

SEPTEMBER 13, 2021

PROJECT: **COMM LILLINGTON NC**  
**TENANT A AND TENANT B**  
**716 S. MAIN STREET**  
**LILLINGTON, NC 27546**

DRAWING: **COVER SHEET**

Revisions	
REVISION DATE	
△ CITY COMMENTS	9/28/21

PROJECT DATE	8/13/2021
Drawn By	CGI
Checked By	BJ
Sheet No.	<b>G001</b>

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SHEET	DESCRIPTION	REVISIONS
<b>GENERAL</b>		
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E111	ELECTRICAL PLAN	
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ABBREVIATIONS			
A/C	AIR CONDITIONING	JT	JOINT
ADD'L	ADDITIONAL	LAV	LAVATORY
AFF	ABOVE FINISH FLOOR	LIN	LINEAR
ASF	ABOVE SUB FLOOR	LP	LOW POINT
ATS	ABOVE TOP OF SLAB	LVL	LAMINATED VENEER LUMBER
ALT	ALTERNATE	MAX	MAXIMUM
ALUM	ALUMINUM	MC	MECH. CONTRACTOR
APPROX	APPROXIMATE	MECH	MECHANICAL
BD	BOARD	MFR	MANUFACTURE (R) (ING)
BLDG	BUILDING	MIN	MINIMUM
BLK	BLOCK	MISC	MISCELLANEOUS
BLKG	BLOCKING	MO	MASONRY OPENING
BM	BEAM	MTD	MOUNTED
BOTT	BOTTOM	MTL	METAL
BRG	BEARING	N	NORTH
B/C	BOTTOM OF	NIC	NOT IN CONTRACT
CJ	CENTER TO CENTER	NO or #	NUMBER
CLG	CONSTRUCTION JOINT	NOM	NOMINAL
CLR	CEILING	NTS	NOT TO SCALE
CLR	CLEAR	OC	ON CENTER
CNTR	CENTER	OD	OUTSIDE DIAMETER
CMU	CONCRETE MASONRY UNIT	OPNG	OPENING
CO	CLEAN OUT	OPP	OPPOSITE
COL	COLUMN	PAC	POWDER ACTIVATED FASTENER
CONC	CONCRETE	PC	PLUMB. CONTRACTOR
CONSTR	CONSTRUCTION	PL	PLASTIC LAMINATE
CONTR	CONTRACTOR	PLMB	PLUMBING
CONT	CONTINUOUS	PLYWD	PLYWOOD
DET	DETAIL	PNL	PANEL
DIA	DIAMETER	PREFAB	PREFABRICATED
DM	DIMENSION	PROJ	PROJECT
DN	DOWN	PVC	POLYVINYL CHLORIDE
DS	DOWNSPOUT	R	RADIUS
DW	DRY WALL	R	RISER
DWG	DRAWING	RD	ROOF DRAIN
EA	EACH	RECP	RECEPTACLE
EC	ELEC. CONTRACTOR	REINF	REINFORCING
EL	ELEVATION	REQ'D	REQUIRED
ELEC	ELECTRIC (AL)	RES	RESILIENT
ELEV	ELEVATOR	REV	REVISION
EPS	EXPANDED POLYSTYRENE	RM	ROOM
EW	EACH WAY	RO	ROUGH OPENING
EW	ELECTRIC WATER COOLER	SAC	SUSPENDED ACOUSTICAL CEILING
EXIST	EXISTING	SAC-1	SAC-1 HOUR RATED
EXP JT	EXPANSION JOINT	SECT	SECTION
EXT	EXTERIOR	SHT	SHEET
F/C	FREEZER/COOLER BOX	SIM	SIMILAR
FD	FLOOR DRAIN	SPEC	SPECIFICATIONS
FDN	FOUNDATION	STL	STEEL
FIN	FINISH	STRCT	STRUCTURAL
FLR	FLOOR	STRL	STRUCTURAL
FT	FEET	T & B	TOP AND BOTTOM
FTG	FOOTING	T & G	TONGUE AND GROOVE
GALV	GALVANIZED	T	TREAD
GC	GENERAL CONTRACTOR	TOP OF	TOP OF
GYP	GYPSUM	TRT	TREATMENT
HDW	HARDWARE	UON	UNLESS OTHERWISE NOTED
HM	HOLLOW METAL	VCT	VINYL COMPOSITION TILE
HORIZ	HORIZONTAL	VERT	VERTICAL
HP	HIGH POINT	VWC	VINYL WALL COVERING
HT	HEIGHT	WC	WATER CLOSET
HVAC	HEATING/VENTILATION/AIR CONDITIONING	WD	WOOD
HYG	HYGIENE	WH	WATER HEATER
ID	INSIDE DIAMETER	W/F	WITH
IN	INCH	W/O	WITHOUT
INFO	INFORMATION	WWF	WELDED WIRE FABRIC
INSUL	INSULATION		
INT	INTERIOR		
INV.	INVERT		

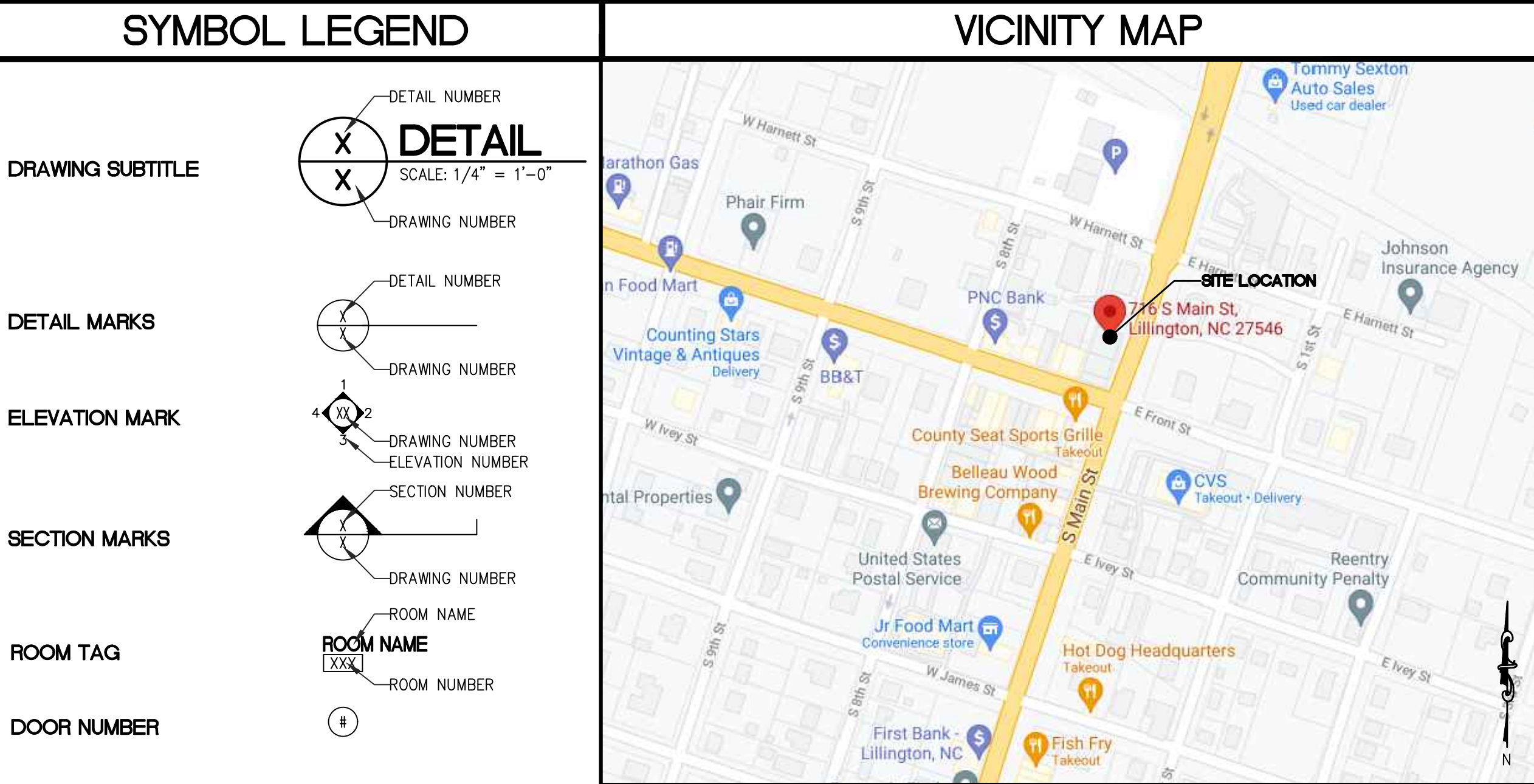
# 716 S. MAIN ST. UNIT SEPARATION

<b>PROJECT SITE</b>	<b>OWNER</b>	<b>ARCHITECT/ENGINEER</b>
716 S. MAIN STREET LILLINGTON, NC	SALEH A. AHMED 33 ARDENNES RD. APT B FORT LEE, VA 23801 TEL: (910)747-1057 EMAIL: Salehahmed393@gmail.com	LMHT ASSOCIATES 3005 CARRINGTON MILL BLVD, SUITE 150 MORRISVILLE, NORTH CAROLINA, 27560 TEL: (919)544-0087 FAX: (919)544-9399

- ### GENERAL NOTES
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS & INSPECTIONS REQUIRED FOR CERTIFICATE OF OCCUPANCY.
  - ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF FEDERAL, STATE, AND LOCAL CODES, LAWS, RULES, & REGULATIONS OF ALL LEGALLY CONSTITUTED PUBLIC AUTHORITIES HAVING JURISDICTION. IN CASE OF CONFLICT BETWEEN REQUIREMENTS, THE MOST RESTRICTIVE SHALL APPLY.
  - CONTRACTOR TO VERIFY FIT & FINISH REQUIREMENTS FOR ALL PROJECT COMPONENTS, WITH OWNER, PRIOR TO ORDERING MATERIALS. REPORT CONFLICTING INFORMATION TO OWNER PRIOR TO PROCEEDING WITH WORK.
  - CONTRACTOR SHALL DISPOSE OF ALL DEMOLITION & CONSTRUCTION DEBRIS AS REQUIRED BY FEDERAL, STATE, AND LOCAL ORDINANCES.
  - CONTRACTOR SHALL STENCIL/LABEL ON ALL RATED WALLS IN CONCEALED AREAS THE FOLLOWING: "FIRE AND SMOKE BARRIER - PROTECT ALL OPENINGS".
  - BY THE USE OF THE DRAWINGS FOR CONSTRUCTION OF THE PROJECT, THE OWNER REPRESENTS THAT HE HAS REVIEWED AND APPROVED THE DRAWINGS, AND THAT THE CONSTRUCTION DOCUMENT PHASE OF THE PROJECT IS COMPLETE.
  - CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL OTHER CONTRACTORS FURNISHING THE LABOR, MATERIALS, AND ALL WORK, SO THAT THE WORK AS A WHOLE SHALL BE EXECUTED AND COMPLETED WITHOUT CONFLICT OR DELAY.
  - CONTRACTOR SHALL COORDINATE THE REQUIREMENTS OF ANY AND ALL DRAWINGS INCLUDING ARCHITECTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL. ANY CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER & ARCHITECT PRIOR TO ANY WORK.
  - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ACQUAINT HIMSELF WITH THE DIMENSIONS OF ALL EQUIPMENT INCLUDED IN THIS PROJECT SO THAT PREPARATIONS CAN BE MADE TO PROVIDE ENTRY INTO THE FACILITY WITH SUFFICIENT CLEARANCE, AND TO ENSURE THAT ADEQUATE FLOOR SPACE IS AVAILABLE.
  - CONTRACTOR SHALL NEVER SCALE DRAWINGS. LOCATIONS FOR ALL PARTITIONS, WALLS, CEILINGS, ETC. WILL BE DETERMINED BY DIMENSIONS ON THE DRAWINGS. ANY SUCH DIMENSIONS MISSING FROM THE PLANS MUST BE BROUGHT TO THE ATTENTION OF THE OWNER & ARCHITECT IMMEDIATELY.
  - THE CONTRACTOR SHALL ADHERE TO THE DRAWINGS AND SPECIFICATIONS. SHOULD ANY ERROR OR INCONSISTENCY APPEAR REGARDING THE TRUE MEANING AND/OR INTENT OF THE DRAWINGS OR SPECIFICATIONS, THE CONTRACTOR SHALL IMMEDIATELY REPORT SAME TO THE ARCHITECT WHO WILL MAKE ANY NECESSARY CLARIFICATION, INTERPRETATION, OR REVISION AS REQUIRED.
  - IF THE CONTRACTOR DISCOVERS AN ERROR OR INCONSISTENCY AND PROCEEDS WITH WORK WITHOUT NOTIFYING THE OWNER & ARCHITECT OF ANY SUCH DISCREPANCIES, HE SHALL ASSUME ALL CHARGES AND MAKE ANY CHANGES TO HIS WORK MADE NECESSARY BY HIS FAILURE TO OBSERVE AND/OR REPORT THE CONDITION.
  - IF THE INTENT OF THE DRAWINGS & SPECIFICATIONS ARE UNCLEAR, THE CONTRACTOR SHALL ASK THE ARCHITECT FOR CLARIFICATION, PRIOR TO PROCEEDING WITH WORK, IN THE FORM OF A WRITTEN R.F.I. (REQUEST FOR INFORMATION). THE ARCHITECT SHALL THEN RESPOND IN WRITING TO ALL APPROPRIATE PARTIES.
  - CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION OF WORK, MATERIALS, FIXTURES, ETC. IN LEASED SPACE FROM LOSS, DAMAGE, FIRE, THEFT, ETC.
  - WHEREVER THE TERM "OR EQUAL" IS USED, IT SHALL MEAN EQUAL PRODUCT AS APPROVED IN WRITING BY ARCHITECT.
  - IF THE CONTRACTOR PROPOSES A MATERIAL OR EQUIPMENT SUBSTITUTION HE SHALL PROVIDE ALL APPROPRIATE DOCUMENTATION AND INFORMATION REQUIRED FOR THE ARCHITECT TO DETERMINE WHETHER OR NOT THE SUBSTITUTION IS EQUAL TO THE SPECIFICATION.
  - CONTRACTOR SHALL PROVIDE AND INSTALL ALL NECESSARY INWALL FRAMING REQUIRED TO CARRY SHELF, HANGING, AND VALANCE LOADS, RAILINGS, ETC. AS PER PLANS.
  - PROVIDE SILICONE SEALANT AT ALL JOINTS AND INTERFACES OF ALL COUNTERTOPS, EQUIPMENT AND WALLS.
  - PROJECT SHALL BE LEFT CLEANED AND POLISHED AFTER COMPLETION OF WORK.
  - CONTRACTOR SHALL REFER TO THESE DOCUMENTS, AS WELL AS SPECIFICATIONS, FOR IDENTIFICATION OF ALL OWNER SUPPLIED ITEMS. CONTRACTOR SHALL VERIFY WITH OWNER, PRIOR TO ORDERING, WHICH ITEMS THE OWNER SHALL SUPPLY. ALL ITEMS NOT MARKED AS 'OWNER SUPPLIED' ARE TO BE SUPPLIED BY THE CONTRACTOR. UNLESS NOTED OTHERWISE ALL ITEMS ARE TO BE INSTALLED BY GENERAL CONTRACTOR.
  - MINIMUM FLAME SPREAD CLASSIFICATION OF INTERIOR FINISHES SHALL CONFORM TO THE BUILDING CODE AND LOCAL GOVERNING BUILDING CODES/ORDINANCES.
  - CONTRACTOR SHALL CONTACT THE LOCAL FIRE MARSHALL, AND PROVIDE AND INSTALL FIRE EXTINGUISHERS PER THE FIRE MARSHALS DIRECTION, INCLUDING: TYPE, QUANTITY, AND LOCATIONS. AS A MINIMUM, CONTRACTOR SHALL PROVIDE FIRE EXTINGUISHERS HAVING A RATING OF 2-A10-BC FOR EVERY 3,000 S.F. OF FLOOR AREA AND TRAVEL DISTANCE TO AN EXTINGUISHER SHALL NOT EXCEED 75 FEET.
  - FOR CONSTRUCTION DETAILS NOT SHOWN, USE THE MANUFACTURER'S STANDARD DETAILS OR APPROVED SHOP DRAWINGS/DATA SHEETS IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
  - CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF WORK TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES. NOTIFY ARCHITECT IMMEDIATELY IF CONFLICTS EXIST BETWEEN EXISTING UTILITIES AND NEW CONSTRUCTION. PATCH, REPAIR, AND/OR REPLACE ALL ADVERSELY AFFECTED FINISHES AND SURFACES AS REQ'D. UPON COMPLETION OF CONSTRUCTION, ALL PARKING AREA PAVEMENT AND NEW CONCRETE PADS SHALL TRANSITION SMOOTHLY.

### SYMBOL LEGEND

<b>DRAWING SUBTITLE</b>	
<b>DETAIL MARKS</b>	
<b>ELEVATION MARK</b>	
<b>SECTION MARKS</b>	
<b>ROOM TAG</b>	
<b>DOOR NUMBER</b>	
<b>EQUIPMENT</b>	
<b>ELEVATION DATUM</b>	
<b>CEILING TAG</b>	
<b>NOTE REFERENCE</b>	
<b>WALL + BASE FINISH TAGS</b>	
<b>WALL TYPE</b>	



- ### SUMMARIZED SCOPE OF WORK
- NEW DEMISING WALL BETWEEN TENANTS
  - NEW RESTROOMS - SINGLE USE IN EACH SPACE
  - NEW 2X2 LED LIGHTS ON INTERIOR
  - NEW EGRESS LIGHTS AT EXIT

### DESIGNERS OF RECORD

DISCIPLINE	NAME	ADDRESS	LIC. #
ARCHITECT	BRIAN L. JONES	3005 CARRINGTON MILL BLVD, MORRISVILLE, NC 27560	9372
ELECTRICAL	JAYKUMAR PATEL	3005 CARRINGTON MILL BLVD, MORRISVILLE, NC 27560	049994
PLUMBING	SHAWN SLYTER	3005 CARRINGTON MILL BLVD, MORRISVILLE, NC 27560	32078
MECHANICAL	JOSEPH MORGAN	3005 CARRINGTON MILL BLVD, MORRISVILLE, NC 27560	40760
STRUCTURAL	N/A	-	-

### CODE SUMMERY

2018 NORTH CAROLINA BUILDING CODE
2018 NORTH CAROLINA ENERGY CONSERVATION CODE
2018 NORTH CAROLINA MECHANICAL CODE
2018 NORTH CAROLINA PLUMBING CODE
2018 NORTH CAROLINA FIRE CODE
2017 NATIONAL ELECTRICAL CODE





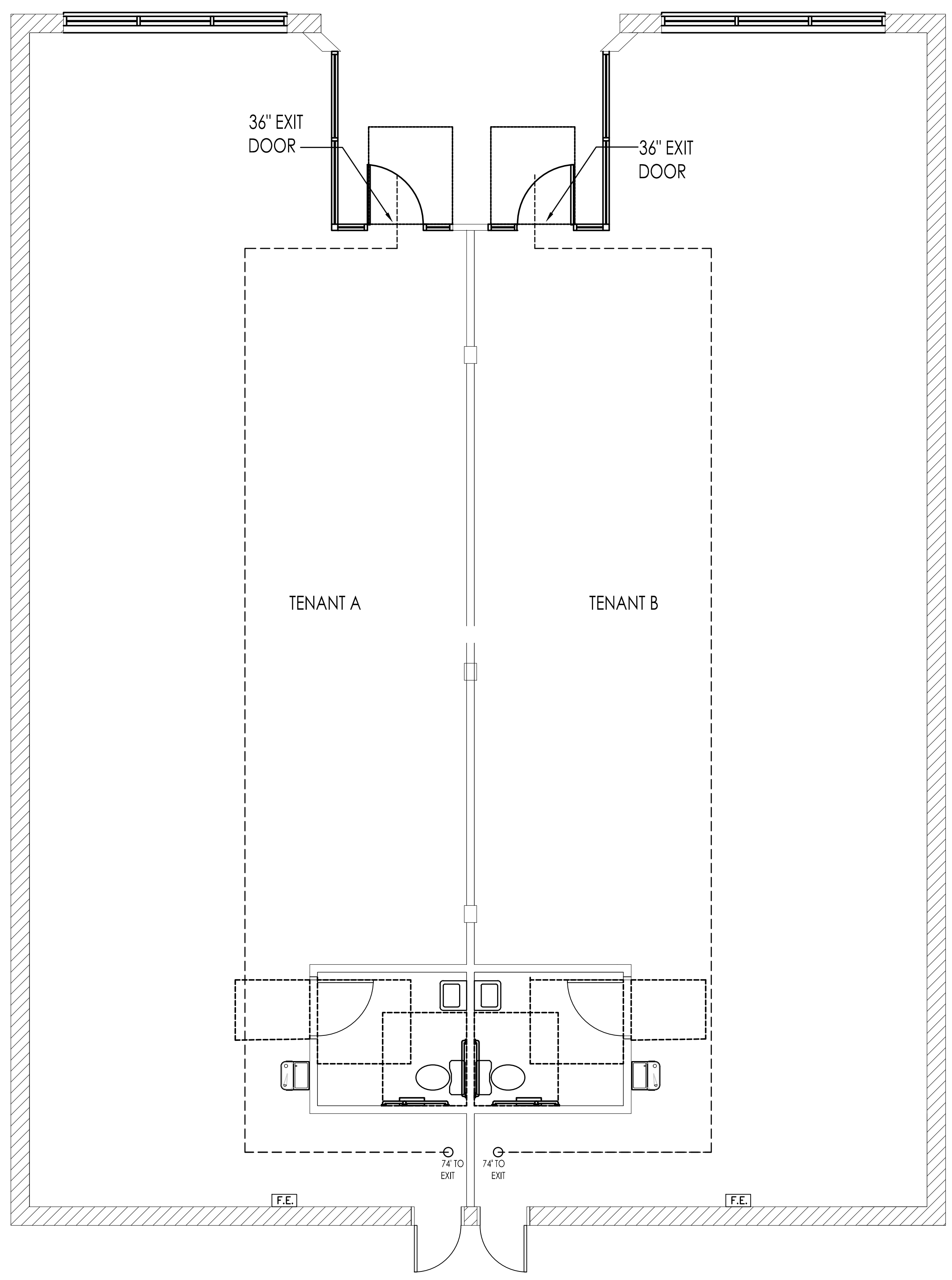
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8/13/2021  
Drawn By  
MTP  
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BJ

Sheet No.  
**G101**

TENANT A: 1401SF  
OCCUPANCY: 15  
DOOR SIZE: 3"

TENANT B: 1453 SF  
OCCUPANCY: 15  
DOOR SIZE: 3"

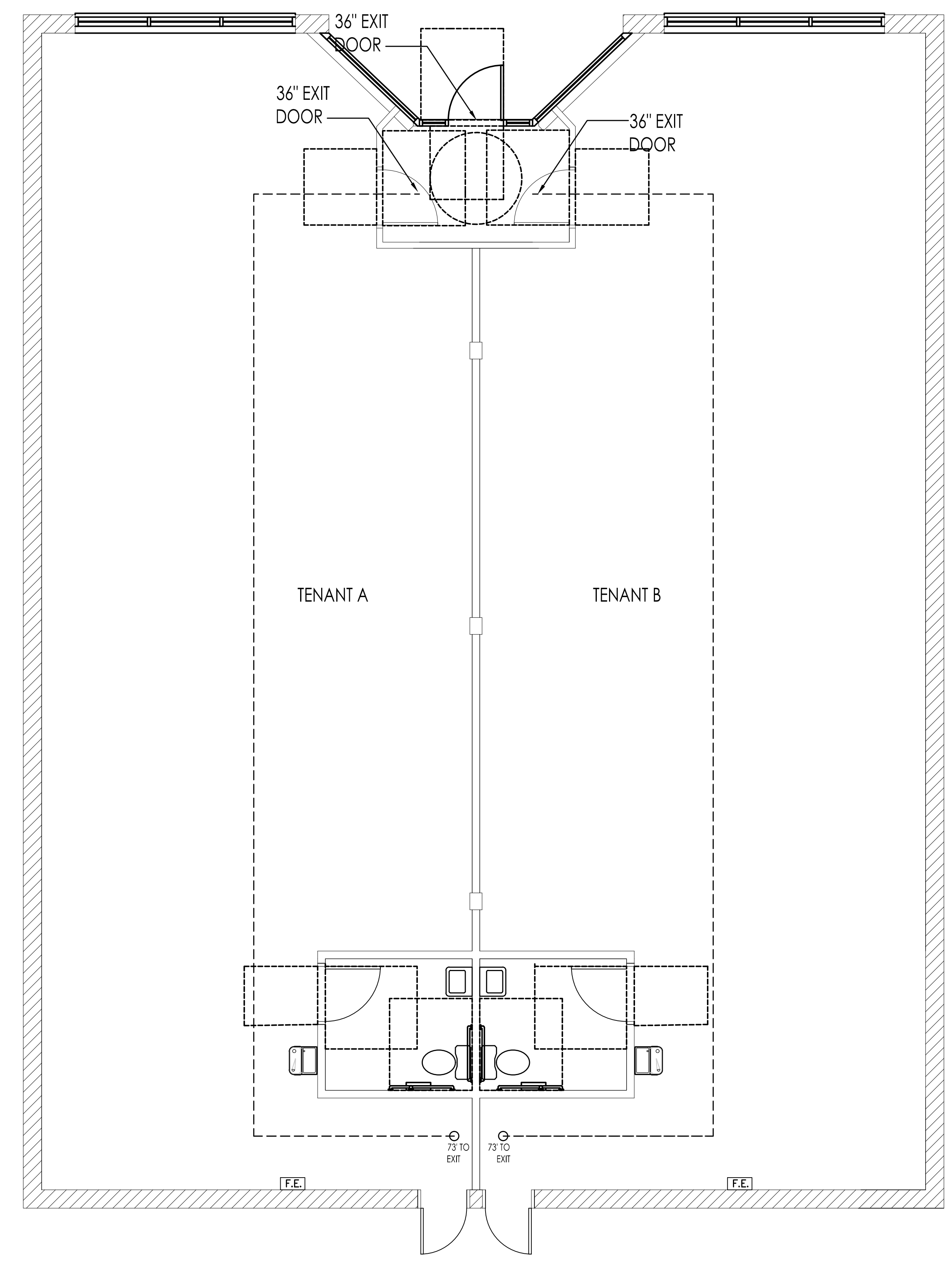


**2** EGRESS PLAN OPTION A  
SCALE: 1/4" = 1'-0"

TENANT A: 1413 SF  
OCCUPANCY: 15  
DOOR SIZE: 3"

COMMON ENTRANCE: 77 SF  
OCCUPANCY: 0.77  
DOOR SIZE: 0.15"



TENANT B: 1465 SF  
OCCUPANCY: 15  
DOOR SIZE: 3"



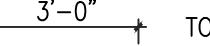
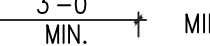
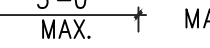
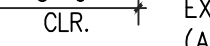
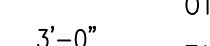
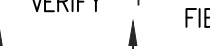
**1** EGRESS PLAN  
SCALE: 1/4" = 1'-0"











**WALL TYPE LEGEND**

-  NON-RATED SEPARATION WALL
-  EXISTING MASONRY WALL

**DIMENSION NOTES:**

-  3'-0" TO FACE OF STUD
-  3'-0" MIN. MINIMUM DIMENSION ALLOWED (MAY BE MORE)
-  3'-0" MAX. MAXIMUM DIMENSION ALLOWED (MAY BE LESS)
-  3'-0" CLR. EXACT DISTANCE BETWEEN FINAL FINISHED SURFACES (ALL DIMENSIONS ARE TO FACE OF FRAMING UNLESS OTHERWISE NOTED)
-  3'-0" VERIFY TARGET DIMENSION WHICH MAY NOT BE ACHIEVED IN FIELD - BE AWARE OF POSSIBLE CHANGE
-  ALIGN ALIGN THESE FINISH SURFACES

**CEILING LEGEND**

-  EXHAUST FAN
-  CEILING FAN WITH LIGHTS
-  PENDANT LIGHTS
-  SURFACE MOUNTED CEILING LIGHTS
-  WALL MOUNTED LIGHTS
-  LED UTILITY STRIP LIGHT
-  LED WALL SCONE WITH GOOSENECK ARM
-  LED WALL MOUNTED JELLY-JAR FIXTURE

LMHT Project No. 21257

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**BRYAN L. JONES**  
 ARCHITECT  
 169372  
 SEPTEMBER 13, 2021

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 LICENSED ARCHITECTURAL CORPORATION  
 CERT. NO. 178  
 MORRISVILLE, NC

PROJECT: **COMM LILLINGTON NC**  
 TENANT A AND TENANT B  
 716 S. MAIN STREET  
 LILLINGTON, NC 27546

DRAWING: **DEMO PLANS**

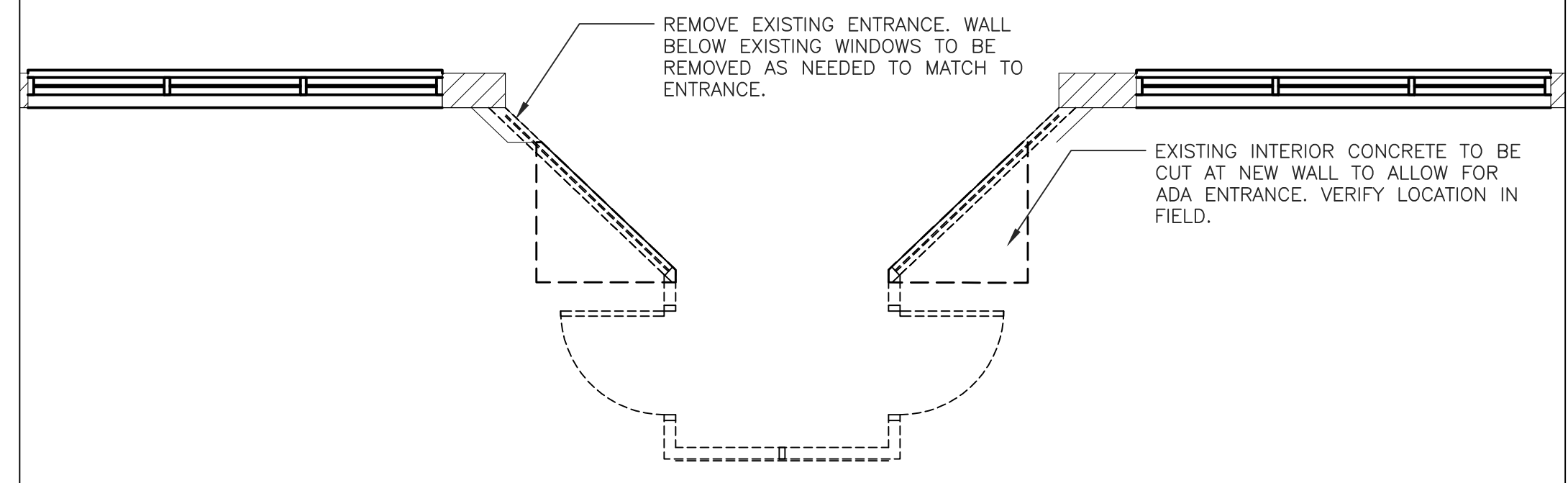
Revisions	
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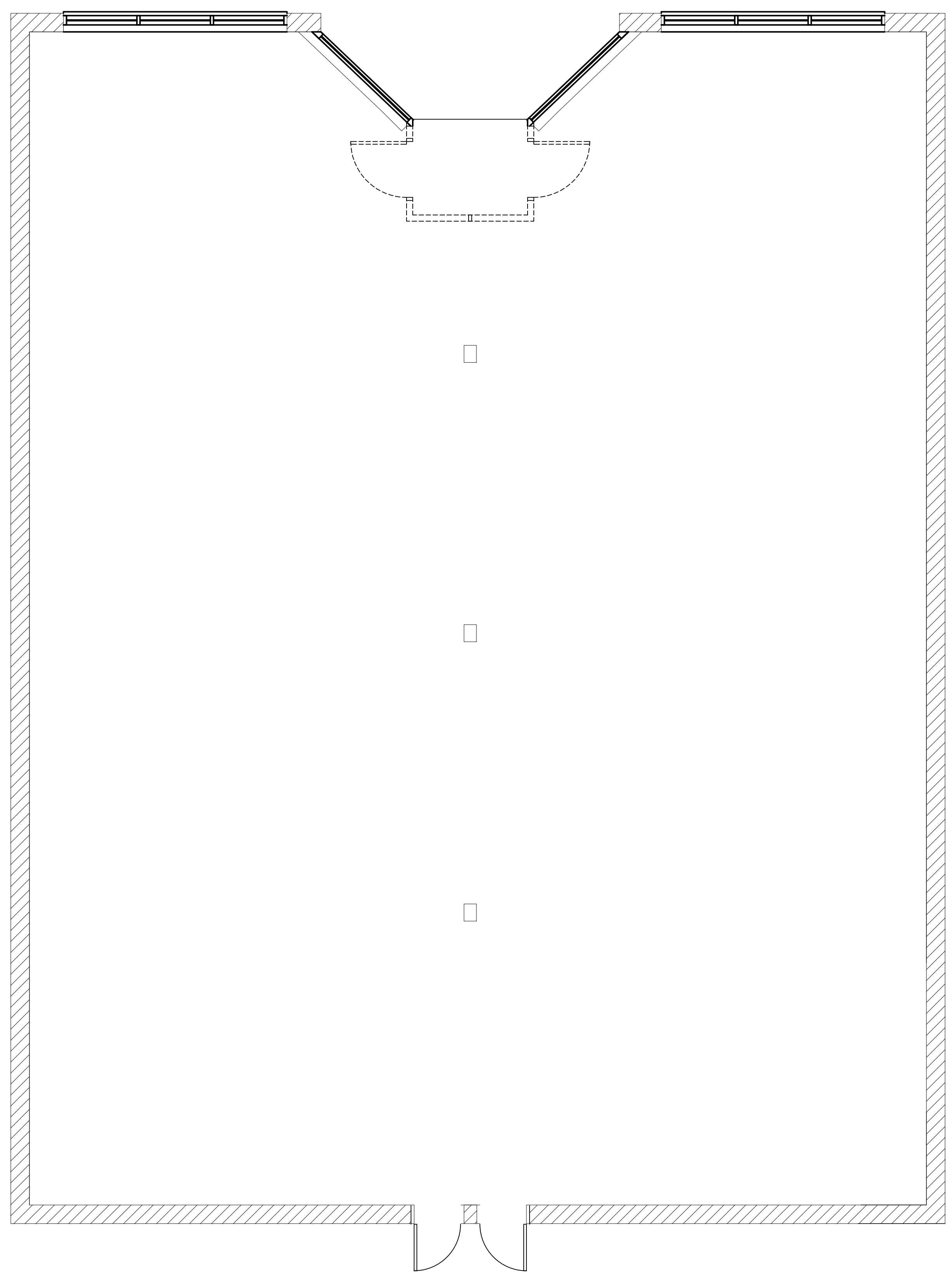
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GI

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BJ

Sheet No.  
**A101**



**2 DEMO PLAN OPTION A**  
 SCALE: 1/4" = 1'-0"

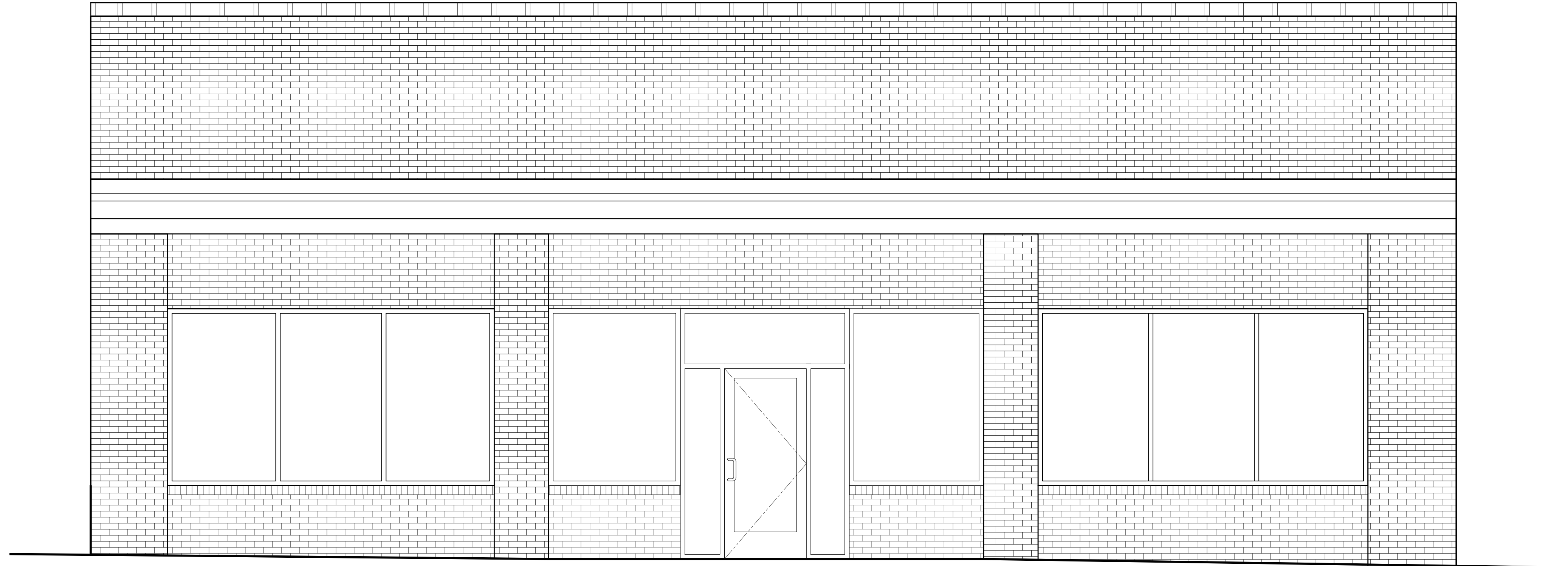
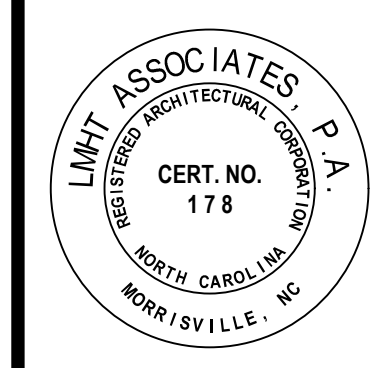
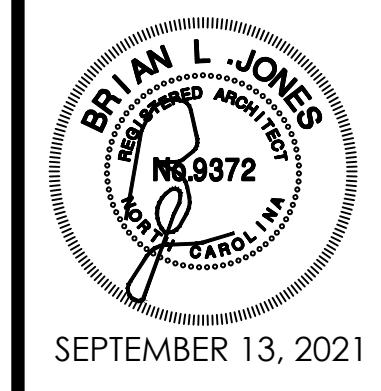
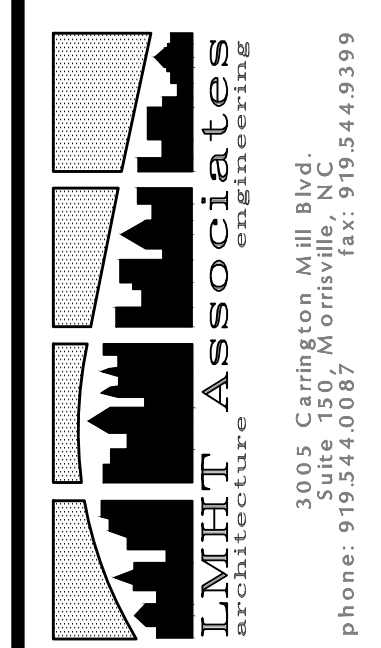


**1 DEMO PLAN**  
 SCALE: 1/4" = 1'-0"









**1 FRONT ELEVATION**  
A211 SCALE: 3/8" = 1'-0"



**2 FRONT ELEVATION OPTION A**  
A211 SCALE: 3/8" = 1'-0"

PROJECT: **COMM LILLINGTON NC**  
TENANT A AND TENANT B  
716 S. MAIN STREET  
LILLINGTON, NC 27546

DRAWING:  
ELEVATION

Revisions
REVISION DATE

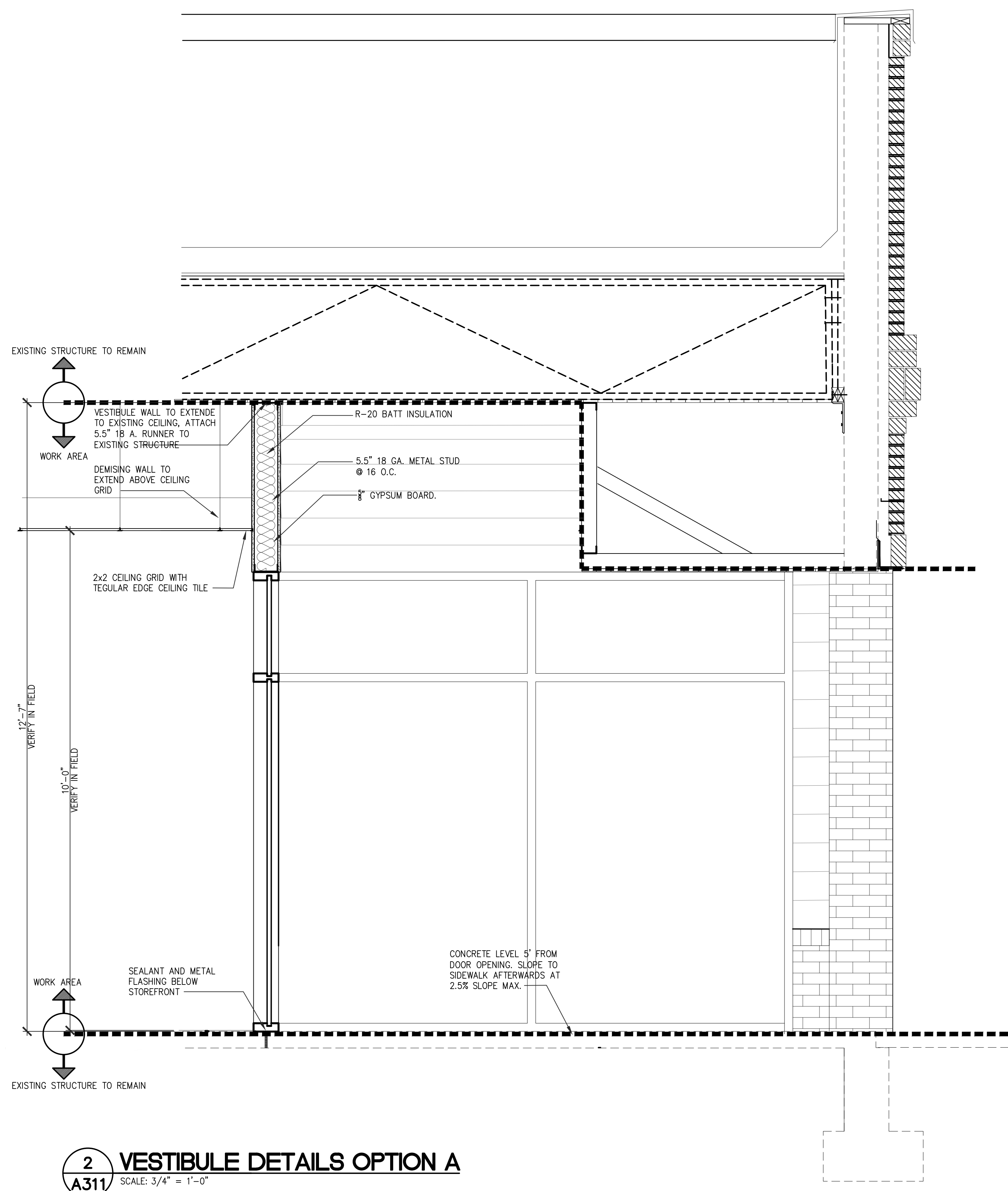
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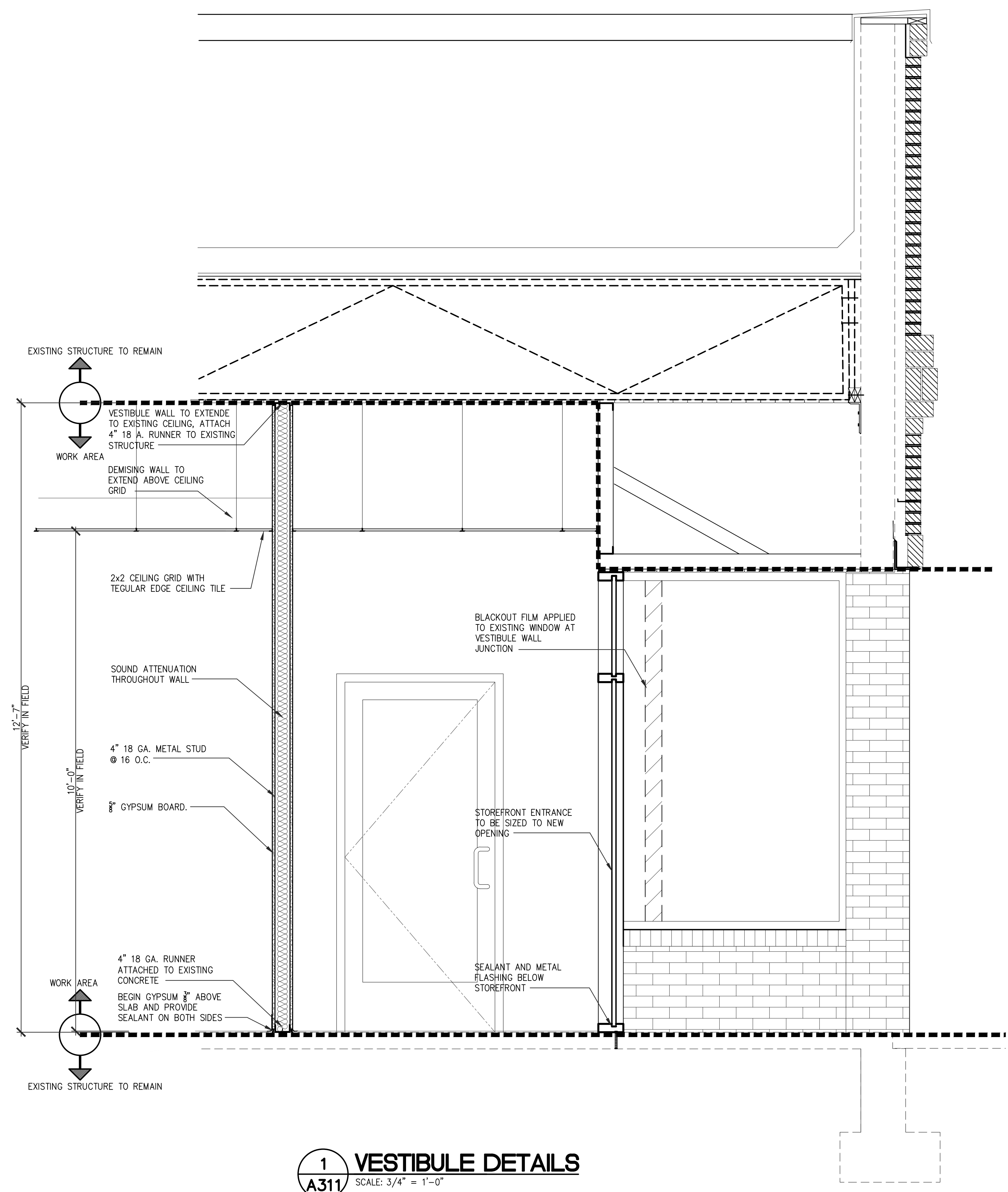
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REVISION DATE



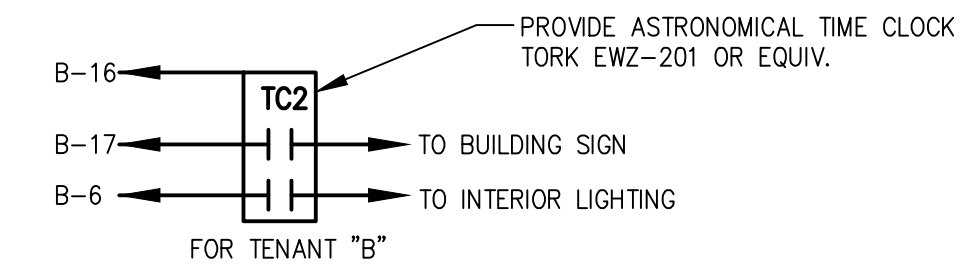
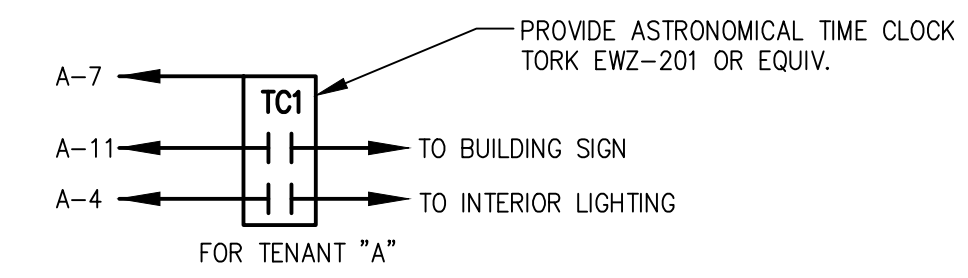
**2 VESTIBULE DETAILS OPTION A**  
 SCALE: 3/4" = 1'-0"



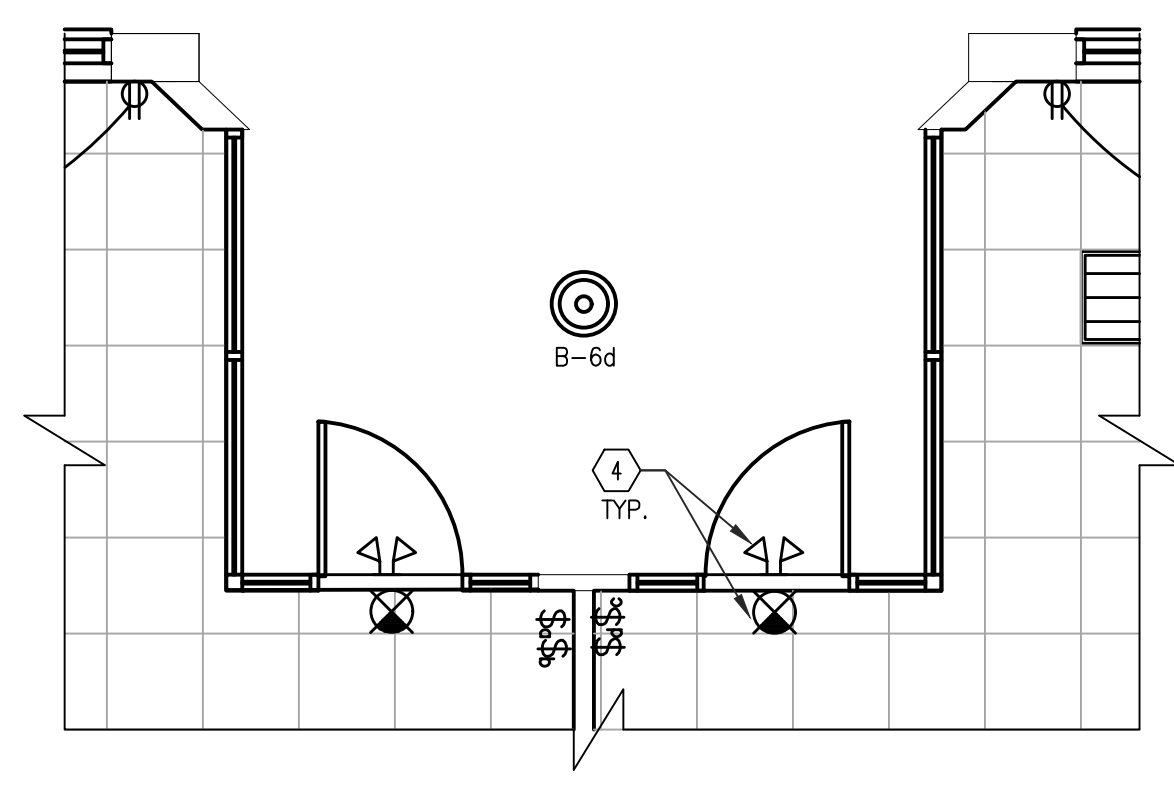
**1 VESTIBULE DETAILS**  
 SCALE: 3/4" = 1'-0"



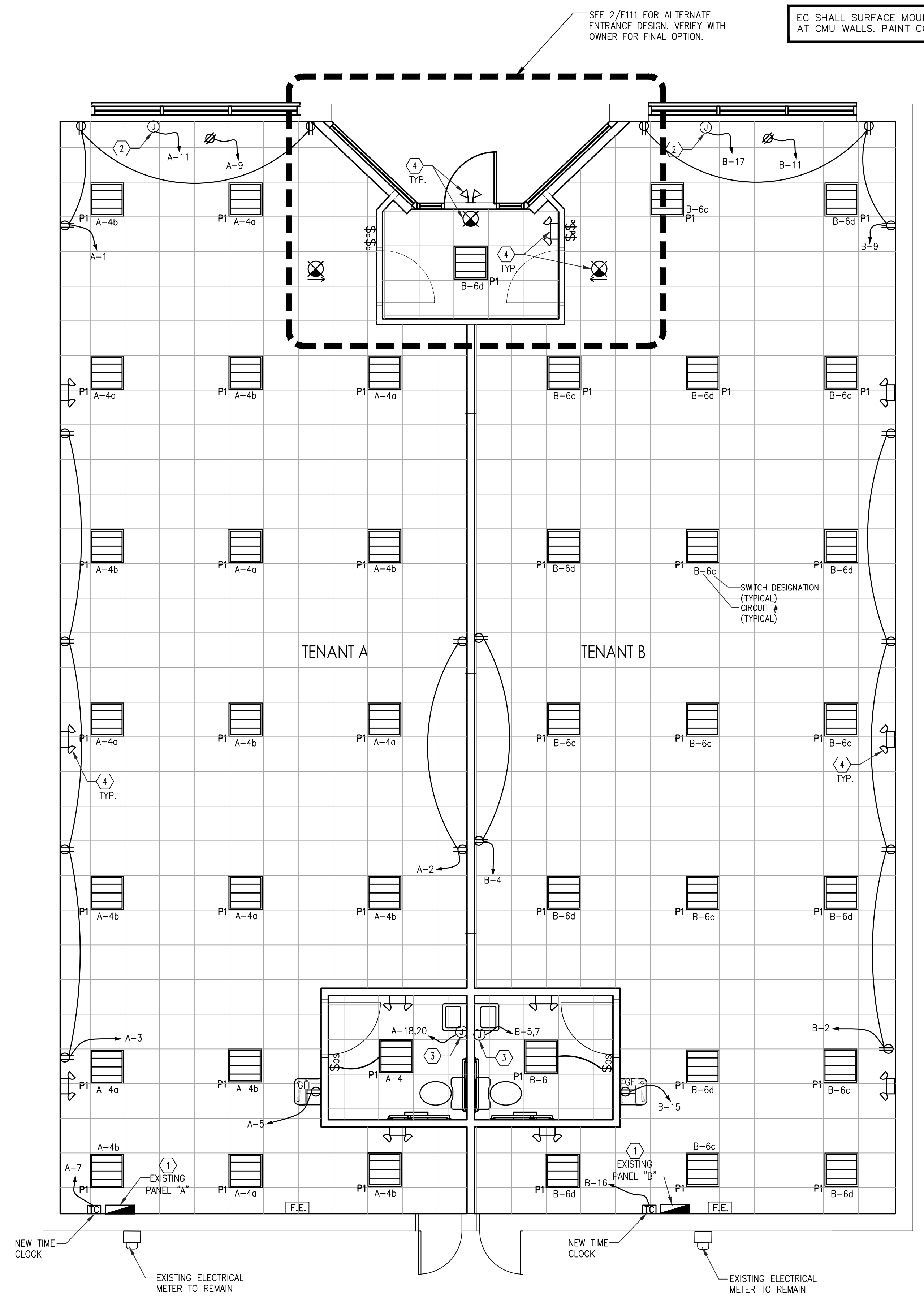




**3 LIGHTING CONTROL DIAGRAMS**  
 SCALE: NONE

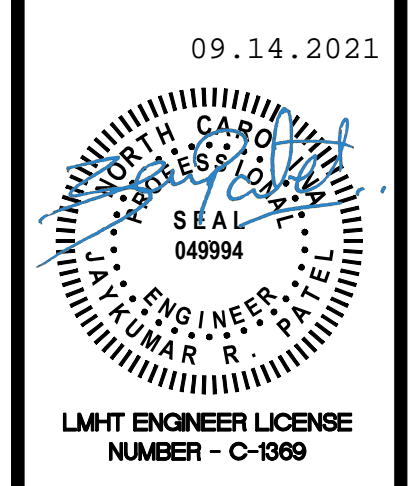


**2 ELECTRICAL PLAN-ENTRY OPTION A**  
 SCALE: 1/4" = 1'-0"



**1 ELECTRICAL PLAN**  
 SCALE: 1/4" = 1'-0"

CONSTRUCTION NOTES	
1	EXISTING ELECTRICAL PANEL TO REMAIN.
2	EC SHALL PROVIDE CONDUIT FROM JUNCTION BOX TO CENTER OF SIGN LOCATION. COORDINATE ACTUAL SIGN LOCATION WITH SIGN VENDOR. SIGNAGE CONTROLLED VIA TIMECLOCK.
3	EC SHALL PROVIDE POWER FOR WATER HEATER TO UNDER THE SINK. EXTEND LIQUIDTIGHT FLEXIBLE METAL CONDUIT FROM JUNCTION BOX TO EQUIPMENT, AS REQUIRED. VERIFY EXACT LOCATION AND REQUIREMENTS WITH PLUMBING CONTRACTOR PRIOR TO ROUGH-INS.
4	CONNECT ALL EMERGENCY LIGHTS AND EXIT SIGNS TO LOCAL LIGHTING CIRCUIT AHEAD OF SWITCH (UNSWITCHED HOT).



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DRAWING: ELECTRICAL PLAN

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Drawn By  
**JP**

Checked By  
**JP**

Sheet No.



## GENERAL NOTES

- ALL PLUMBING VENTS SHALL BE INSTALLED 10' (MIN.) FROM ANY BUILDING FRESH AIR INTAKE AS SHOWN OR 2' ABOVE.
- PC SHALL ABANDON ALL EXISTING WASTE/VENT AND WATER PIPING, CAP EXISTING PIPING IN WALL BELOW SLAB OR ABOVE CEILING AND GC SHALL REPAIR SURFACES TO MATCH EXISTING CONDITIONS.
- GC SHALL COORDINATE WITH CIVIL TO PROVIDE A DOUBLE CHECK VALVE BACKFLOW PREVENTER IN A VAULT OUTSIDE OF BUILDING DOWNSTREAM OF WATER METER.
- PC SHALL FIELD VERIFY LOCATION OF EXISTING LOCAL UTILITIES AND ADJUST PIPING AS REQUIRED PER STATE AND LOCAL CODES. REFER TO CIVIL UTILITY PLAN.
- ALL WORK SHALL BE PERFORMED BY A LICENSED CONTRACTOR. CONTRACTOR SHALL INSTALL SYSTEMS, EQUIPMENT & COMPONENTS IN ACCORDANCE WITH MINIMUM REQUIREMENTS SHOWN IN THESE PLANS. ANY DEVIATION FROM THE DESIGN PLANS SHALL ONLY BE PERFORMED IF APPROVED BY THE OWNER REPRESENTATIVE OR DESIGN ENGINEER. ALL WORK SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS OF ALL APPLICABLE CODES AND STANDARDS. HOWEVER, ANY DEVIATION FROM THE DESIGN PLANS IMPLIED BY LOCAL CODES THAT SUGGESTS INSTALLATION OF LESS THAN THE REQUIREMENTS SPECIFIED IN THESE DESIGN PLANS SHALL NOT BE ALLOWED WITHOUT APPROVAL BY THE OWNER REPRESENTATIVE OR THE DESIGN ENGINEER.
- PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR WATER, VENT, AND WASTE SYSTEM TESTS, PER LOCAL CODE REQUIREMENTS. ALL HVAC AND EXHAUST SYSTEMS MUST BE RUNNING WHILE THESE WASTE/VENT TESTS ARE BEING PERFORMED. A CERTIFICATE WILL BE REQUIRED FROM THE PLUMBING CONTRACTOR CERTIFYING COMPLIANCE AND ACCEPTANCE OF THESE TESTS.
- INSTALL ALL PLUMBING FIXTURES TO BE FULLY ACCESSIBLE TO INDIVIDUALS WITH DISABILITIES IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT OF 1990. FIXTURES AND THEIR INSTALLATION SHALL ALSO COMPLY WITH AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) PUBLICATION A117.1 - "PROVIDING ACCESSIBILITY AND USABILITY FOR PHYSICALLY HANDICAPPED PEOPLE" AND/OR GOVERNING CODES. ALL PLUMBING FIXTURES EQUIPMENT, TRIM, & FITTINGS SHALL COMPLY WITH LOCAL, STATE, AND FEDERAL REGULATIONS AND CODES, INCLUDING, BUT NOT LIMITED TO, WATER AND ENERGY CONSERVATION CODES.M

## CONSTRUCTION NOTES

- PC SHALL PROVIDE A POINT OF USE WATER HEATER BELOW LAVATORY. SET TEMP. AT 110° (MAX). SEE DETAIL 3/P111.
- DRINKING FOUNTAIN SHALL BE MOUNTED PER ADA SPECIFICATIONS.

## PIPING MATERIAL SCHEDULE

PIPING SYSTEM	MATERIAL DESCRIPTION
SANITARY WASTE & VENT	SCHEDULE 40 PVC.
GREASE WASTE & VENT	SCHEDULE 40 PVC.
DOMESTIC WATER	SCHEDULE 40 & SCHEDULE 80 CPVC OPT: PEX-A AND TYPE "L" HARD COPPER TUBING.

## WATER PIPING SIZING CRITERIA

- ALL PIPE SIZES SHOWN ON RISER ARE BASED ON COPPER PIPE. PEX-A IS AN APPROVED SUBSTITUTION MATERIAL (SEE SPECIFICATION SHEET). HOWEVER, IF PEX-A IS INSTALLED, ALL PIPE SIZES (EXCEPT SINGLE FIXTURE BRANCHES) SHALL BE INCREASED (1) PIPE SIZE FROM SIZES SHOWN ON RISER.
- COPPER PIPE SIZING BASED ON DESIGN MAXIMUMS OF 8FT/SEC VELOCITY AND 5PSI/100FT TO 8PSI/100FT OF PRESSURE LOSS.
- PEX-A PIPE SIZING BASED ON MANUFACTURER DESIGN CRITERIA AND DESIGN MAXIMUMS OF 8FT/SEC VELOCITY AND 5PSI/100FT TO 8PSI/100FT OF PRESSURE LOSS.

## FIXTURE SCHEDULE

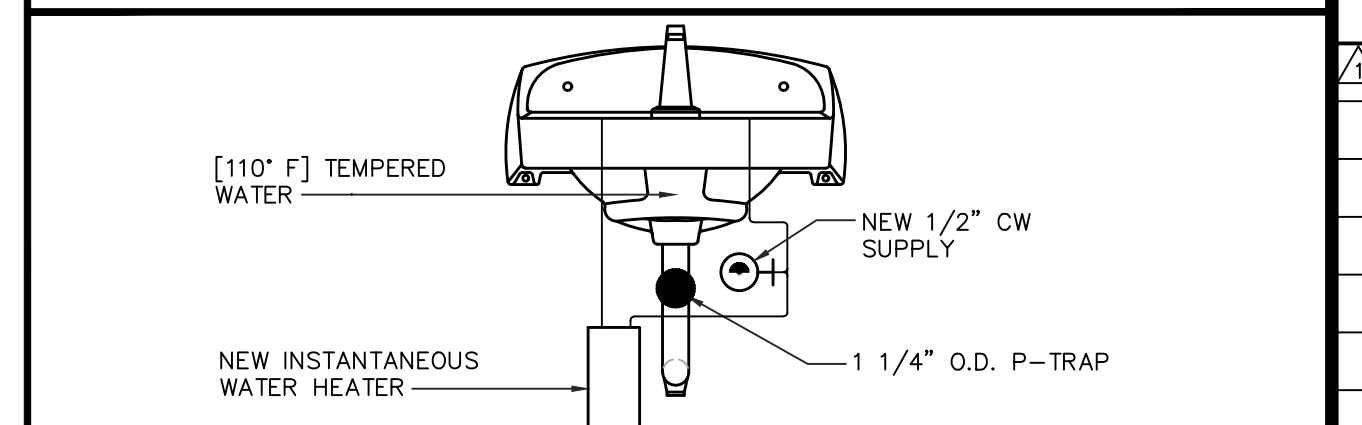
CO-1	WALL CLEANOUT A. SLOJUX CHIEF #873-X (SEE OPTIONAL KITS) WITH COUNTERSUNK PLUG INSTALLED IN PVC TEE. B. X=SIZE OF PIPE REQUIRED IN MODEL NUMBER.
DF-1	DRINKING FOUNTAIN A. ELKAY EZTLBC TWO STATION DUAL HEIGHT UNIT. B. 120V, 1PH C. ELKAY LKAPREZL APRON
WC-1	WATER CLOSET, FLOOR MOUNTED, FLUSH TANK (HANDICAP) A. AMERICAN STANDARD CADET PRO RIGHT HEIGHT, 16 1/2" HIGH, EL 1.6, 215AA.004, 1.6 GPF B. SEAT - CHURCH #9500C OPEN FRONT LESS COVER C. MOUNT FLUSH CONTROL ON WIDE SIDE OF STALL FOR ACCESSIBILITY.
WH-1	WATER HEATER A. WATER HEATER - EEMAX MODEL -SPEX48T TANKLESS, POINT OF USE, ELECTRIC. B. 4.8KW, 240V, 1PH, ELECTRICAL INPUT. C. WATER HEATER CERTIFIED BY UNDERWRITERS LABORATORIES (UL). D. EC SHALL MAKE ALL FINAL ELECTRICAL CONNECTIONS. E. MOUNT BELOW LAVATORY. F. SET FOR OPERATION AT 110°F (MAX.).

## LEGEND

---	VENT PIPING
---	WASTE PIPING
---	COLD WATER PIPING

## SYMBOLS

	WALL CLEANOUT
	GATE VALVE

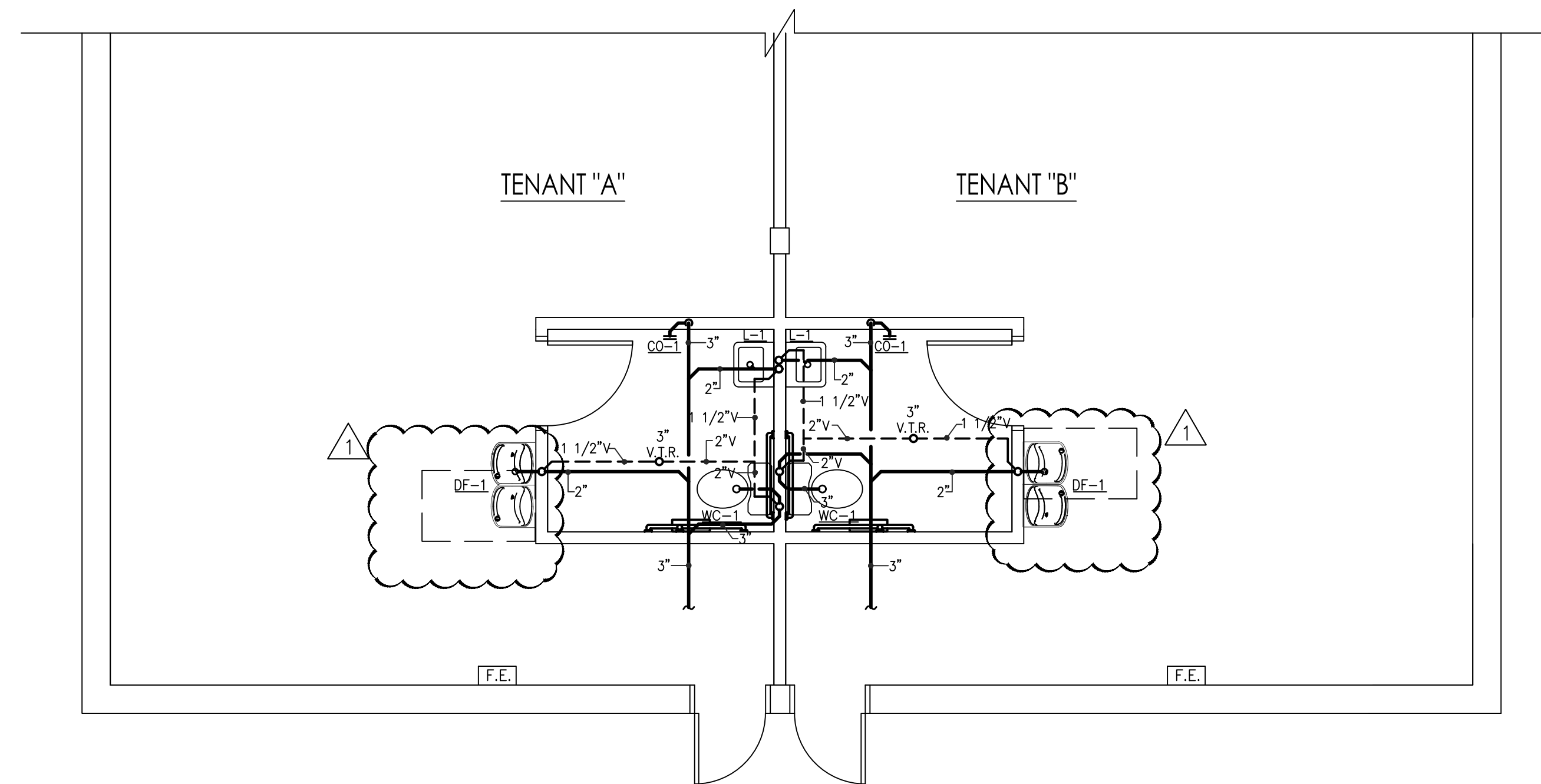


**3 POINT OF USE WATER HEATER DETAIL**  
P111 SCALE: N.T.S.

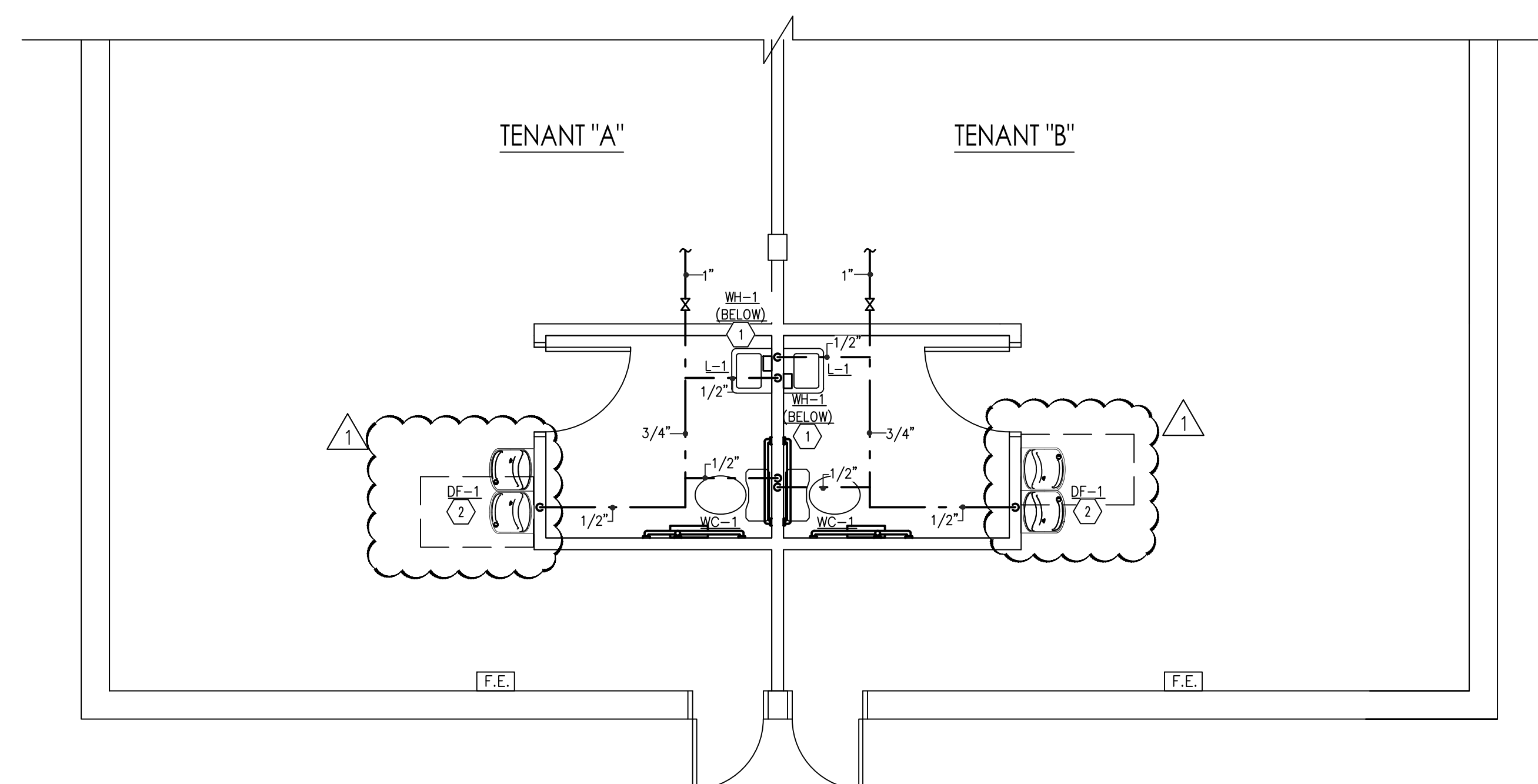
IF ANY DISCREPANCIES ARE FOUND ON THE PLANS, THE PLUMBING CONTRACTOR SHALL BID THE MORE CONSERVATIVE SPECIFICATION AND CALL ENGINEER FOR CLARIFICATION.

PRIOR TO SUBMITTING BID, CONTRACTOR SHALL VISIT SITE TO EXAMINE SITE CONDITIONS. CONTRACTOR SHALL EXAMINE EXISTING CONDITIONS AND REUSE AND RECONNECT TO EXISTING SERVICE WHERE POSSIBLE. ALL REUSED PIPING AND EQUIPMENT MUST COMPLY WITH STATE AND LOCAL PLUMBING CODE.

WHILE EVERY ATTEMPT HAS BEEN MADE IN THE PREPARATION OF THIS PLAN TO AVOID MISTAKES, THE DESIGNER AND COMPANY CANNOT GUARANTEE AGAINST ERROR OR UNFORESEEN FIELD CONDITIONS. THE CONTRACTOR OR BUILDER MUST CHECK ALL DIMENSIONS, DETAILS AND REPORT ANY DISCREPANCIES.



**1 PLUMBING WASTE PLAN**  
P111 SCALE: 1/4" = 1'-0"



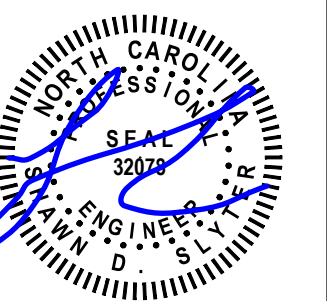
**2 PLUMBING WATER PLAN**  
P111 SCALE: 1/4" = 1'-0"

LHMT Project No. 21257

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9.29.21



LHMT ENGINEER LICENSE  
NUMBER - C-1868

PROJECT: **COMM LILLINGTON NC**  
TENANT A AND TENANT B  
716 S. MAIN STREET  
LILLINGTON, NC 27546

DRAWING: **PLUMBING PLAN**

## Revisions

REVISION DATE

△ CITY COMMENTS 9/28/21

PROJECT DATE  
8/13/2021

Drawn By  
**TJC**

Checked By  
**JCL**

Sheet No.

**P111**