

FIT-UP PLANS
BLACK RIVER EXCHANGE
61 BROAD STREET
ANGIER , NORTH CAROLINA 27526

PREPARED FOR

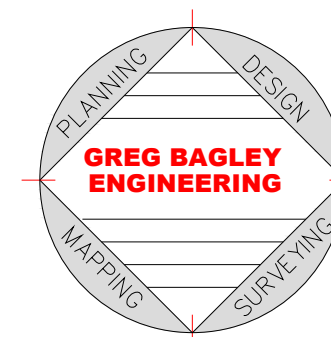
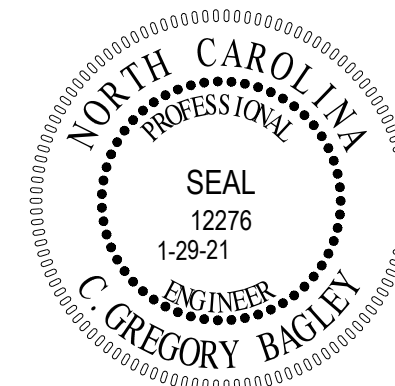
STEVE AND JULIE WILLS
825 WHEELER DRIVE
ANGIER , NC
TELEPHONE 919-218-5435

ENGINEER

GREG BAGLEY
805 COKESBURY ROAD
FUQUAY VARINA, NC
PHONE: (919) 609-0300

SHEET INDEX

COVER SHEET
CODE1....CODE SUMMARY 1
DEMO.....DEMO PLAN
FP1-OF-1.....FLOOR PLAN
EL 1-OF-1.....ELEVATIONS
P1-OF-1..... PLUMBING
M1-OF-1..... MECHANICAL
E1-OF-1..... ELECTRICAL
STRUC 1 OF 1..... STRUCTURAL



2012 APPENDIX B
BUILDING CODE SUMMARY
FOR ALL COMMERCIAL PROJECTS
(EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)

Name of Project: 61 BROAD STREET
Address: ANGLER HARNETT COUNTY NC
Proposed Use: C. GREGORY BAGLEY
Owner/Authorized Agent: GREG BAGLEY
E-Mail: GDB.GREG@GMAIL.COM

LEAD DESIGN PROFESSIONAL: Greg Bagley
DESIGNER FIRM: NAME LICENSE # TELEPHONE # E-MAIL
Architectural: Greg Bagley, 12276, (919) 609-0300, GDB.GREG@GMAIL.COM

2012 EDITION OF NC CODE FOR: [] New Construction [] Addition [] Upfit
EXISTING: [] Reconstruction [] Alteration [] Repair [X] Renovation
CONSTRUCTED: (date) ORIGINAL USE(S) (Ch. 3): RETAIL

BASIC BUILDING DATA
Construction Type: [] I-A [] II-A [] III-A [] IV [] V-A
[] I-B [] II-B [] III-B [] V-B
Sprinklers: [] No [] Partial [] Yes
Standpipes: [] No [] Yes Class [] I [] II [] III [] Wet [] Dry
Building Height: (feet)
Gross Building Area:
FLOOR EXISTING (SQ FT) NEW (SQ FT) SUB-TOTAL

Occupancy:
Assembly [] A-1 [] A-2 [] A-3 [] A-4 [] A-5
Educational []
Factory [] F-1 Moderate [] F-2 Low
Hazardous [] H-1 Detonate [] H-2 Deflagrate [] H-3 Combust [] H-4 Health [] H-5 HPM

Accessory Occupancies:
Assembly [] A-1 [] A-2 [] A-3 [] A-4 [] A-5
Business []
Educational []
Factory [] F-1 Moderate [] F-2 Low
Hazardous [] H-1 Detonate [] H-2 Deflagrate [] H-3 Combust [] H-4 Health [] H-5 HPM

Incidental Uses (Table 508.2.5):
[] Furnace room where any piece of equipment is over 400,000 Btu per hour input
[] Rooms with boilers where the largest piece of equipment is over 15 psi and 10 horsepower

Special Uses: [] 402 [] 403 [] 404 [] 405 [] 406 [] 407 [] 408 [] 409 [] 410 [] 411 [] 412 []
[] 413 [] 414 [] 415 [] 416 [] 417 [] 418 [] 419 [] 420 [] 421 [] 422 [] 423 [] 424 []
[] 425 [] 426 [] 427
Special Provisions: [] 509.2 [] 509.3 [] 509.4 [] 509.5 [] 509.6 [] 509.7 [] 509.8 [] 509.9

Mixed Occupancy: [X] No [] Yes Separation: NONE Hr. Exception: 509.2
Incidental Use Separation (508.2.5)
This separation is not exempt as a Non-Separated Use (see exceptions).

This separation is not exempt as a Non-Separated Use (see exceptions).
[] Non-Separated Use (508.3)
The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire building.
Actual Area of Occupancy A + Actual Area of Occupancy B
Allowable Area of Occupancy A Allowable Area of Occupancy B <= 1

STORY NO. DESCRIPTION AND USE (A) BLDG AREA PER STORY (ACTUAL) (B) TABLE 503.5 AREA (C) AREA FOR FRONTAGE INCREASE (D) AREA FOR SPRINKLER INCREASE (E) ALLOWABLE AREA OR UNLIMITED (F) MAXIMUM BUILDING AREA (G)

Frontage area increases from Section 506.2 are computed thus:
a. Perimeter which fronts a public way or open space having 20 feet minimum width = 160 (F)
b. Total Building Perimeter = 160 (P)
c. Ratio (F/P) = 1 (F/P)
d. W = Minimum width of public way = 30 (W)
e. Percent of frontage increase I_f = 100 [F/P - 0.25] x W/30 = .75 (%)

ALLOWABLE HEIGHT
8160 8160 8160
Type of Construction Type V-B Type V-B
Building Height in Feet 21' Feet = H + 20' = 41'
Building Height in Stories 1 Stories + 1 = 2

FIRE PROTECTION REQUIREMENTS NR = Not Required
BUILDING ELEMENT FIRE SEPARATION DISTANCE (FEET) RATING REQ'D PROVIDED (W/ REDUCTION) DETAIL # AND SHEET # DESIGN # FOR RATED ASSEMBLY DESIGN # FOR RATED PENETRATION DESIGN # FOR RATED JOINTS

LIFE SAFETY SYSTEM REQUIREMENTS
Emergency Lighting: [] No [] Yes
Exit Signs: [] No [] Yes
Fire Alarm: [] No [] Yes
Smoke Detection Systems: [] No [] Yes [] Partial

LIFE SAFETY PLAN REQUIREMENTS
Life Safety Plan Sheet #: CODE SHEET
[] Fire and/or smoke rated wall locations (Chapter 7)
[] Assumed and real property line locations
[X] Exterior wall opening area with respect to distance to assumed property lines (705.8)

[] A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation
[] Location of doors with panic hardware (1008.1.10)
[] Location of doors with delayed egress locks and the amount of delay (1008.1.9.7)
[] Location of doors with electromagnetic egress locks (1008.1.9.8)
[] Location of doors equipped with hold-open devices
[] Location of emergency escape windows (1029)
[] The square footage of each fire area (902)
[] The square footage of each smoke compartment (407.4)
[] Note any code exceptions or table notes that may have been utilized regarding the items above

ACCESSIBLE DWELLING UNITS (SECTION 1107)
TOTAL UNITS ACCESSIBLE UNITS REQUIRED ACCESSIBLE UNITS PROVIDED TYPE A UNITS REQUIRED TYPE A UNITS PROVIDED TYPE B UNITS REQUIRED TYPE B UNITS PROVIDED TOTAL ACCESSIBLE UNITS PROVIDED

ACCESSIBLE PARKING (SECTION 1106)
LOT OR PARKING AREA TOTAL # OF PARKING SPACES PROVIDED REGULAR WITH 5' ACCESS AISLE 132" ACCESS AISLE 8' ACCESS AISLE TOTAL # ACCESSIBLE PROVIDED

DESIGN LOADS:
Importance Factors: Wind (I_w) .87 Snow (I_s) .8 Seismic (I_e) 1
Live Loads: Roof 20 psf Mezzanine 20 psf Floor 125 psf
Ground Snow Load: 10 psf
Wind Load: Basic Wind Speed 110 mph (ASCE-7) Exposure Category C Vx = -8.77 Vy = -7.38

SEISMIC DESIGN CATEGORY: [X] A [] B [] C [] D
Provide the following Seismic Design Parameters:
Occupancy Category (Table 1604.5) [] I [] II [] III [] IV
Spectral Response Acceleration S_s 2.7 %g S_1 3.2 %g
Site Classification (Table 1613.5.2) [] A [] B [] C [] D [] E [] F

PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1)
USE WATERCLOSETS URINALS LAVATORIES SHOWERS/TUBS DRINKING FOUNTAINS
SPACE EXISTING MALE FEMALE MALE FEMALE MALE FEMALE REGULAR ACCESSIBLE

SPECIAL APPROVALS
Special approval: (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, ICC, etc., describe below)

ENERGY SUMMARY
ENERGY REQUIREMENTS:
The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.

Climate Zone: [X] 3 [] 4 [] 5
Method of Compliance:
[] Prescriptive (Energy Code)
[X] Performance (Energy Code)
[] Prescriptive (ASHRAE 90.1)
[X] Performance (ASHRAE 90.1)

THERMAL ENVELOPE
Roof/Ceiling Assembly (each assembly)
Description of assembly: TRUSS AND MEMBRANE
U-Value of total assembly:
R-Value of insulation: R-30
Skylights in each assembly:
U-Value of skylight:
total square footage of skylights in each assembly:

Exterior Walls (each assembly)
Description of assembly: 16" BRICK WALLS
U-Value of total assembly: N/A
R-Value of insulation: R-15
Openings (windows or doors with glazing)
U-Value of assembly: N/A
Solar heat gain coefficient:
projection factor:
Door R-Values: N/A

Walls below grade (each assembly)
Description of assembly: N/A
U-Value of total assembly:
R-Value of insulation:

Floors over unconditioned space (each assembly)
Description of assembly: CONCRETE 3000 LB
U-Value of total assembly:
R-Value of insulation:

Floors slab on grade
Description of assembly: N/A
U-Value of total assembly:
R-Value of insulation:
Horizontal/vertical requirement:
slab heated:

MECHANICAL SUMMARY
MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT

Thermal Zone
winter dry bulb: 20 F
summer dry bulb: 95 F

Interior design conditions
winter dry bulb: 70 F
summer dry bulb: 74 F
relative humidity: 50%

Building heating load: 32,800
Building cooling load: 34,720

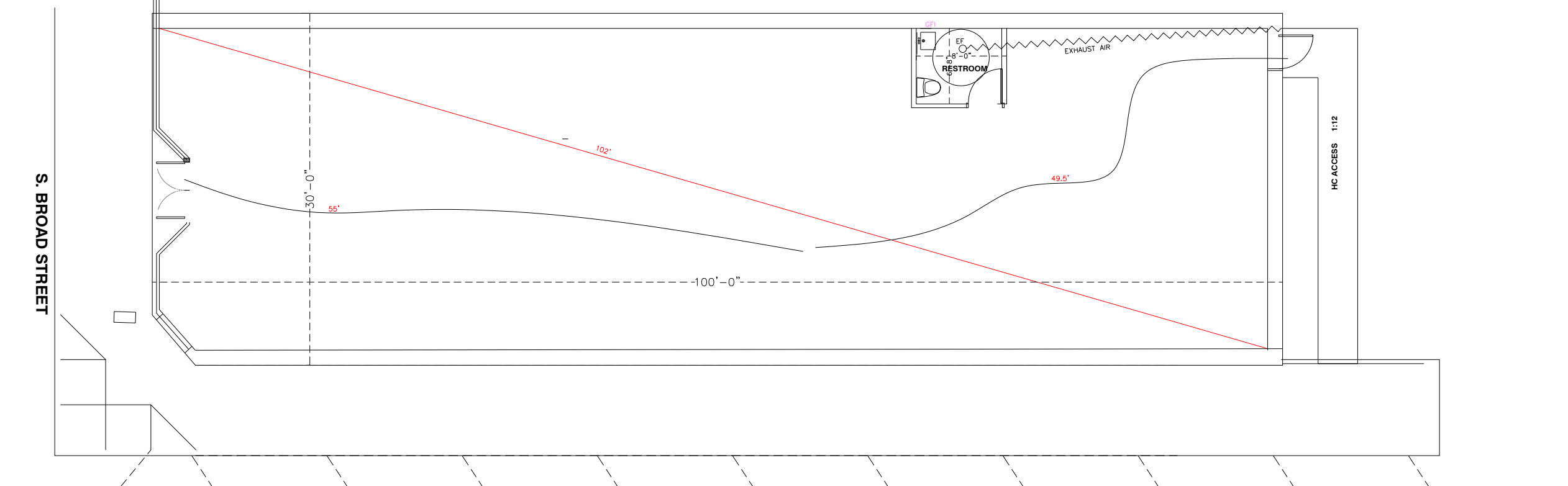
Mechanical Spacing Conditioning System
Unitary
description of unit: SPLIT SYSTEM
heating efficiency: 14 SEER
cooling efficiency: 14 SEER
Boiler
size category of unit: 36,000
1 Size category. If oversized, state reason:
Chiller
Size category. If oversized, state reason:
List equipment efficiencies: 63%

ELECTRICAL SUMMARY
ELECTRICAL SYSTEM AND EQUIPMENT

Method of Compliance:
Energy Code: [X] Prescriptive [] Performance
ASHRAE 90.1: [] Prescriptive [] Performance

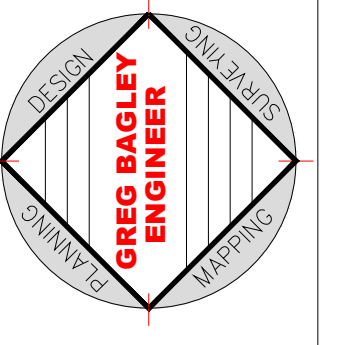
Lighting schedule (each fixture type)
1-8 lamp type required in fixture
4 number of lamps in fixture
F9618 ballast type used in the fixture
number of ballasts in fixture
40-60 total wattage per fixture
.48 vs. .40 total interior wattage specified vs. allowed (whole building or space by space)
25 total exterior wattage specified vs. allowed

Additional Prescriptive Compliance
[] 506.2.1 More Efficient Mechanical Equipment
[] 506.2.2 Reduced Lighting Power Density
[] 506.2.3 Energy Recovery Ventilation Systems
[] 506.2.4 Higher Efficiency Service Water Heating
[] 506.2.5 On-Site Supply of Renewable Energy
[] 506.2.6 Automatic Daylighting Control Systems



REVISIONS BY
CGB

805 COKEBURY ROAD
ANGIER, NC 27726
PHONE: (919) 552-1600
FAX: (919) 552-6525



APPENDIX B
BLACK RIVER EXCHANGE
DEVELOPED BY J&S WILLS
HARNETT COUNTY N.C.
ANGIER

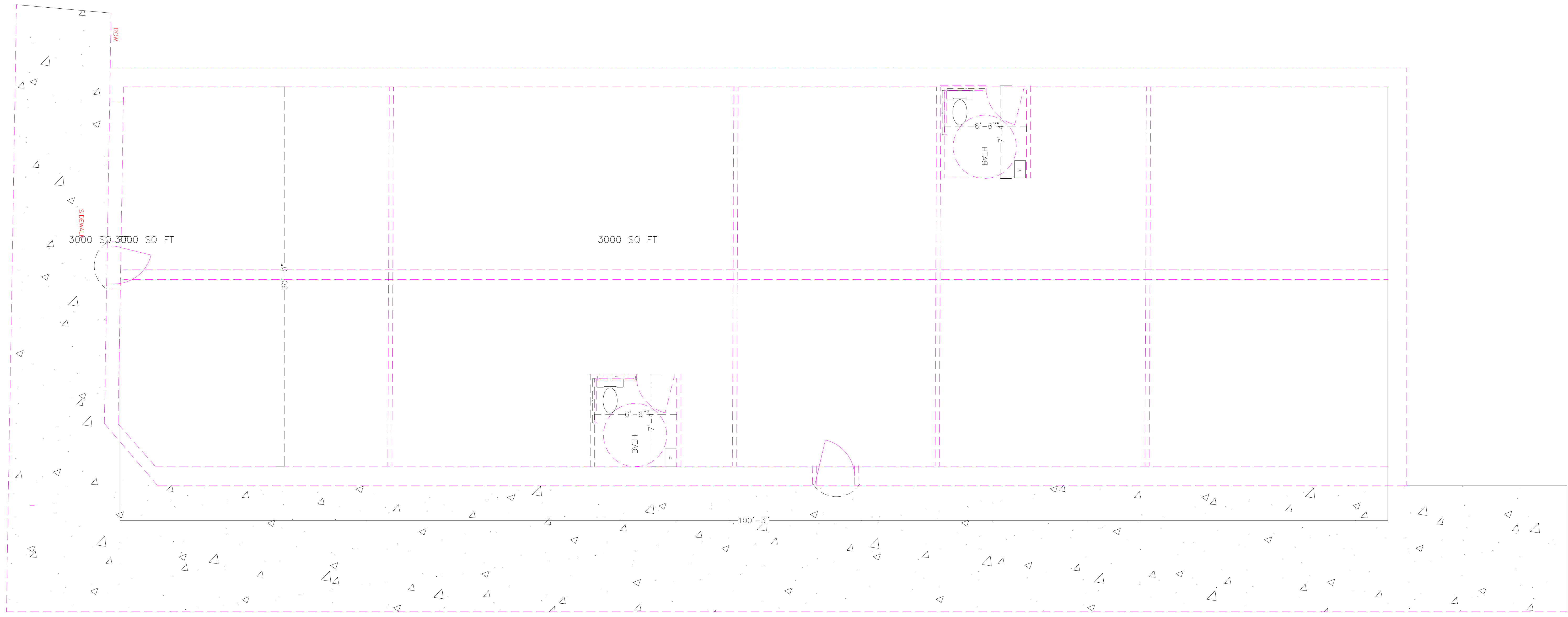
DATE 11-9-18
SCALE SHOWN
DESIGNED BY CGB
DRAWN BY
SHEET CODE

LIFE SAFETY
0" = 1'-0"

S. BROAD STREET

DEMO NOTES:

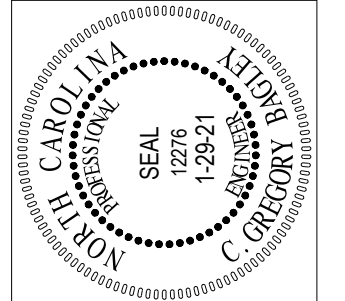
- REMOVE ALL EXISTING INTERIOR WALLS
- REMOVE ALL EXISTING HVAC EQUIPMENT
- REMOVE ALL EXISTING ELECTRICAL
- REMOVE DAMAGED FLOORING AS INSTRUCTED
- REMOVE CEILING TILES AND CEILING GRIDS



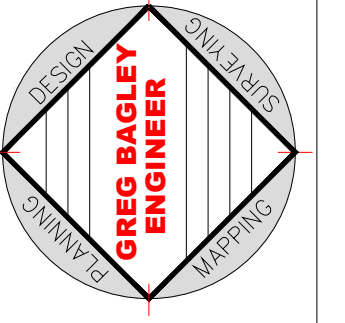
E. LILLINGTON STREET

DEMO PLAN
 SCALE: 1/4" = 1'

| REVISIONS | BY |
|--|-----|
| 1-5-18 SECOND SUBMITTAL REV PER FV COMMENTS | CGB |
| | |
| | |
| | |
| | |



805 COVESBURY ROAD
 ANGIER, NC 27526
 PHONE: (919) 552-1600
 FAX: (919) 552-6325



DEMO PLAN

BLACK RIVER EXCHANGE
 DEVELOPED BY
 J&S WILLS
 HARNETT COUNTY N.C.

ANGIER

| | |
|-------------|------------------|
| DATE | 1-29-21 |
| SCALE | SHOWN |
| DESIGNED BY | CGB |
| DRAWN BY | |
| SHEET | DP1-OF-1 |
| | DEMO PLAN |

S. BROAD STREET

E. LILLINGTON STREET



EXHAUST AIR

HC ACCESS 1:12

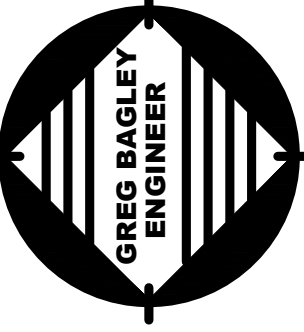
30'-0"

100'-0"

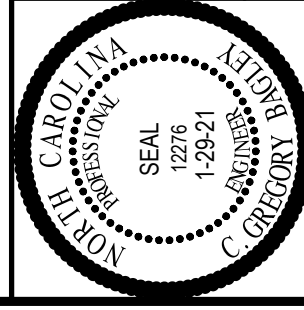
FLOOR PLAN
SCALE: 1/4" = 1'

BLACK RIVER EXCHANGE
DEVELOPED BY
S & J WILLS
ANGIER HARNETT COUNTY N.C.

FLOOR
PLAN



SES CONSULTING BOARD
ANGIER, NC 27503
PHONE: (919) 588-1600
FAX: (919) 588-6555

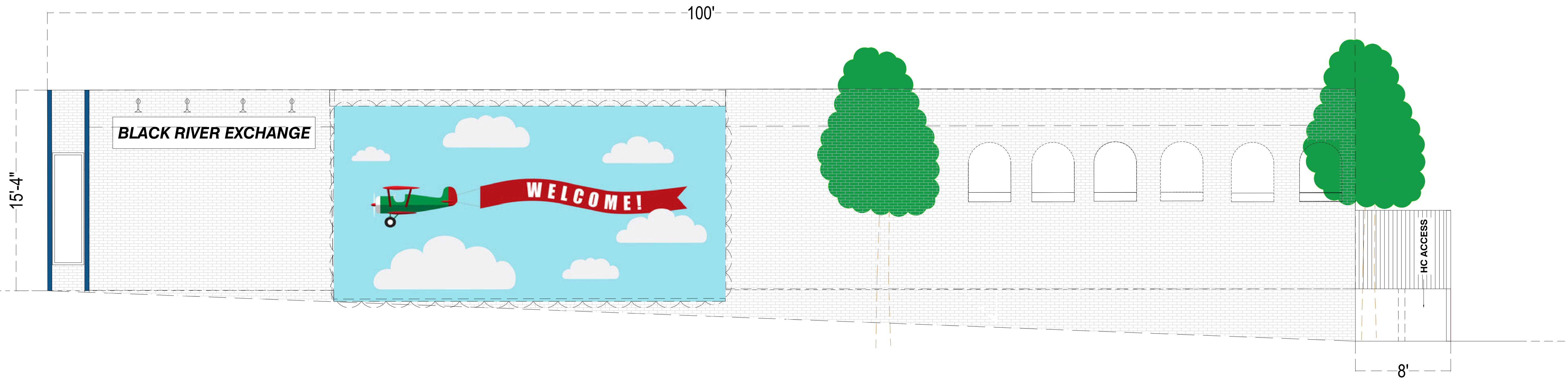


| | | |
|------|----|----------|
| DATE | BY | REVISION |
| | | |
| | | |
| | | |
| | | |
| | | |

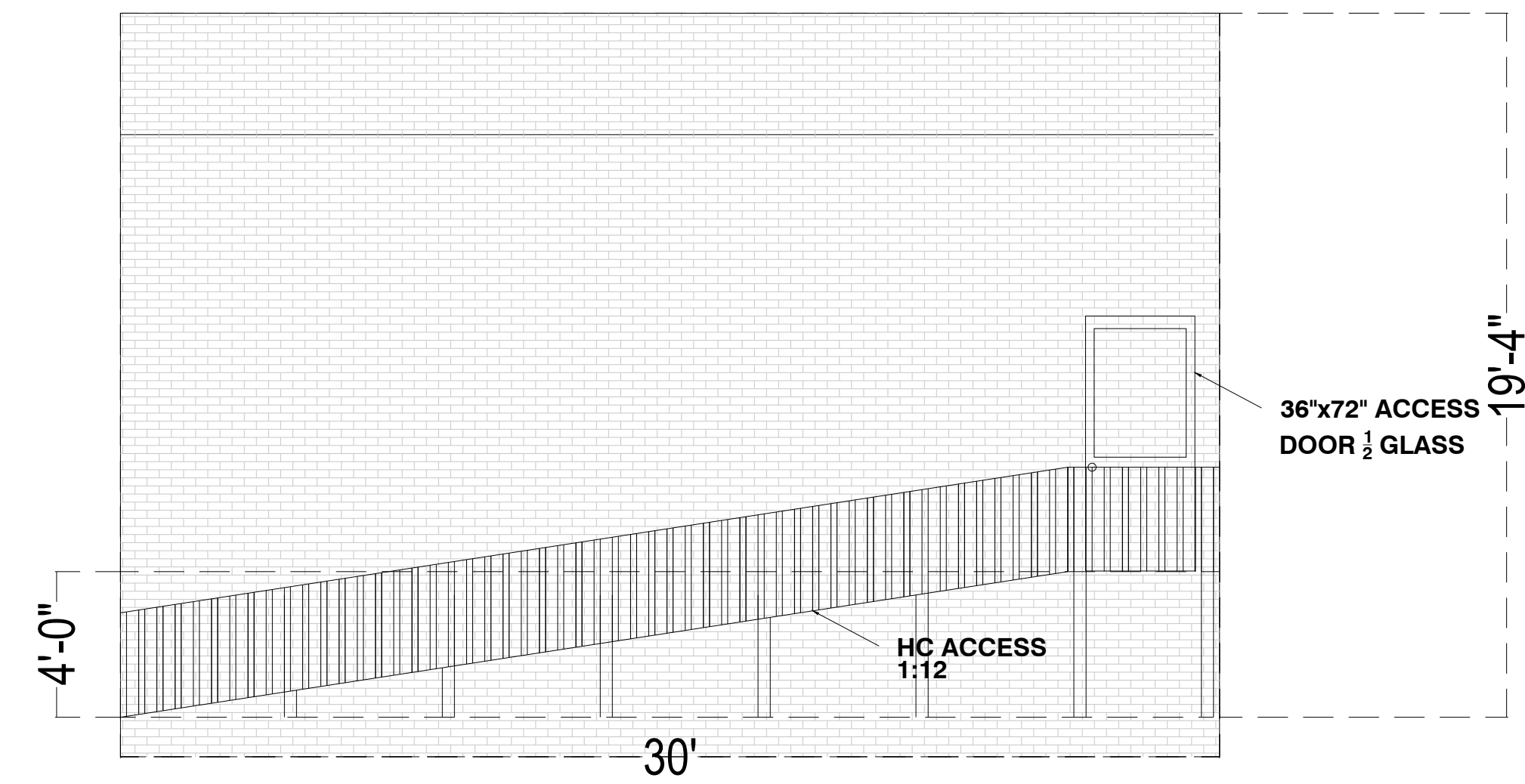
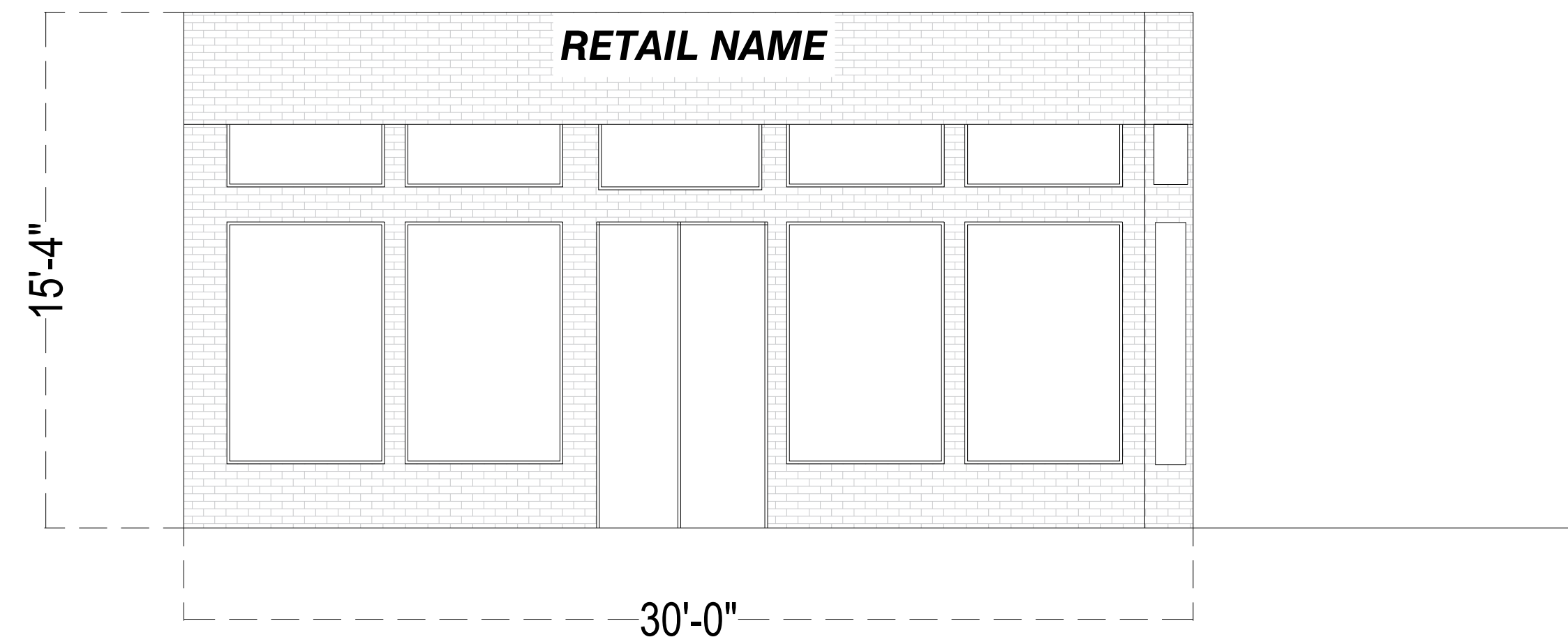
| | | |
|--|--|--|
| | | |
| | | |
| | | |

FP1-OF-1
FLOOR PLAN

S. BROAD STREET

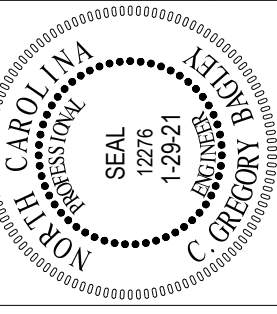


E. LILLINGTON STREET

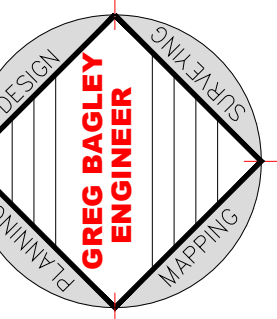


ELEVATIONS
SCALE: 1/4" = 1'

| REVISIONS | BY |
|--|-----|
| 1-5-18 SECOND SUBMITTAL REV PER FV COMMENTS | CGB |
| | |
| | |
| | |
| | |



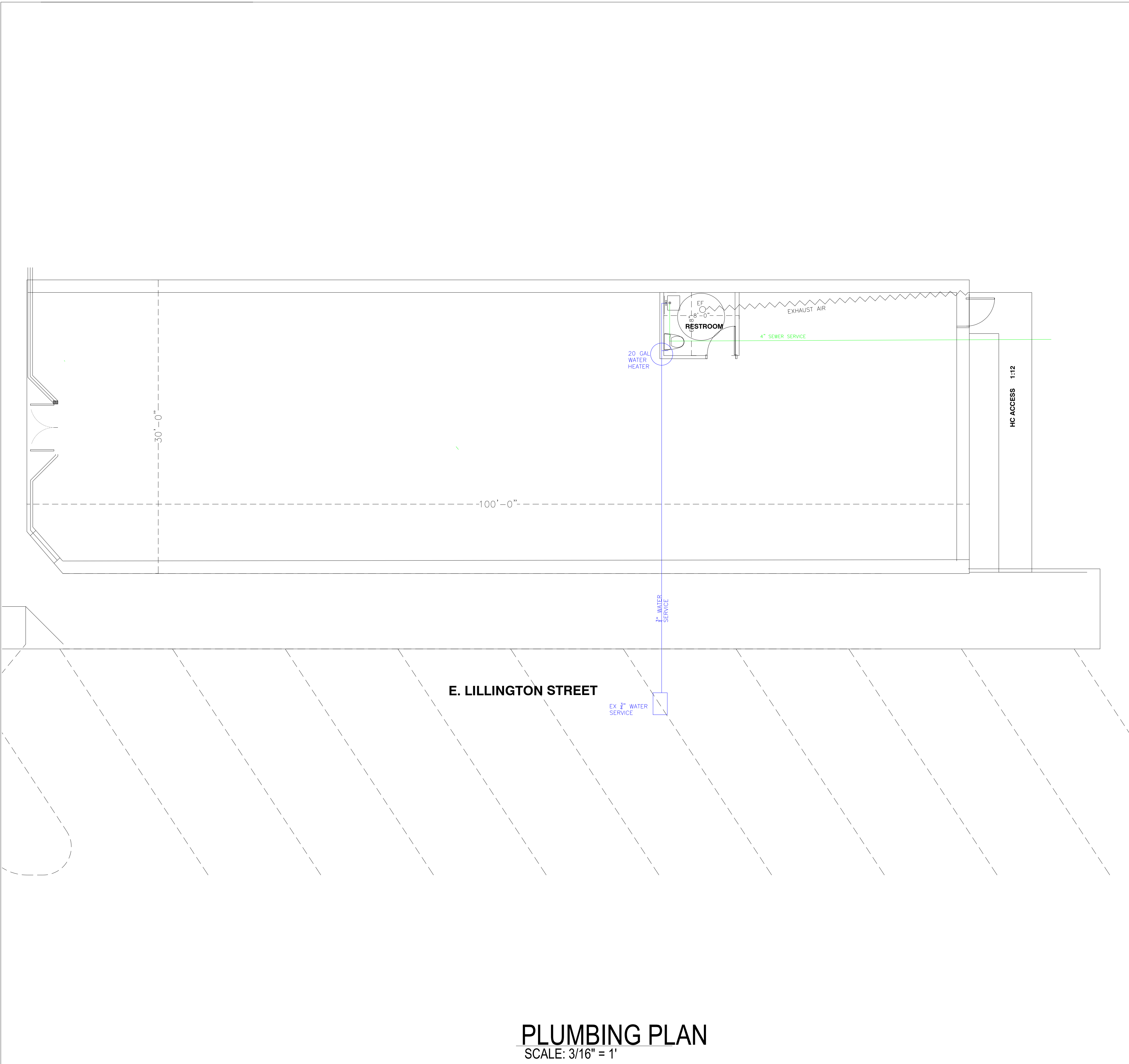
805 COVEBURY ROAD
 ANGIER, NC 27526
 PHONE: (919) 552-1600
 FAX: (919) 552-6325



ELEVATION
PLAN

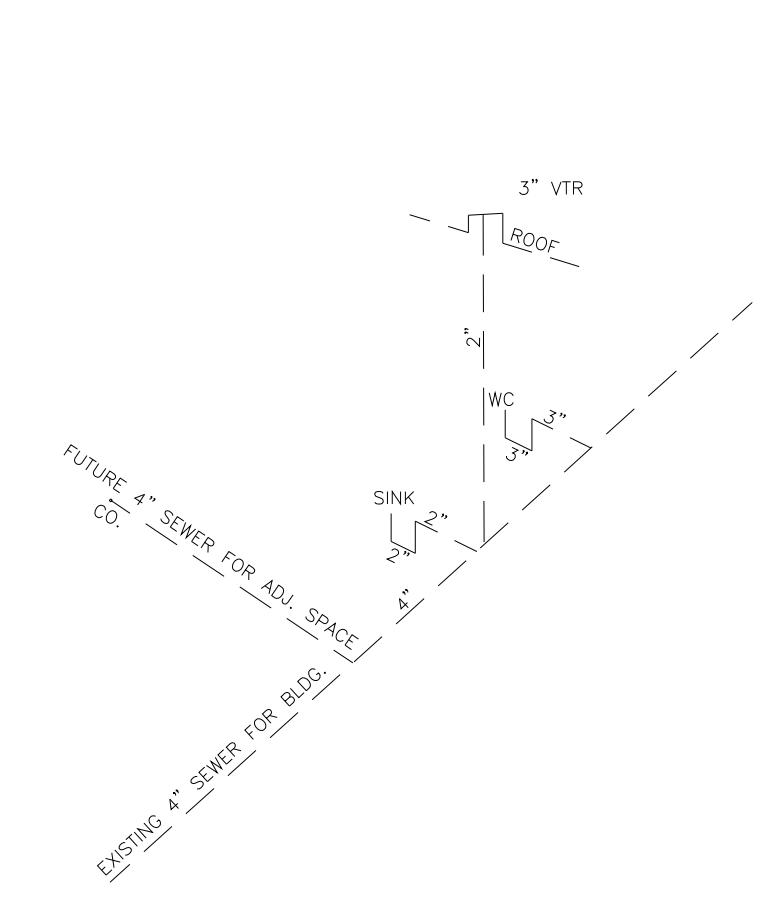
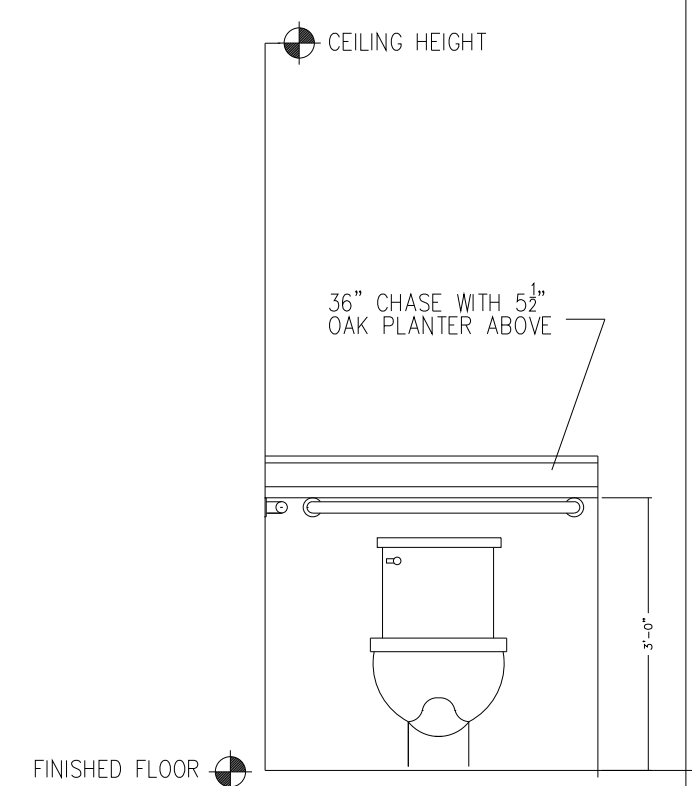
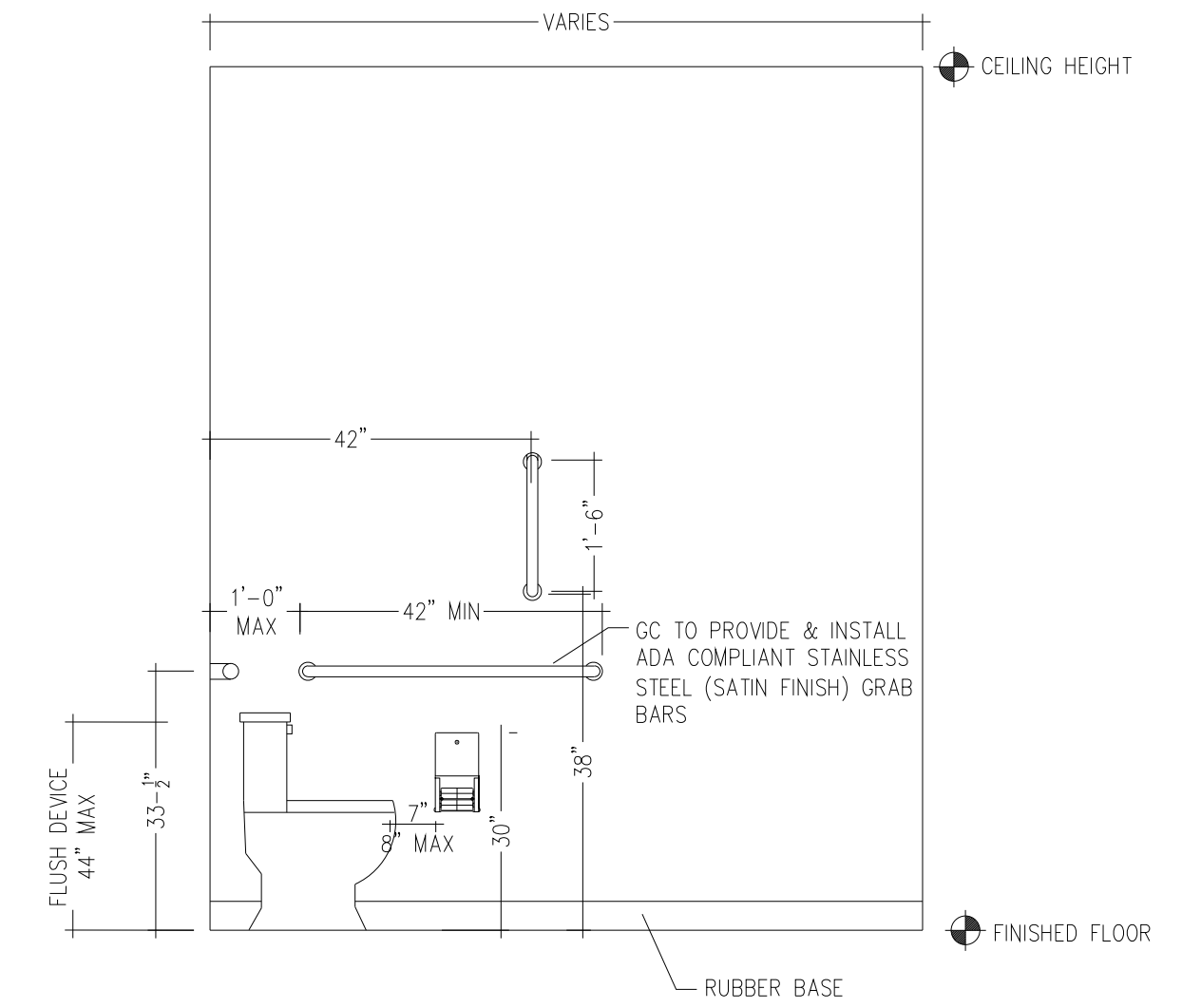
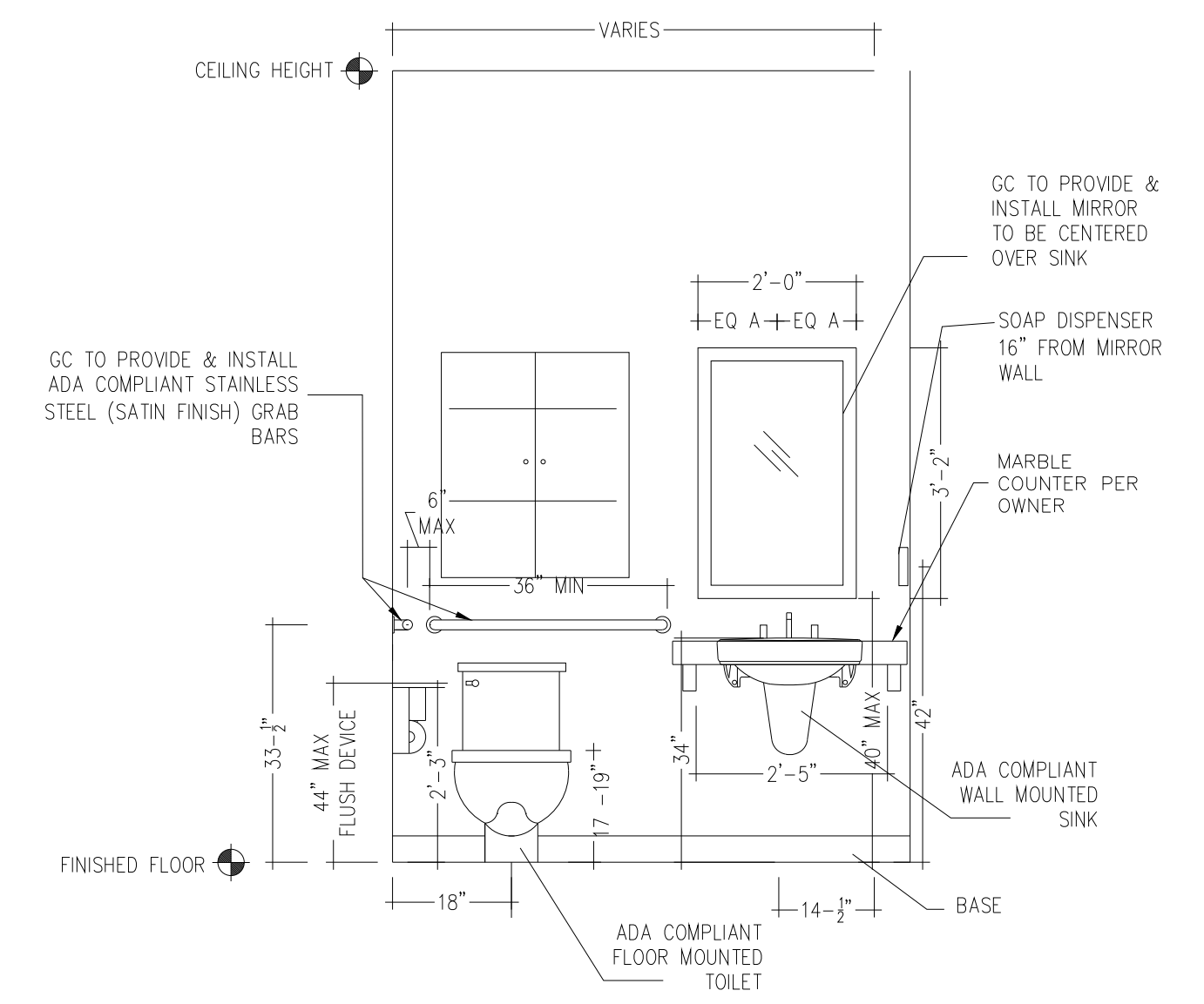
BLACK RIVER EXCHANGE
 DEVELOPED BY
 S & J WILLS
 HARNETT COUNTY N.C.
 ANGIER

DATE: 1-29-21
 SCALE: SHOWN
 DESIGNED BY: CGB
 DRAWN BY:
 SHEET: EL1-OF-1
 ELEV PLAN

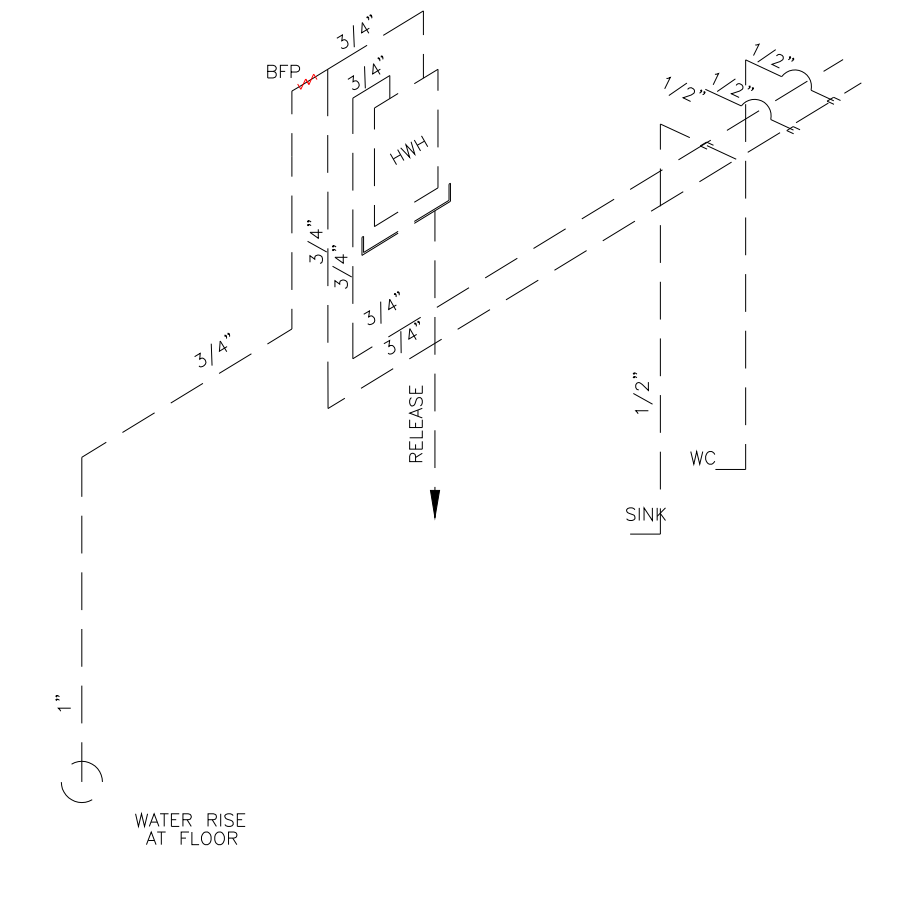


PLUMBING PLAN
SCALE: 3/16" = 1'

- GRAB BARS SHALL:**
- HAVE GRIPPING SURFACE OF 1 1/4" - 1 1/2" IN WIDTH OR OUTSIDE DIAMETER
 - 1 1/2" HAND CLEARANCE BETWEEN THE FACE OF THE BAR & THE FINISHED SURFACE OF THE WALL/PARTITION
 - BE CAPABLE OF SUPPORTING A 250 LB. LOAD APPLIED IN ANY DIRECTION ANYWHERE ALONG ITS LENGTH
 - NOT ROTATE W/ IN THEIR FITTINGS
 - BE FREE OF ANY SHARP/ ABRASIVE ELEMENTS
 - EDGES SHALL HAVE A 1/8" MIN. RADIUS

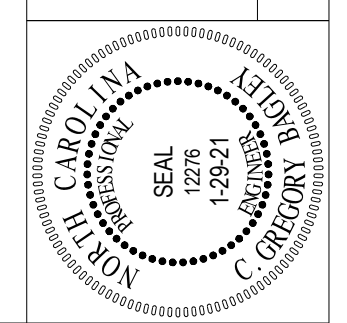


SEWER RISER DETAIL
NO SCALE

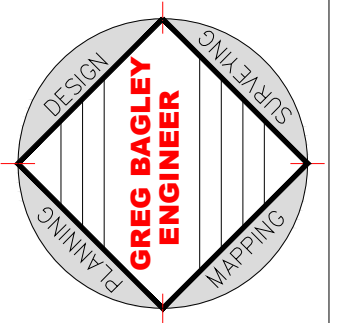


WATER RISER DETAIL
NO SCALE

| REVISIONS | BY |
|-------------------------|-----|
| 1-5-18 SECOND SUBMITTAL | CCB |
| REV PER FY COMMENTS | |
| | |
| | |
| | |



805 COKEBURY ROAD
ANGIER, NC 27526
PHONE: (919) 552-1600
FAX: (919) 552-6325



**PLUMBING
DESIGNS**

BLACK RIVER EXCHANGE
DEVELOPED BY
S & J WILLS
HARNETT COUNTY N.C.

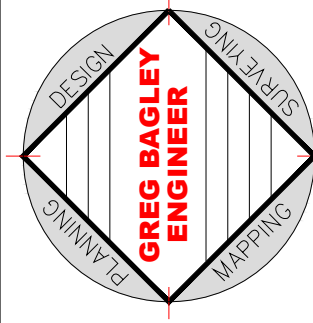
ANGIER

| | |
|-------------|---------|
| DATE | 1-29-21 |
| SCALE | SHOWN |
| DESIGNED BY | CCB |
| DRAWN BY | |

**P1-OF-1
PLUMBING**

| REVISIONS | BY |
|--|-----|
| 1-5-18 SECOND SUBMITTAL REV PER PV COMMENTS | CGB |
| | |
| | |
| | |
| | |

805 COKEBURY ROAD
 ANGLIER, NC 27526
 PHONE: (919) 552-1600
 FAX: (919) 552-6325



**MECHANICAL
DESIGNS**

BLACK RIVER EXCHANGE
 DEVELOPED BY
 S&J WILLIS
 HARNETT COUNTY N.C.

ANGIER

DATE 1-29-21
 SCALE SHOWN
 DESIGNED BY CGB
 DRAWN BY
 SHEETS
M1-OF-1
 HVAC

MECHANICAL SYSTEMS, SERVICE SYSTEMS, AND EQUIPMENT

| | |
|---------------------------------------|------------------------------|
| METHOD OF COMPLIANCE | PRESCRIPTIVE |
| THERMAL ZONE | III |
| EXTERIOR DESIGN CONDITIONS | |
| winter dry bulb | 16 F |
| summer dry bulb | 92 F |
| INTERIOR DESIGN CONDITIONS | |
| winter dry bulb | 70 F |
| summer dry bulb | 74 F |
| relative humidity | 50 % |
| BUILDING HEATING LOAD | 43,300 BTU |
| BUILDING COOLING LOAD | 44,009 BTU |
| MECHANICAL SPACE CONDITIONING SYSTEMS | |
| Unitary | |
| description of unit | DX COOLING/HEAT |
| heating efficiency | 13 SEER |
| cooling efficiency | 13 SEER |
| heating output of units | 44,500 BTU |
| cooling output of units | 47,000 BTU |
| LIST EQUIPMENT EFFICIENCIES | SEE SCHEDULE SEE SCHEDULE |

OUTSIDE AIR CALCULATION

| | | | | | |
|---|-------------|------------|----|-----------|--------------------------------------|
| 5 | EMPLOYEES = | CFM/PERSON | 20 | TOTAL CFM | 100 |
| 5 | CLIENTS = | | 5 | | 25 |
| | | | | | 125 |
| | | | | | USE 4" FLEX FOR OUTSIDE DUCT TO UNIT |

TOTAL CFM PRODUCED = 2000
 (10) 8" VENTS
 10 VENTS @ 220 CFM / VENT
 = 2200 CFM OUTPUT
 STATIC PRESSURE = 0.1in-wg

HVAC EQUIPMENT NOTES

- USE 2 14 SEER UNITS SPLIT SYSTEM
- UNITS TO BE ON TOP OF BUILDING
- 3/4" CONDENSATE LINE WITH P-TRAP ROUTED TO OUTSIDE AND FASTENED TO WALL.
- OUTSIDE AIR INTAKE TO BE ROUTED UP WALL FRAMING AND TERMINATED ABOVE ROOF.
- INTAKE MUST BE A MINIMUM OF 10' FROM OUTLET OR EXHAUST.
- MOUNT THERMOSTAT ON WALL 54" GAFF. AS PER ADA REQUIREMENTS
- BATHROOM FANS TO BE 125 CFM WITH 4" DUCT.
- DISCHARGE EXHAUST OUTSIDE OF BUILDING.
- USE 4" FLEX FOR OUTSIDE AIR INTAKE DUCT

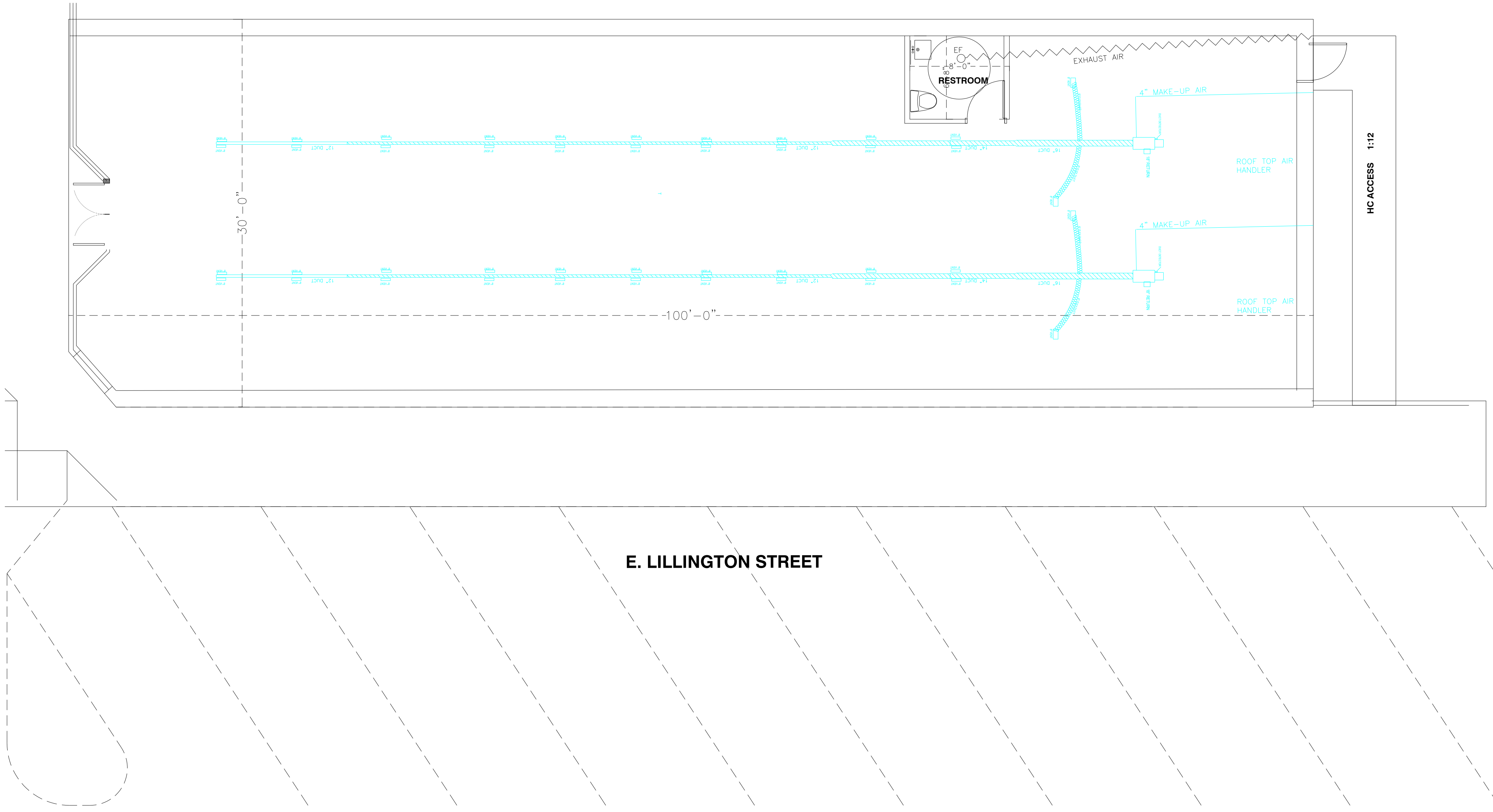
GENERAL HVAC NOTES

- PROVIDE COMPLETE UNIT
- MIN REQUIREMENTS TO BE MET AS NOTED ABOVE
- RELOCATE THERMOSTATS AS NEEDED FOR PROPER EFFECT
- FANS SHALL RUN CONTINUOUSLY DURING OCCUPANCY TO PROVIDE OUTSIDE AIR.
- DUCT DETECTORS REQUIRED ON ALL UNITS
- REMOTE ALARM INDICATOR DEVICES (RAIDS) REQUIRED FOR EACH UNIT AND TO BE INSTALLED NEAR UNIT NO MORE THAN 72" GAFF

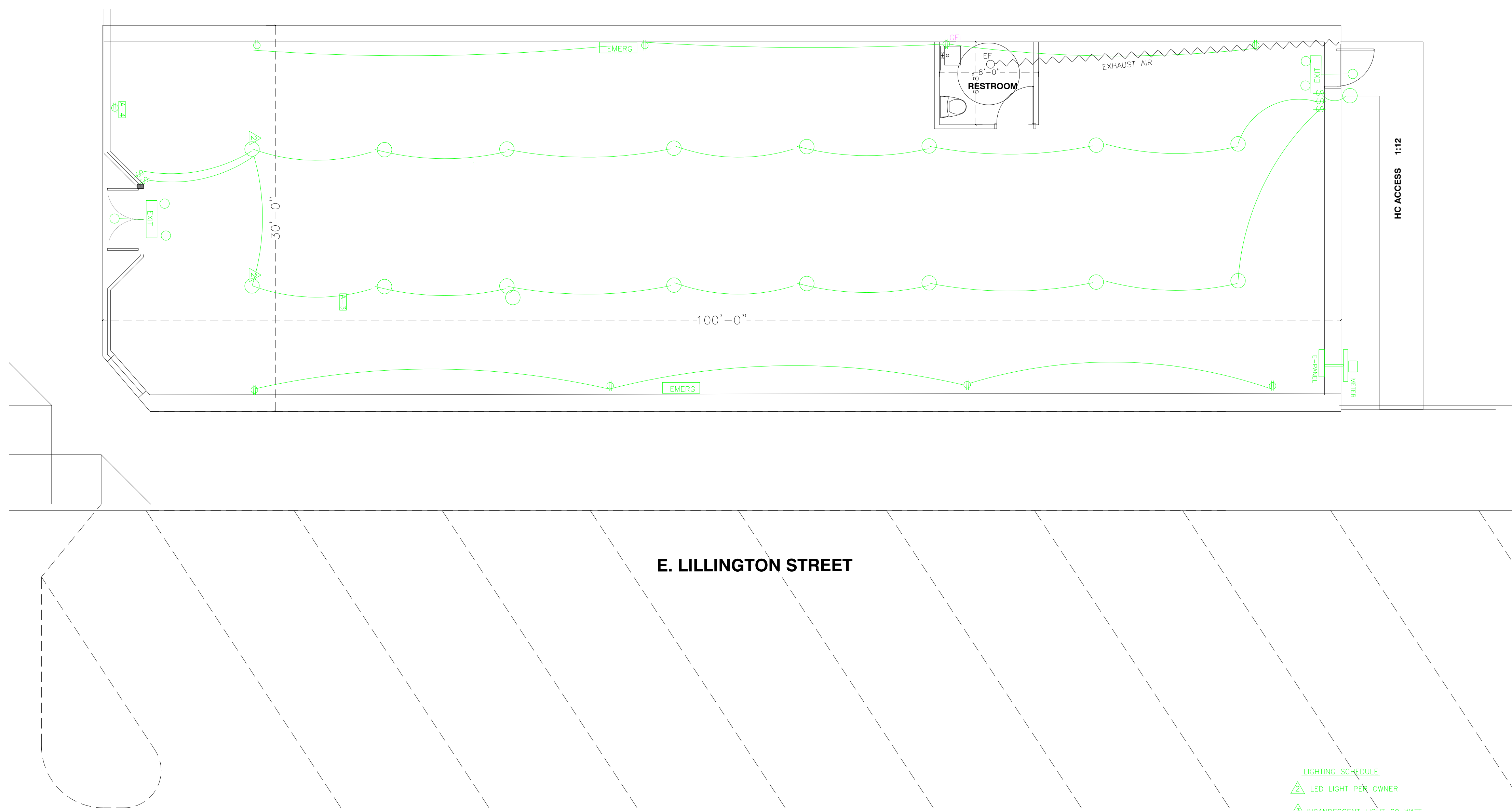
HVAC EQUIPMENT SCHEDULE

2-5 TON UNITS ON ROOF

| EXHAUST FAN SCHEDULE | |
|----------------------|--|
| BATHROOM FANS = | NUTONE LPN 80 OR EQUAL MEETS ASHRAE 62.2 |



MECHANICAL PLAN
 SCALE: 1/4" = 1'



E. LILLINGTON STREET

- LIGHTING SCHEDULE
- ▲ LED LIGHT PER OWNER
 - ▲ INCANDESCENT LIGHT 60 WATT
 - ▲ 70 CFM EXHAUST FAN

ELECTRICAL

200 AMP SERVICE
VOLTAGE 220/120V 1 PHASE : 4 WIRE

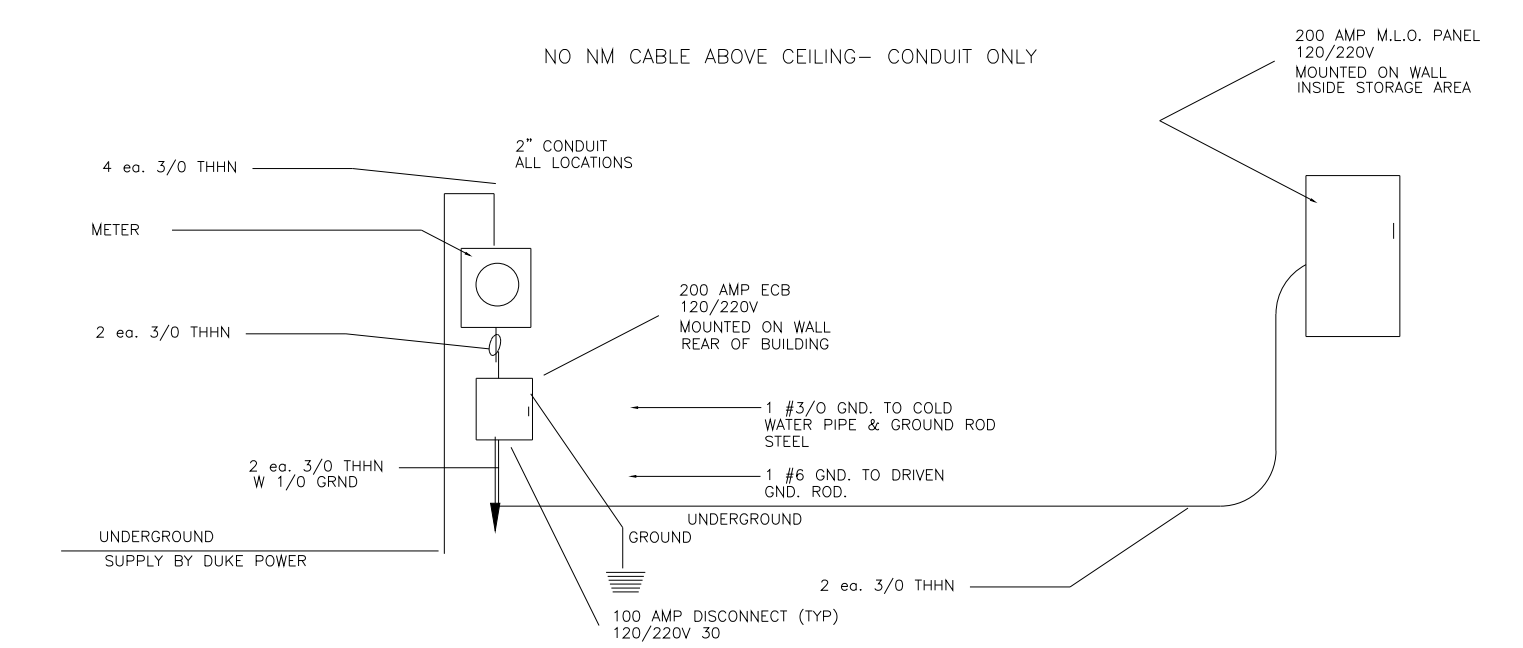
| CIR | AMPS TRIP | DEVICES | BRANCH CIRCUIT | | | | | DESCRIPTION | AMPS TRIP | SIZE | | |
|----------------------|-----------|---------|----------------|------|------|------|------|-------------|--------------|------|----|----|
| | | | PH A | PH B | PH C | PH 4 | NEUT | | | | | |
| 12 | 20 | 1 | | | | | | 2 | LIGHTING | 1 | 20 | 12 |
| 10 | 20 | 1 | | | | | | 4 | RECEPT. SIGN | 1 | 20 | 12 |
| 10 | 20 | 1 | | | | | | 9 | RECEPT | 1 | 20 | 12 |
| 12 | 1 | 7 | | | | | | 8 | | 1 | 10 | 12 |
| 12 | 1 | 9 | | | | | | 10 | | 1 | 10 | 12 |
| 12 | 1 | 11 | | | | | | 12 | | 1 | 10 | 12 |
| 12 | 1 | 13 | | | | | | 14 | | 1 | 10 | 12 |
| 12 | 1 | 15 | | | | | | 16 | | 1 | 10 | 12 |
| 12 | 1 | 17 | | | | | | 18 | | 1 | 10 | 12 |
| 12 | 1 | 19 | | | | | | 20 | AIR HANDLER | 1 | 40 | 12 |
| 10 | 40 | 2 | | | | | | 22 | AIR HANDLER | 2 | 40 | 10 |
| 12 | 40 | 2 | | | | | | 24 | | 1 | 10 | 10 |
| 12 | 1 | 25 | | | | | | 26 | | 1 | 10 | 10 |
| 12 | 1 | 27 | | | | | | 28 | | 1 | 10 | 10 |
| 12 | 1 | 29 | | | | | | 30 | | 1 | 10 | 10 |
| 12 | 1 | 31 | | | | | | 32 | | 1 | 10 | 10 |
| 12 | 1 | 33 | | | | | | 34 | | 1 | 10 | 10 |
| 12 | 1 | 35 | | | | | | 36 | | 1 | 10 | 10 |
| 12 | 1 | 37 | | | | | | 38 | | 1 | 10 | 10 |
| TOTAL | | | 22 | 7 | 40 | 10 | 39 | 10 | | | | |
| TOTAL CONNECTED AMPS | | | A -32 | B-46 | C-50 | | | | | | | |

LOAD CALCS.

| LOAD | CONN (KVA) | DEMAND FACTOR | DEMAND LOAD |
|-------------|------------|------------------------|-------------|
| LIGHTING | 5 | 125% **** | 6.25 |
| RECEPT | 8.4 | 1ST 10 KW-100% REM-50% | 8.4 |
| HVAC | 42.5 | 100% | 42.5 |
| SIGN | 1.2 | 125% **** | 1.5 |
| TANKLESS WH | 30 | 125% | 37.5 |
| TOTAL | 87.1 | | 96.4 |

LIGHTING LOAD CALCS.

| AREA TYPE | MIN WATTS | SQ FT | REQUIRED | PROVIDED |
|-----------|-----------|-------|----------|----------|
| BATHROOM | 89 | 485 | 480 | 500 |
| OFFICE | 1.4 | 725 | 1015 | 900 |
| TOTAL | | 1210 | 1495 | 1480 |



ELECTRICAL DIAGRAM

NOT TO SCALE

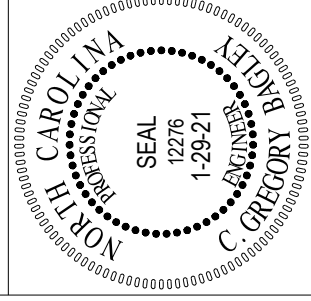
Lighting Requirements:
 RETAIL .99x 900 Sq ft = 899 watts
 BATH: 1.40x 84 Sq ft =118 watts

Provided:
 RETAIL: 1000 watts
 BATH: 200 watts

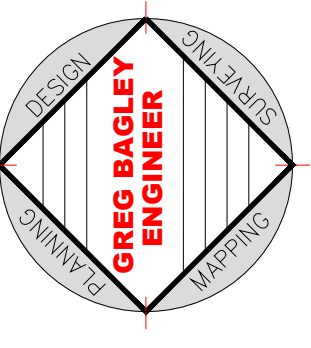
ELECTRICAL PLAN
SCALE: 3/16" = 1'

REVISIONS

| NO. | DESCRIPTION | DATE | BY |
|--------|---------------------|------|-----|
| 1-5-18 | SECOND SUBMITTAL | | CGB |
| | REV PER FV COMMENTS | | |



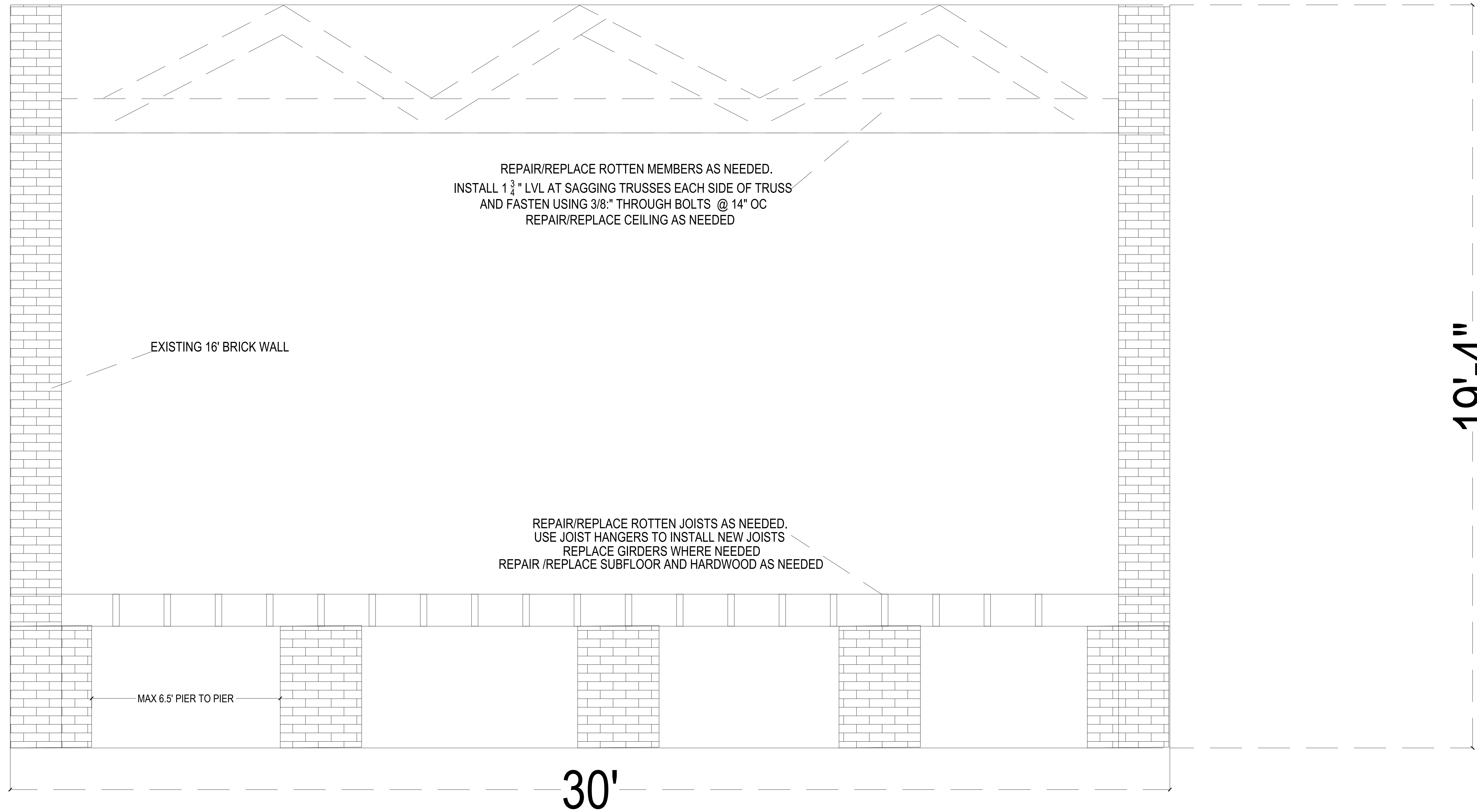
805 COKEBURY ROAD
 ANGLER, NC 27526
 PHONE: (919) 552-1600
 FAX: (919) 552-6325



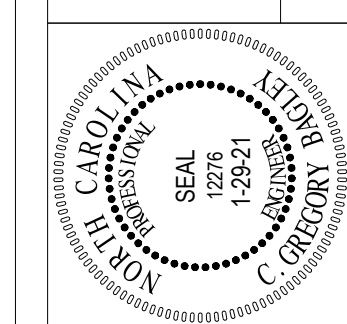
ELECTRICAL DESIGNS

BLACK RIVER EXCHANGE
 DEVELOPED BY
S & J WILLS
 HARNETT COUNTY N.C.

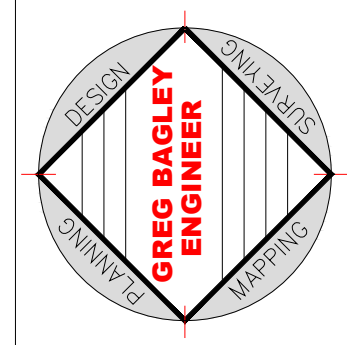
DATE 1-29-21
 SCALE SHOWN
 DESIGNED BY CGB
 DRAWN BY
 SHEET **E1-OF-1**
ELECTRICAL



| REVISIONS | BY |
|--|-----|
| 1-5-18 SECOND SUBMITTAL REV PER FV COMMENTS | CGB |
| | |
| | |
| | |
| | |



805 COVESBURY ROAD
 ANGIER, NC 27526
 PHONE: (919) 552-1600
 FAX: (919) 552-6325



**STRUCTURAL
 PLAN**

BLACK RIVER EXCHANGE
 DEVELOPED BY
 S & J WILLS
 HARNETT COUNTY N.C.

DATE: 1-29-21
 SCALE: SHOWN
 DESIGNED BY: CGB
 DRAWN BY:

SHEET
STR1-OF-1
 STRUCPLAN

STRUCTURAL
 SCALE: 1/4" = 1'