
 - EXISTING TOPOGRAPHY TAKEN FROM SURVEY BY STOKES SURVEYING & MAPPING DATED JULY 10, 2020.
 - EXISTING STRUCTURES TO BE REMOVED PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM HIS ACTIVITIES. CALL UTILITY LOCATOR SERVICE BEFORE DIGGING.
 - ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH HARNETT COUNTY AND NCDOT STANDARDS AND SPECIFICATIONS.
 - ALL STREETS SHALL BE PUBLIC.
 - ALL UTILITIES SHALL BE UNDERGROUND.
 - EACH LOT WILL BE SERVED BY HARNETT COUNTY PUBLIC WATER.
 - EACH LOT WILL BE SERVED BY HARNETT COUNTY PUBLIC SEWER.
 - HARNETT COUNTY EROSION CONTROL PERMIT WILL BE REQUIRED, AND ALL EROSION CONTROL REGULATIONS WILL BE COMPLIED WITH.
 - CONSTRUCTION DRAWINGS MUST BE APPROVED PRIOR TO CONSTRUCTION.
 - SIGNAGE SHALL BE APPROVED PRIOR TO INSTALLATION.
 - STREET NAMES MUST BE APPROVED BY HARNETT COUNTY GIS PRIOR TO FINAL PLAT.
 - DEDICATED OPEN SPACE AREAS AND DRAINAGE EASEMENTS WILL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
 - THE HOMEOWNERS ASSOCIATION WILL BE RESPONSIBLE FOR MAINTAINING THE STREET TREES.
 - THIS DEVELOPMENT IS WITHIN ONE MILE OF A VOLUNTARY AGRICULTURE DISTRICT.
 - HOMEOWNERS ASSOCIATION (HOA) IS RESPONSIBLE FOR MAINTENANCE OF PARKING AREAS, DRIVE AISLES, AND ALL LANDSCAPE BUFFERING.
 - ALL COMMON AREAS AND EASEMENTS, INCLUDING DRAINAGE EASEMENTS, ARE TO BE MAINTAINED BY THE HOA.
 - A FOUNDATION SURVEY WILL BE REQUIRED ON ALL LOTS.
 - SIDEWALKS SHALL BE MAINTAINED BY HOMEOWNERS ASSOCIATION (HOA).
 - ALL REQUIRED LANDSCAPING CANNOT BE REMOVED AND COVENANTS SHALL REFLECT THIS REQUIREMENT.

SITE DATA

DEVELOPER:
ZACH DAUGHERTY
GARDEN STREET COMMUNITIES SOUTHEAST, LLC
148 US HWY 70
GARNER, NC 27529
PHONE: 919-233-6747

ENGINEER:
TIMMONS GROUP
MIKE ZACCARDO, PE
5410 TRINITY ROAD, STE. 102
RALEIGH, NC 27607
PHONE: 919-532-3281

OWNER:
ADAMAH LLC
32 WHITE OAKS RD
HYDE PARK, NY 12538-1629
PIN: 0852-50-9919
DB: 1891, PG: 118
PB: 2000, PG: 370
FIRM MAP: 3720064200J
WATERSHED: WS-IV

TOTAL EXISTING TRACT: 107.18 AC
EXISTING ZONING: RA-20M (67.60 AC), RA-30 (19.95 AC), CONS (19.73 AC)
LAND USE CLASSIFICATION: MEDIUM DENSITY RESIDENTIAL & ENVIRONMENTALLY SENSITIVE AREAS

PROPOSED NUMBER OF LOTS: 117
PROPOSED DENSITY: 1.09 DU/AC

RA-20M AREA: 67.50 AC
MINIMUM REQUIRED LOT WIDTH: 70'
MINIMUM LOT SIZE REQUIRED: 10,000 SF
MINIMUM LOT SIZE PROVIDED: 10,005 SF
AVERAGE LOT SIZE PROVIDED: 10,536 SF
REQUIRED OPEN SPACE (20%): 13.50 AC

RA-30 AREA: 19.95 AC
MINIMUM REQUIRED LOT WIDTH: 70'
MINIMUM LOT SIZE REQUIRED: 12,500 SF
MINIMUM LOT SIZE PROVIDED: 12,315 SF
AVERAGE LOT SIZE PROVIDED: 13,682 SF
REQUIRED OPEN SPACE (30%): 5.99 AC

TOTAL OPEN SPACE PROVIDED: 70.28 AC (65.57%)

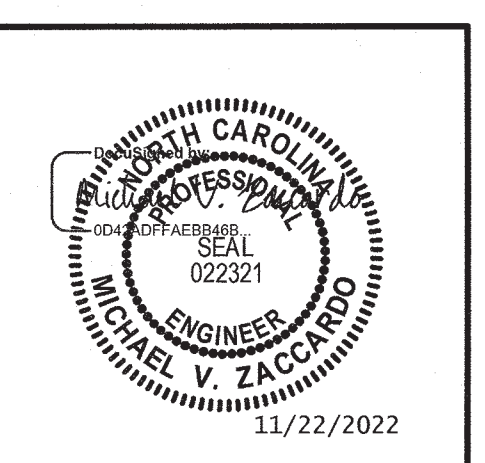
OWNER CONSENT FORM

AS THE OWNER OF RECORD, I HEREBY FORMALLY CONSENT TO THE PROPOSED DEVELOPMENT SHOWN ON THIS SITE PLAN AND ALL REGULATIONS AND REQUIREMENTS OF THE HARNETT COUNTY ORDINANCES.

OWNER SIGNATURE _____ DATE _____

SITE LAYOUT LEGEND

---	SITE BOUNDARY
---	EXISTING ROAD CENTER
---	STREAM CENTERLINE
---	PROPOSED PERIMETER BUFFER
---	PROPOSED ESMT
---	PROPOSED RIGHT-OF-WAY
---	PROPOSED LOT LINE
---	BUILDING SETBACK
---	PROPOSED ROAD CENTER
---	PROPOSED EOP
---	OPEN SPACE
---	WETLANDS



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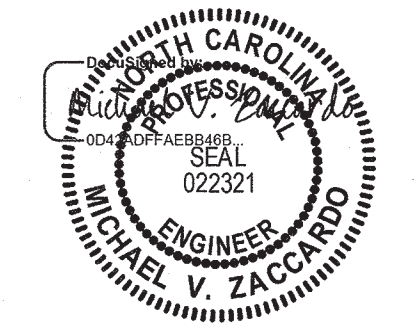
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SCALE: AS SHOWN

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652
THE PRESERVE AT KIPLING CREEK
HARNETT COUNTY, NORTH CAROLINA
SITE PLAN

JOB NO. 44455
SHEET NO. C2.0

RELEASED FOR CONSTRUCTION

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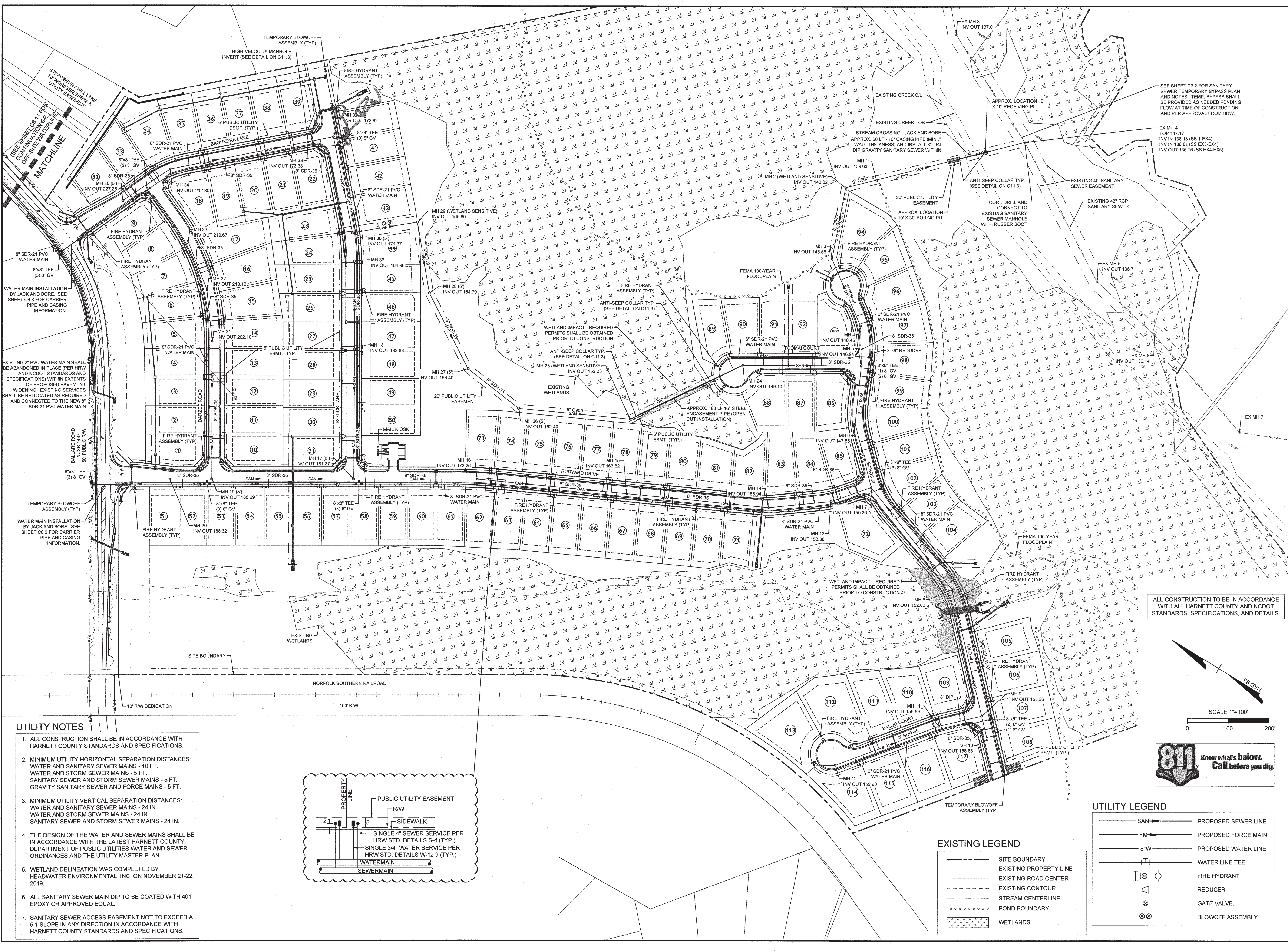
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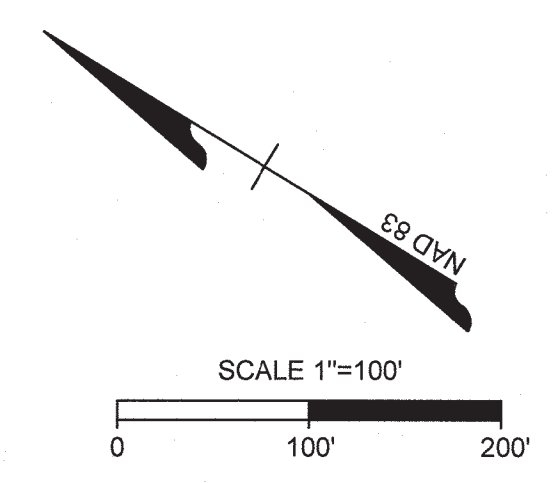
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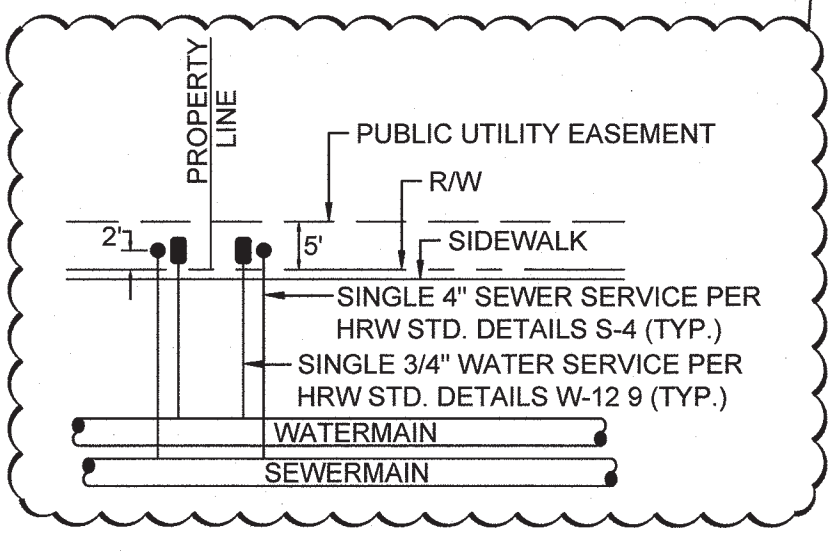
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- UTILITY NOTES**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH HARNETT COUNTY STANDARDS AND SPECIFICATIONS.
 - MINIMUM UTILITY HORIZONTAL SEPARATION DISTANCES:
WATER AND SANITARY SEWER MAINS - 10 FT.
WATER AND STORM SEWER MAINS - 5 FT.
SANITARY SEWER AND STORM SEWER MAINS - 5 FT.
GRAVITY SANITARY SEWER AND FORCE MAINS - 5 FT.
 - MINIMUM UTILITY VERTICAL SEPARATION DISTANCES:
WATER AND SANITARY SEWER MAINS - 24 IN.
WATER AND STORM SEWER MAINS - 24 IN.
SANITARY SEWER AND STORM SEWER MAINS - 24 IN.
 - THE DESIGN OF THE WATER AND SEWER MAINS SHALL BE IN ACCORDANCE WITH THE LATEST HARNETT COUNTY DEPARTMENT OF PUBLIC UTILITIES WATER AND SEWER ORDINANCES AND THE UTILITY MASTER PLAN.
 - WETLAND DELINEATION WAS COMPLETED BY HEADWATER ENVIRONMENTAL, INC. ON NOVEMBER 21-22, 2019.
 - ALL SANITARY SEWER MAIN DIP TO BE COATED WITH 401 EPOXY OR APPROVED EQUAL.
 - SANITARY SEWER ACCESS EASEMENT NOT TO EXCEED A 5:1 SLOPE IN ANY DIRECTION IN ACCORDANCE WITH HARNETT COUNTY STANDARDS AND SPECIFICATIONS.



EXISTING LEGEND

---	SITE BOUNDARY
- - - -	EXISTING PROPERTY LINE
- - - -	EXISTING ROAD CENTER
- - - -	EXISTING CONTOUR
- - - -	STREAM CENTERLINE
.....	POND BOUNDARY
▨	WETLANDS

UTILITY LEGEND

— SAN —	PROPOSED SEWER LINE
— FM —	PROPOSED FORCE MAIN
— 8"W —	PROPOSED WATER LINE
— T —	WATER LINE TEE
⊕	FIRE HYDRANT
△	REDUCER
◇	GATE VALVE
⊗	BLOWOFF ASSEMBLY

TIMMONS GROUP

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UTILITY PLAN