

Drawing File: H:\2020\RoyWest\Briggs\REV1\REV1 - G sheets-Harnett-Health-26MAR2020.dwg
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2018 NORTH CAROLINA BUILDING CODE SUMMARY: APPENDIX B

Name of Project: ALTERATION LEVEL II OF HARNETT HEALTH
Address: 7 E DUNCAN STREET, LILLINGTON, NORTH CAROLINA
Proposed Use: BUSINESS
Owner or Authorized Agent: HECTOR RAY
City/County: LILLINGTON HARNETT
Code Enforcement Jurisdiction: LILLINGTON HARNETT NORTH CAROLINA

CONTACT: KELLY J. DODSON

DESIGNER	FIRM	NAME	LICENSE #	TELEPHONE #	E-MAIL
Architectural	N/A	N/A	N/A	N/A	N/A
Civil	N/A	N/A	N/A	N/A	N/A
Electrical	JCE	DOUGLAS L. JENKINS	NC PE 28803	(910) 822-1724	buddy@jenkince.pro
Fire Alarm	N/A	N/A	N/A	N/A	N/A
Plumbing	JCE	DOUGLAS L. JENKINS	NC PE 28803	(910) 822-1724	buddy@jenkince.pro
Mechanical	JCE	DOUGLAS L. JENKINS	NC PE 28803	(910) 822-1724	buddy@jenkince.pro
Sprinkler-Standpipe	N/A	N/A	N/A	N/A	N/A
Structural	N/A	N/A	N/A	N/A	N/A
INTERIOR WALLS	N/A	N/A	N/A	N/A	N/A
Retaining Walls >5' High	N/A	N/A	N/A	N/A	N/A
Building	JCE	KELLY J. DODSON	NC PE 42009	(910) 822-1724	kelly@jenkince.pro

2018 NORTH CAROLINA BUILDING CODE: New Building Shell / Core First Time Interior Completions
 Addition Phased Construction - Shell Core

2018 NORTH CAROLINA EXISTING BUILDING CODE: Prescriptive Alteration Level I Historic Property
 Repair Alteration Level II Change of Use
 Chapter 14 Alteration Level III

CONSTRUCTED: (date) 1999 CURRENT USE (S) (Ch. 3): BUSINESS
RENOVATED: (date) PROPOSED USE (S) (Ch. 3): BUSINESS

OCCUPANCY RISK CATEGORY (Table 1604.5): Current: II Proposed: II

BASIC BUILDING DATA

Construction Type: I-A II-A III-A IV V-A
 I-B II-B III-B V-B
Sprinklers: No Partial NFPA 13 NFPA 13R NFPA 13D
Standpipes: No Class I II III Wet Dry
Primary Fire District: No Yes (APPENDIX D) Flood Hazard Area: No Yes
Special Inspections Required: No Yes

GROSS BUILDING AREA TABLE

FLOOR	EXISTING (sq ft)	NEW (sq ft)	SUBTOTAL
BUILDING	6,400	NONE	6,400
RENOVATED AREA	2,100	NONE	2,100

ALLOWABLE AREA

Primary Occupancy Classification(s):
Assembly A-1 A-2 A-3 A-4 A-5
Business
Educational
Factory F-1 Moderate F-2 Low
Hazardous H-1 Detonate H-2 Deflagrate H-3 Combust H-4 Health H-5 HPM
Institutional I-1 I-2 I-3 I-4
I-1 Condition 1 2
I-2 Condition 1 2
I-3 Condition 1 2
Mercantile
Residential R-1 R-2 R-3 R-4
Storage S-1 Moderate S-2 Low High-piled
 Parking Garage Open Enclosed Repair Garage
Utility and Miscellaneous
Accessory Occupancy Classification(s):
Incidental Uses (Table 509): NONE
This separation is not exempt as a Non-separated Use (see exceptions).
Special Uses (Chapter 4): 402 403 404 405 406 407 408 409 410 411 412 413
 414 415 416 417 418 419 420 421 422 423 424 425
 426 427 428 429 430
Special Provisions (Chapter 5): 510.2 510.3 510.4 510.5 510.6 510.7 510.8 510.9
Mixed Occupancy: No Yes Separation: hr. Exception:
 Non-separated Use (508.3)
 Separated Use (508.4) --See below for area calculations for each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area of each use shall not exceed 1.
Separated Use Formula 508.4.2: $\frac{\text{Actual Area of Occupancy A}}{\text{Allowable Area of Occupancy A}} + \frac{\text{Actual Area of Occupancy B}}{\text{Allowable Area of Occupancy B}} \leq 1$

STORY NUMBER	DESCRIPTION AND USE	(A) BLDG AREA PER STORY (ACTUAL)	(B) TABLE 506.2 ⁴ AREA	(C) AREA FOR FRONTAGE INCREASE ⁵	(D) ALLOWABLE AREA PER STORY OR UNLIMITED ⁵⁻³
1	BUSINESS	6,400	23,000	N/A	23,000

1 Frontage area increases from Section 506.3 are computed thus:
a. Perimeter which fronts a public way or open space having 20 feet minimum width = (F)
b. Total Building Perimeter = (P)
c. Ratio (F/P) = (F/P)
d. W = Minimum width (weighted average) of public way = (W) where $W = \frac{L_1 X_1 W_1 + L_2 X_2 W_2}{L_1 X_1 + L_2 X_2}$ (Equation 5-4)
e. Percent of frontage increase = $\frac{F}{P} \times 100 \leq 0.25$ (Equation 5-5)

FRONTAGE INCREASE WORKSHEET FOR CALCULATIONS:

EXTERIOR WALL	(F) OPEN LENGTH (feet)	(P) TOTAL LENGTH (feet)	(W) (weighted average) WIDTH OF PUBLIC WAY OR OPEN SPACE (feet)	(%) FROM CALC. ABOVE	(B) FROM TABLE ABOVE	AREA INCREASE FOR COLUMN (C) ABOVE (% * TABLE AREA)
North						
South						
East						
West						
TOTAL						
EXAMPLE	75	100	25	42	23,500	(42*23,500 = 9,870)

2 Unlimited area applicable under conditions of Sections 507
3 Maximum Building Area = total number of stories in the building x D (maximum 3 stories) (Section 506.2).
4 The maximum area of open parking garages must comply with Table 406.5.4. The maximum area of air traffic control towers must comply with Table 412.3.1.
5 Frontage increase is based on the un-sprinklered area value in Table 506.2.

BUILDING CODE SUMMARY (continued)

ALLOWABLE HEIGHT

	ALLOWABLE	SHOWN ON PLANS	CODE REFERENCE
Building Height in Feet (Table 504.3)	55	17'	--
Building Height in Stories (Table 504.4)	3	1	--

1. Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4.

FIRE PROTECTION REQUIREMENTS

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (feet)	RATING ** (TABLE 601) RECD	PROVIDED (w/REDUCTION)	DETAIL # AND SHEET #	DESIGN # FOR RATED ASSEMBLY	SHEET # FOR RATED PENETRATION	SHEET # FOR RATED JOINTS
Structural Frame, including columns, girders, trusses		EXISTING BUILDING					
Bearing Walls							
Exterior							
North							
East							
West							
South							
Interior							
Nonbearing walls and partitions							
Exterior walls							
North							
East							
West							
South							
Interior Non-Bearing Walls							
Floor construction including supporting beams and joists							
Floor Ceiling Assembly							
Columns Supporting Floors							
Roof construction including supporting beams and joists							
Roof Ceiling Assembly							
Columns Supporting Roof							
Shaft Enclosures - Exit							
Shaft Enclosures - Other							
Corridor Separation							
Occupancy / Fire Barrier Separation							
Party/Fire Wall Separation							
Smoke Barrier Separation							
Smoke Partition							
OWNER/Dwelling Unit/ Sleeping Unit Separation							
Incidental Use Separation							

* Indicate section number permitting reduction

PERCENTAGE OF WALL OPENING CALCULATIONS

EXTERIOR WALL	FIRE SEPARATION DISTANCE (feet) FROM PROPERTY LINE	DEGREE OF OPENINGS PROTECTION (TABLE 705.B)	ALLOWABLE AREA (%)	ACTUAL SHOWN ON PLANS (%)
North				
South				
East				
West				

LIFE SAFETY SYSTEM REQUIREMENTS

Emergency Lighting: Yes No
Exit Signs: Yes No
Fire Alarm: Yes No
Smoke Detection Systems: Yes No Partial Duct Detectors
Carbon Monoxide Detection: Yes No
Life Safety Systems Generator: Yes No

LIFE SAFETY PLAN REQUIREMENTS

Life Safety Plan Sheet #: LS
 Fire and/or smoke rated wall locations (Chapter 7)
 Assumed and real property line locations (if not on the site plan)
 Exterior wall opening area with respect to distance to assumed property lines (705.B)
 Occupancy Use for each area as it relates to occupant load calculation (Table 1004.1.2)
 Occupant loads for each area
 Exit access travel distances (1017)
 Common path of travel distances [1006.2.1 & 1006.3.2(1)]
 Dead end lengths (1020.4)
 Clear exit widths for each exit door
 Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3)
 Actual occupant load for each exit door
 A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation
 Location of doors with panic hardware (1010.1.10)
 Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)
 Location of doors with electromagnetic egress locks (1010.1.9.9)
 Location of doors equipped with hold-open devices
 Location of emergency escape windows (1030)
 The square footage of each fire area (903)
 The square footage of each smoke compartment for Occupancy Classification I-II (407.5)
 Note any code exceptions or table notes that may have been utilized regarding the items above

ACCESSIBLE DWELLING UNITS (SECTION 1107)

TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE A UNITS REQUIRED	TYPE A UNITS PROVIDED	TYPE B UNITS REQUIRED	TYPE B UNITS PROVIDED	TOTAL ACCESSIBLE UNITS PROVIDED
NONE REQUIRED							

ACCESSIBLE PARKING (SECTION 1106)

LOT OR PARKING AREA	TOTAL # OF PARKING SPACES	# OF ACCESSIBLE SPACES PROVIDED			TOTAL # ACCESSIBLE PROVIDED
		REQUIRED	PROVIDED	REGULAR WITH 5' ACCESS AISLE	
EXISTING					
NEW					
TOTAL					

BUILDING CODE SUMMARY (continued)

PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1)

USE	WATER CLOSETS			LAVATORIES	SHOWERS/TUBS	DRINKING FOUNTAINS	SERVICE SINK
	MALE	FEMALE	UNISEX				
EXISTING			7		7	1	1
INSTALL NEW FIXTURES			1		1	1	1
TOTAL			8		8	1	1

SPECIAL APPROVALS:

Special approval: (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, ICC, etc., describe below)

ENERGY SUMMARY

ENERGY REQUIREMENTS: NOT REQUIRED

The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.

Existing building envelope complies with code: (If checked, the remainder of this section is not applicable.)

Exempt Building: Provide code or statutory reference:

Climate Zone: 3A 4A 5A

Method of Compliance:

Energy Code: Performance Prescriptive

ASHRAE 90.1: Performance Prescriptive

Other: Performance (specify source)

THERMAL ENVELOPE: (Prescriptive method only)

Roof/Ceiling Assembly (each assembly)

Description of assembly:

U-Value of total assembly:

R-Value of insulation:

Skylights in each assembly:

U-Value of skylight:

Total square footage of skylights in each assembly:

Exterior Walls (each assembly)

Description of assembly:

U-Value of total assembly:

R-Value of insulation:

Openings (windows or doors with glazing)

U-Value of assembly:

Solar heat gain coefficient:

Projection factor:

Door R-Values:

Walls below grade (each assembly)

Description of assembly:

U-Value of total assembly:

R-Value of insulation:

Floors over unconditioned space (each assembly)

Description of assembly:

U-Value of total assembly:

R-Value of insulation:

Floors slab on grade

Description of assembly:

U-Value of total assembly:

R-Value of insulation:

Horizontal/vertical requirement:

slab heated:

MECHANICAL SUMMARY (SEE DRAWING SHEET N/A)

ELECTRICAL SUMMARY (SEE DRAWING SHEET N/A)

TOWN OF LILLINGTON
BUILDING CODE SUMMARY
for:
ALTERATION LEVEL II for:



7 E DUNCAN STREET
LILLINGTON, NORTH CAROLINA, NC 27546

11:25 MAR 2020: TOWN OF LILLINGTON REVIEW COMMENTS



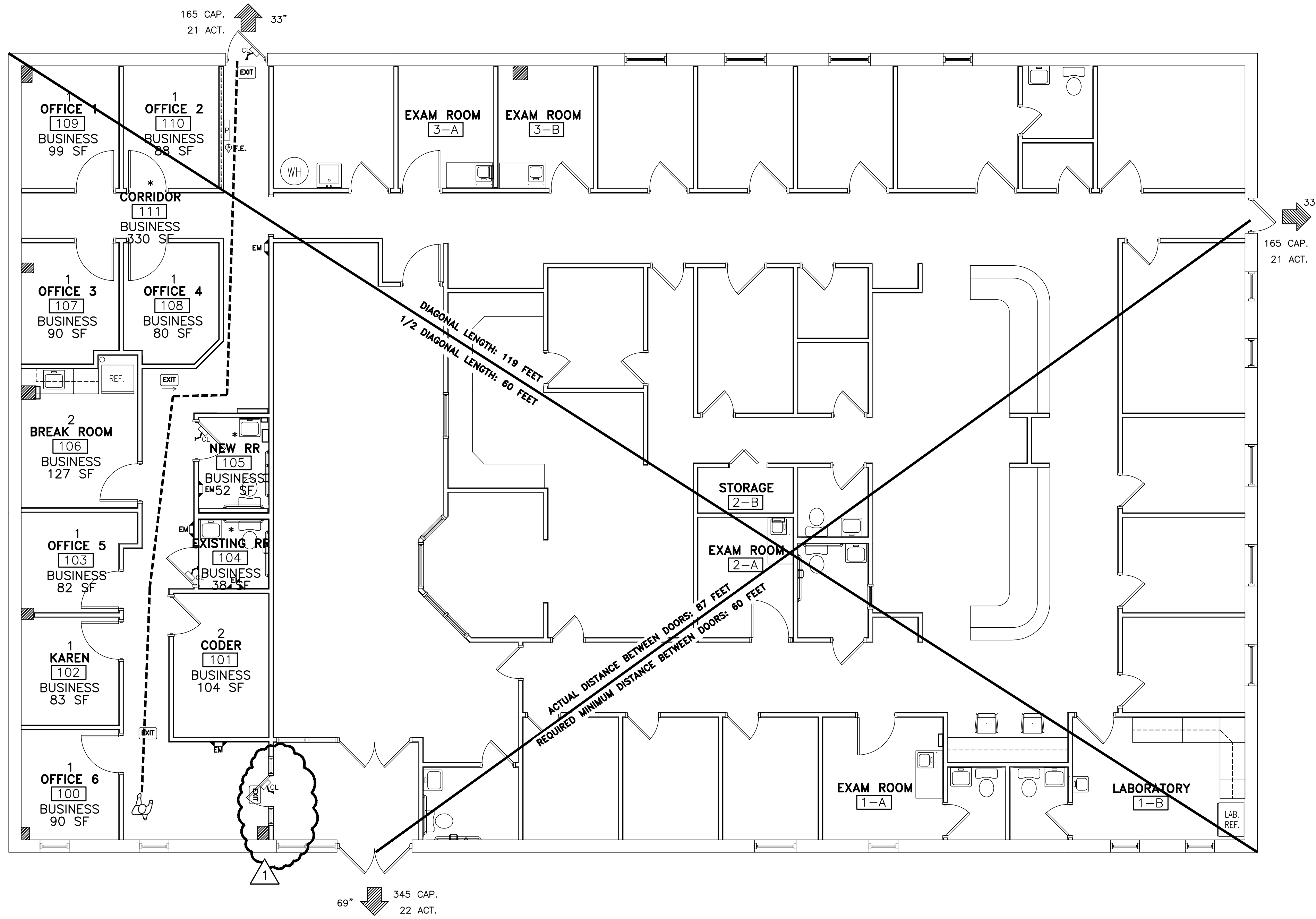
DESIGNED / CHECKED BY: KJD
DRAWN BY: BT
PROJECT #: 2020-01-12
DATE: 27 MAR 2020

FINAL DRAWING FOR REVIEW PURPOSES ONLY
PRELIMINARY FOR DESIGN DEVELOPMENT ONLY
FINAL DRAWING FOR CONSTRUCTION
OWNER/TEENANT: HARNETT HEALTH
CONTRACTOR/BUILDER: RAYWEST DESIGN BUILD
2818 REDFORD ROAD, SUITE 300 FAYETTEVILLE, NC 28503



PROJECT: ALTERATION - LEVEL 2 OF HARNETT HEALTH
7 E DUNCAN STREET, LILLINGTON, NORTH CAROLINA 27546
SHEET: BUILDING CODE SUMMARY





1 LS LIFE SAFETY - EGRESS PLAN
 SCALE: 3/16" = 1'-0"

SYMBOL	DESCRIPTION
F.E. Φ	ABC FIRE EXTINGUISHER SUGGESTED LOCATION
--- →	GREATEST TRAVEL DISTANCE
33"	EXIT WIDTH, 36" - 3 = 33" CLEAR WIDTH.
165 CAP. 22 ACT.	EXIT CAPACITY (NUMBER OF PERSONS) ACTUAL OCCUPANT LOAD FOR EXIT DOOR
EXIT	EXIT SIGN
36"	AISLE WIDTH WHERE SHOWN
EXIT SIGN WITH EMERGENCY LIGHTING	EXIT SIGN WITH EMERGENCY LIGHTING
ROOM LABEL	DESCRIPTION
10 RETAIL	OCCUPANT TOTAL ROOM NAME
1	ROOM NUMBER
MERCANTILE 100 SF	FUNCTION TYPE SPACE AREA

RENOVATED AREAS						
OCCUPANCY CLASSIFICATION per TABLE 1004.5						
SPACE NUMBER	CURRENT SPACE USE	FUNCTION OF SPACE	OCCUPANT LOAD FACTOR	ROOM AREA (GROSS SF)	CALCULATED EGRESS OCCUPANCY TOTAL	ACTUAL BUILDING OCCUPANT TOTAL
100	OFFICE 6	BUSINESS	100 GROSS	90	1	1
101	CODER	BUSINESS	100 GROSS	104	2	2
102	KAREN'S OFFICE	BUSINESS	100 GROSS	83	1	1
103	OFFICE 5	BUSINESS	100 GROSS	100	1	1
104	EXISTING RESTROOM	BUSINESS	100 GROSS	38	*	*
105	NEW RESTROOM	BUSINESS	100 GROSS	52	*	*
106	BREAK ROOM	BUSINESS	100 GROSS	115	2	2
107	OFFICE 3	BUSINESS	100 GROSS	90	1	1
108	OFFICE 4	BUSINESS	100 GROSS	80	1	1
109	OFFICE 1	BUSINESS	100 GROSS	99	1	1
110	OFFICE 2	BUSINESS	100 GROSS	88	1	1
111	CORRIDOR	BUSINESS	100 GROSS	418	*	*
THE OCCUPANT COUNT FOR TENANT SPACE & EGRESS CAPACITY				1,357 GROSS	11	

HARNETT HEALTH:
 GROSS SQUARE FOOTAGE OF BUILDING 6,400 SQ. FT.
 TYPE OF CONSTRUCTION: II-B
 SPACE IS TO BE USED AS A BUSINESS (B)

OCCUPANT LOAD FOR CALCULATING EGRESS CAPACITY:
 SPACE OCCUPANCY BY FUNCTION OF SPACE
 BUSINESS: 6,400 GSF / 100 = 64
 TOTAL OCCUPANCY = 64 (NO CHANGE OF OCCUPANCY IN THIS RENOVATION)
 (SEE TABLE ON THIS SHEET FOR INDIVIDUAL SPACE TOTALS)
 TOTAL OCCUPANT LOAD IN RENOVATED AREA = 11 PERSONS

GREATEST TRAVEL DISTANCE SHOWN: 73 FEET. (PER 1017)
 MAXIMUM ALLOWABLE TRAVEL DISTANCE: 200 FEET (PER TABLE 1017.2)
 THE COMMON PATH OF TRAVEL IS LESS THAN 75 FEET. (PER 1028.8)
 THERE ARE NO DEAD END CORRIDORS OVER 20 FEET. (PER 1018.4)

BUILDING EXIT WIDTH CALCULATIONS:
 64 PERSONS * 0.27/OCCUPANT = 12.8" REQUIRED, 132 INCHES TOTAL PROVIDED. (PER 1005.1)
 MIN. NO. OF EXITS REQUIRED: TWO (2) (PER TABLES 1006.1 AND 1006.3.2)
 NUMBER OF EXITS PROVIDED: THREE (3) ACCESSIBLE
 DIAGONAL LENGTH OF BUILDING 119 FEET
 MINIMUM SEPARATION DISTANCE
 REQUIRED IS 1/2 OF DIAGONAL LENGTH = 119 / 2 = 60 FEET
 SEPARATION DISTANCE BETWEEN DOOR IS 87 FEET
 EGRESS DOORS DO NOT REQUIRE PANIC HARDWARE. (PER 1010.1.10)
 DOORS DO NOT HAVE DELAYED EGRESS LOCKS (PER 1010.1.9.7)
 DOORS DO NOT HAVE ELECTROMAGNETIC EGRESS LOCKS (PER 1010.1.9.9)
 DOORS DO NOT HAVE HOLD OPEN DEVICES.
 THERE ARE NO EMERGENCY ESCAPE WINDOWS (PER 1030)
 THE FIRE AREA SQUARE FOOTAGE IS: 6,400 SQUARE FEET (PER 902)
 THERE ARE NO SLEEPING AREAS (SMOKE COMPARTMENTS) (PER 407.2)
 THIS BUILDING IS NOT PROTECTED BY FIRE SPRINKLERS
 THERE IS NO FIRE ALARM SYSTEM.
 LOCK BOX FOR KEY IS INSTALLED AT FRONT ENTRANCE. (AS REQ'D)
 DUCT DETECTORS ARE INSTALLED IN AHU. AN AUDIBLE AND VISIBLE DEVICE IS PROVIDED FOR UNIT. (AS REQ'D)
 NO. OF FIRE EXTINGUISHERS PROVIDED: THREE (3) FIRE EXTINGUISHER:
 THREE (3) ABC FIRE EXTINGUISHERS
 FIRE EXTINGUISHER FOR CLASS A FIRE HAZARDS REQUIRE NO GREATER THAN 75 FT
 OF MAXIMUM TRAVEL DISTANCE IN LOW, ORDINARY AND EXTRA HAZARD OCCUPANCY.
 THE CODE REFERENCES ABOVE WERE UPDATED FOR THE 2018 NORTH CAROLINA BUILDING CODE

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PROFESSIONAL SEAL
 NORTH CAROLINA
 2020-01-12
 27 MAR 2020

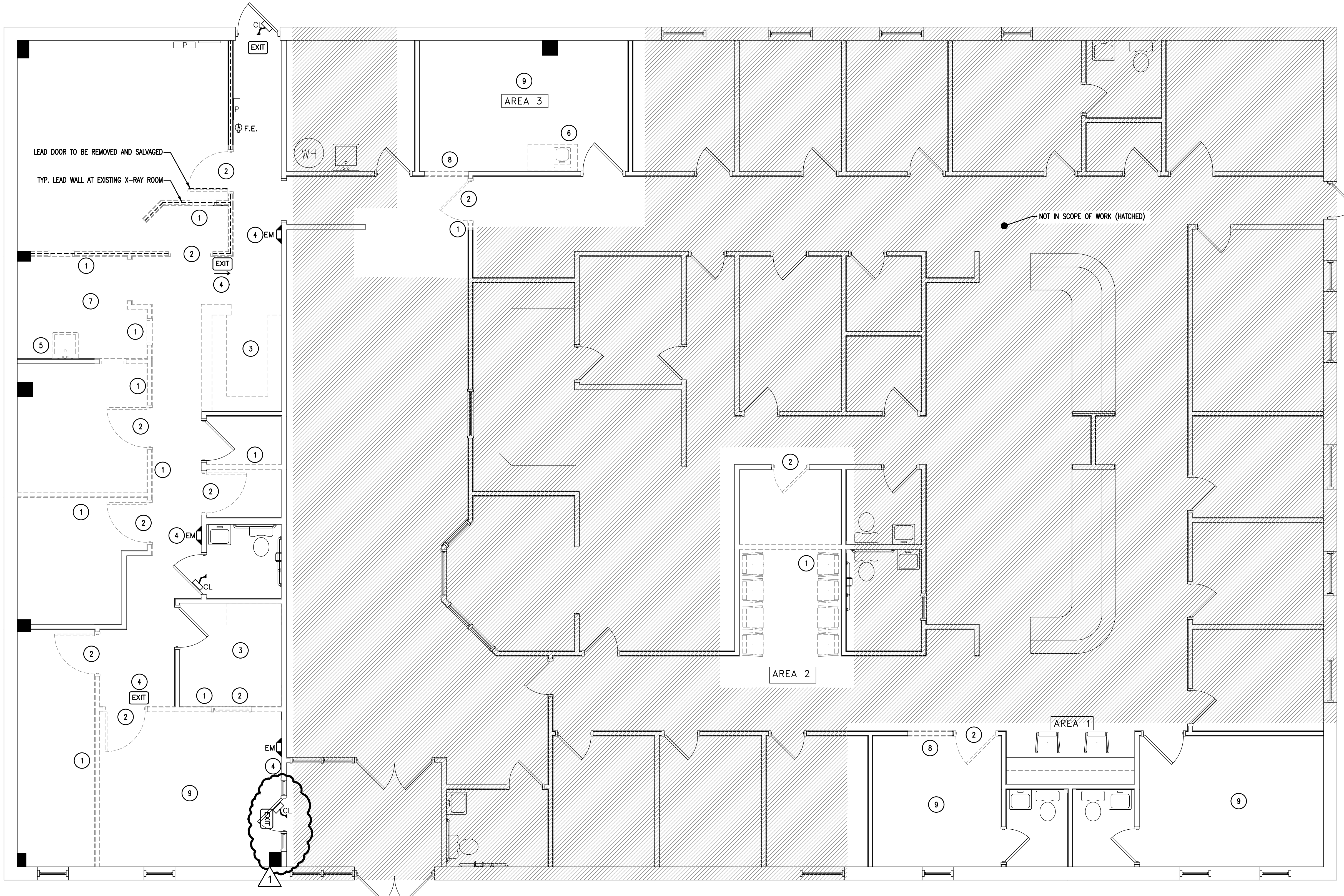
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 CONTRACTOR/BUILDER: RAYWEST DESIGN BUILD
 2818 RAYFORD ROAD, SUITE 300 FAYETTEVILLE, NC 28503

ALTERATION - LEVEL 2 OF HARNETT HEALTH
 7 E DUNCAN STREET, LILLINGTON, NORTH CAROLINA 27546
BUILDING LIFE SAFETY - EGRESS PLAN

PROJECT: 25 MAR 2020: TOWN OF LILLINGTON REVIEW COMMENTS
 SHEET: r1LS

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1
G1 EXISTING / DEMOLITION FLOOR PLAN
 SCALE: 1/4" = 1'-0"

- GENERAL DEMOLITION NOTES:**
- THESE DRAWINGS SHOW THE GENERAL INTENT OF THE DESIGN PROFESSIONAL AND THE OWNER. THE DRAWINGS REPRESENT A RENOVATION PROJECT TO DEMOLISH AN EXISTING OWNER SPACE OF ITS INTERIOR PARTITIONS, DOORS AND CEILING. ASSOCIATED LIGHT FIXTURES, POWER DEVICES AND THEIR RESPECTIVE BRANCH CIRCUITS SHALL BE REMOVED OR MADE HARMLESS AND ABANDONED IN PLACES WHERE THEY CAN NOT BE TOTALLY REMOVED. THE EXISTING PLUMBING SYSTEMS, FIXTURES AND DEVICES THAT ARE NOT SCHEDULED TO BE REUSED OR NOTED EXISTING TO REMAIN SHALL BE REMOVED FROM THEIR PRESENT LOCATION, WITH UTILITIES REMOVED OR CAPPED IN SUITABLE LOCATIONS. THE EXISTING HVAC SYSTEM SHALL REMAIN AND AIR DISTRIBUTION MODIFIED TO DELIVER THE AIR AS REQUIRED. THERE IS ADDITIONAL HEATING AND COOLING LOAD ARE ADDED BY THIS RENOVATION. THE NEW USE WILL REQUIRE INSTALLATION OF A SPACE EXHAUST FAN TO DELIVER THE PROPER VENTILATION REQUIRED BY THE MECHANICAL CODE. THESE DRAWINGS ALSO PROVIDE FOR NEW CONSTRUCTION OF EQUIPMENT, FACILITIES AND SPACES FOR THE NEW USE OF THE OWNER SPACE.
 - DEMOLITION WORK IS DEFINED AS INCLUDING REMOVAL AND DISPOSAL OF ALL ITEMS, FINISHES, ETC., AS REQUIRED FOR PROPER COMPLETION OF NEW WORK AS DESCRIBED IN THE CONTRACT DOCUMENTS.
 - THE CONTRACTOR SHALL INSTALL CRAFT PAPER AT ALL STOREFRONT WINDOWS AND DOORS TO OBSCURE THE CONSTRUCTION PROGRESS FROM THE EXTERIOR.
 - UNLESS NOTED OTHERWISE, ALL WORK UNDER GENERAL DEMOLITION NOTES SHALL BE CARRIED OUT THROUGHOUT THE ENTIRE OWNER SPACE.
 - ALL "SALVAGED" ITEMS TO BE REMOVED, TURNED OVER, AND/OR STORED IN A LOCATION DESIGNATED BY OWNER.
 - CONTRACTOR SHALL BE AWARE THAT THIS OWNER SPACE IS LOCATED IN AN OCCUPIED BUILDING WITH ADJACENT OWNERS. SCHEDULE ALL WORK, INCLUDING INTERRUPTIONS TO EXISTING UTILITIES WITH THE OWNER PRIOR TO STARTING WORK.
 - REMOVE ALL EXISTING SIGNAGE LOCATED ON WALLS, DOOR FRAMES, DOORS, ETC. AND SALVAGE ITEMS IDENTIFIED BY OWNER FOR REINSTALLATION.
 - CONSTRUCTION AREAS ARE TO BE MAINTAINED IN A BROOM-CLEAN CONDITION.
 - REMOVE EXISTING WALLS AS INDICATED BY DASHED LINES. MAINTAIN INTEGRITY OF THE EXISTING DEMISING WALL. RESTORE ANY FINISHES REQUIRED TO OBTAIN THE ORIGINAL FIRE RATING.
 - EXISTING CONDITIONS: FIELD VERIFY EXISTING CONDITIONS PRIOR TO START OF DEMOLITION AND NOTIFY DESIGN PROFESSIONAL OF ANY DISCREPANCIES OR POTENTIAL CONFLICTS BEFORE PROCEEDING WITH WORK.
 - PROTECT EXISTING CONSTRUCTION: PREVENT DAMAGE TO EXISTING WORK TO REMAIN. REPAIR DAMAGE CAUSED BY WORK UNDER THIS CONTRACT TO EXISTING CONDITIONS.
 - PROTECT EXISTING EQUIPMENT: CONTRACTOR TO PROTECT EQUIPMENT TO REMAIN. OWNER AND CONTRACTOR TO INSPECT EQUIPMENT PRIOR TO WORK AND IDENTIFY PRE-EXISTING CONDITIONS.

- EXISTING FLOOR DEMOLITION KEYED NOTES:**
- DEMO EXISTING WALL, PATCH AND REPAIR WHERE NEEDED.
 - REMOVE EXISTING CASED OPENINGS/DOORS/WINDOWS. RELOCATE TO NEW LOCATION. SEE NEW FLOOR PLAN.
 - DEMO EXISTING RECEPTION COUNTER
 - REMOVE AND RELOCATE EXISTING EGRESS LIGHT ON WALL PATCH AND REPAIR WHERE NEEDED.
 - REMOVE AND SALVAGE EXISTING PLUMBING FIXTURES PATCH AND REPAIR WHERE NEEDED. SEE PLUMBING SHEET.
 - REMOVE EXISTING EXAM SINK AND CABINET FOR CONSTRUCTION RE-INSTALL AT SAME LOCATION AFTER NEW CONSTRUCTION.
 - REMOVE EXISTING DRYWALL CEILING. READY FOR NEW LAY-IN CEILING
 - DEMO EXISTING WALL. PREPARE ROUGH OPENING FOR NEW DOOR.
 - REMOVE EXISTING CARPET. PREPARE FOR NEW V.C.T
- ***NOTE: FOR PLUMBING, MECHANICAL, AND ELECTRICAL DEMOLITION, CONTRACTORS SHALL SEE KEYED NOTES ON P, M, E SHEETS.

FLOOR PLAN LEGEND

SYMBOL	DESCRIPTION
	EXISTING WALL TO REMAIN
	DEMO WALL
	TYP. NEW INTERIOR WALL SEE WALL TYPE DETAILS G4
	DOOR/ WINDOW TO BE REMOVED
	EXISTING DOOR AND FRAME TO REMAIN SEE DOOR SCHEDULE FOR DETAILS
	NEW DOOR AND FRAME (DOOR NUMBER) SEE DOOR SCHEDULE FOR DETAILS
	ELECTRICAL PANEL

WORK AREAS	SQUARE FOOTAGE
AREA 1	404
AREA 2	133
AREA 3	206
AREA 4	1,357
TOTAL RENOVATED AREA	2,100
BUILDING TOTAL SQ.FT.	6,400

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PROFESSIONAL SEAL
 NORTH CAROLINA
 42009
 J. E. JENKINS
 27 MAR 2020

DESIGNED / CHECKED BY: KJD
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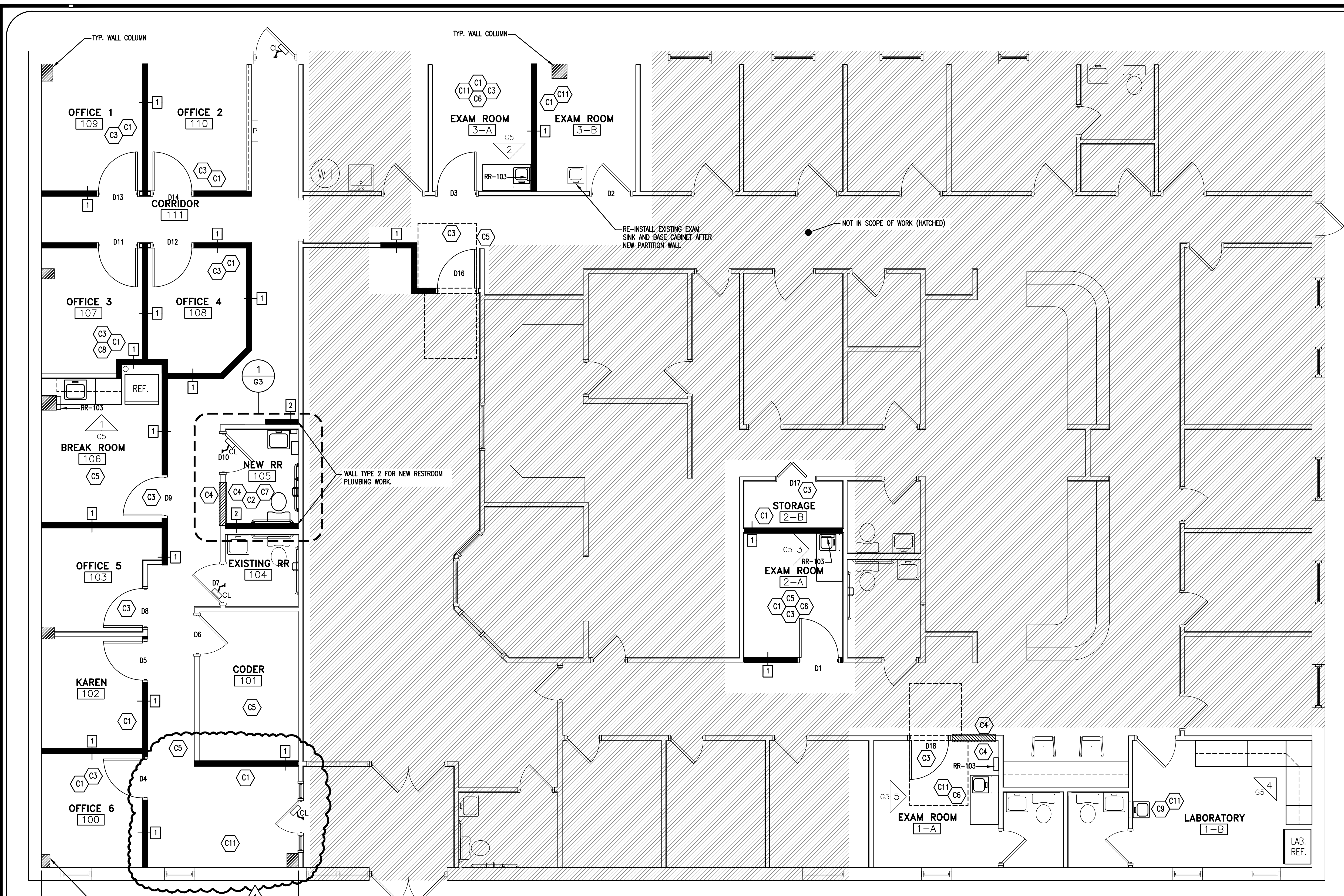
HARNETT HEALTH **RAYWEST DESIGNBUILD**

PROJECT: ALTERATION - LEVEL 2 OF HARNETT HEALTH
 7 E DUNCAN STREET, LILLINGTON, NORTH CAROLINA 27546
 SHEET: EXISTING / DEMOLITION FLOOR PLAN

11.25 MAR 2020: TOWN OF LILLINGTON REVIEW COMMENTS

r1G1

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1 NEW FLOOR PLAN - CALLOUTS
 G2
 SCALE: 1/4" = 1'-0"

- RENOVATION GENERAL NOTES:**
- THE DRAWINGS ARE DIAGRAMATIC IN NATURE AND MAY NOT SHOW ALL OF THE DETAILS, MATERIALS AND METHODS REQUIRED. THE DRAWING PACKAGE AS A WHOLE SHOULD BE USED TO LIFT THE SPACE AS DESCRIBED. THERE ARE NO TECHNICAL SPECIFICATIONS INCLUDED IN THESE CONSTRUCTION DOCUMENTS. THE PLANS DO NOT INCLUDE FINISH MATERIALS AND COLORS OF SELECTED ITEMS.
 - THE EXISTING DEMISING WALLS AND OTHER INTERIOR PARTITION WALLS THAT ARE TO REMAIN SHALL BE PATCHED WITH GWS MUD AND OR SPACKLING TO OBTAIN A LEVEL 4 FINISH ON PAINTED WALL SURFACES. ALL NEW WALLS SHALL BE FINISHED TO A SIMILAR LEVEL 4 FINISH GRADE.
 - EXISTING FLOORS SHALL BE SAW-CUT WITH WET DIAMOND BLADES FOR NEW PLUMBING ROUGH-INS. THESE FLOORS SHALL BE PROPERLY BACKFILLED AND FINISHED FLUSH WITH THE ORIGINAL FLOOR SURFACES.
 - DIMENSIONS ARE TO FINISHED FACE OF GWS UNLESS OTHERWISE NOTED.
 - THE CONTRACTOR SHALL COORDINATE ALL WORK AND ADJUST TO THE ACTUAL CONDITIONS ENCOUNTERED IN THE FIELD. COORDINATION OF WORK BETWEEN THE VARIOUS TRADES IS ALSO REQUIRED. THE CONTRACTOR SHALL NOTIFY THE DESIGN PROFESSIONAL OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
 - THE CONTRACTOR SHALL COORDINATE WORK, TRADES, AND SHALL VERIFY DIMENSIONS, MEANS AND METHODS OF CONSTRUCTION, EXISTING CONDITIONS AND PROPOSED NEW CONSTRUCTION PRIOR TO COMMENCING ANY WORK, MATERIAL ORDERING, OR FABRICATION.
 - WORK SHALL BE FIRST CLASS TO THE ENTIRE SATISFACTION OF THE OWNER.
 - COORDINATE ALL ELECTRICAL/PLUMBING ROUGH-IN FOR OWNER SUPPLIED EQUIPMENT WITH OWNER & MANUFACTURER.
 - ALL NEW INTERIOR WALLS ARE DETAILED AS TYPE 1 UNLESS OTHERWISE NOTED.
 - PATCH & REPAIR: THE CONTRACTOR SHALL PATCH AND/OR REPAIR WITH NEW ANY WORK DAMAGED OR DISTURBED CAUSED BY THE CONTRACTOR AS A RESULT OF PROVIDING FOR OR INSTALLING NEW WORK SHOWN ON THE CONTRACT DOCUMENTS
 - CAULK ALL PENETRATIONS, OUTLETS, ETC. ON ALL DEMISING PARTITIONS. LEAVE ALL WORK COMPLETE AND READY FOR THE INTENDED USE.
 - ALL CONSTRUCTION MATERIALS AND DEBRIS WILL BE REMOVED FROM THE SITE UPON COMPLETION. THE CONTRACTOR SHALL PROVIDE CLEANING SERVICES FOR THE OWNER SPACE AND DELIVER THE PROJECT COMPLETED.
 - PROVIDE BLOCKING IN WALLS AT MILLWORK AND HARDWARE LOCATIONS. BLOCKING SHALL BE NON COMBUSTIBLE PER SECTION 603.
 - CONSTRUCTION SHALL COMPLY WITH ALL STATE AND LOCAL CODES.

- NEW FLOOR CONSTRUCTION KEYED NOTES:**
- C1 CONSTRUCT NEW PARTITION WALL TO MATCH EXISTING INTERIOR WALLS SEE WALL TAGS
 - C2 CONSTRUCT NEW PARTITION WALL TYPE 2 FOR PLUMBING WORK.
 - C3 INSTALL NEW DOORS. SEE DOOR SCHEDULE FOR DETAILS.
 - C4 INFILL EXISTING WALL WHERE DOOR WAS REMOVED (HATCHED) TO WALLS, FLOOR & CEILING IN EXISTING BUILDING
 - C5 PATCH AND REPAIR WALL, FLOOR & CEILING WHERE PARTITION WALL WAS REMOVE TO MATCH EXISTING BUILDING.
 - C6 INSTALL NEW EXAM SINK WITH CABINET. SEE CASEWORK DRAWINGS.
 - C7 INSTALL NEW PLUMBING FIXTURES/ RESTROOM ACCESSORIES SEE RESTROOM CALLOUTS / PLUMBING DETAILS
 - C8 INSTALL NEW LAY-IN CEILING TO MATCH EXISTING
 - C9 INSTALL NEW LAVATORY. SEE PLUMBING DRAWINGS
 - C10 INSTALL NEW CASEWORK FOR LABORATORY
 - C11 INSTALL NEW V.C.T. FLOOR TO MATCH EXISTING BUILDING

***NOTE: FOR PLUMBING, MECHANICAL, AND ELECTRICAL NEW CONSTRUCTION, CONTRACTORS SHALL SEE KEYED NOTES ON P, M, E SHEETS.
 ***NOTE FOR CEILING: EXISTING GRID AND TILES MAY BE REUSED IF THEY ARE IN GOOD CONDITION. EXISTING BATT INSULATION ABOVE TILES SHALL REMAIN. REPAIR AND/OR REPLACE CEILING GRID. COORDINATE THE CEILING REPLACEMENT OR CEILING REPAIRS WITH OWNER PRIOR TO STARTING WORK.

FLOOR PLAN LEGEND	
SYMBOL	DESCRIPTION
	EXISTING WALL TO REMAIN
	DEMO WALL
	TYP. NEW INTERIOR WALL SEE WALL TYPE DETAILS G4
	DOOR/ WINDOW TO BE REMOVED
	EXISTING DOOR AND FRAME TO REMAIN SEE DOOR SCHEDULE FOR DETAILS
	NEW DOOR AND FRAME (DOOR NUMBER) SEE DOOR SCHEDULE FOR DETAILS
	ELECTRICAL PANEL

PROJECT: ALTERATION - LEVEL 2 OF HARNETT HEALTH
 7 E DUNCAN STREET, LILLINGTON, NORTH CAROLINA 27546
 SHEET: NEW FLOOR PLAN - CALLOUTS



DESIGNED / CHECKED BY: KJD	BT
DRAWN BY:	PROJECT #: 2020-01-12
	DATE: 27 MAR 2020

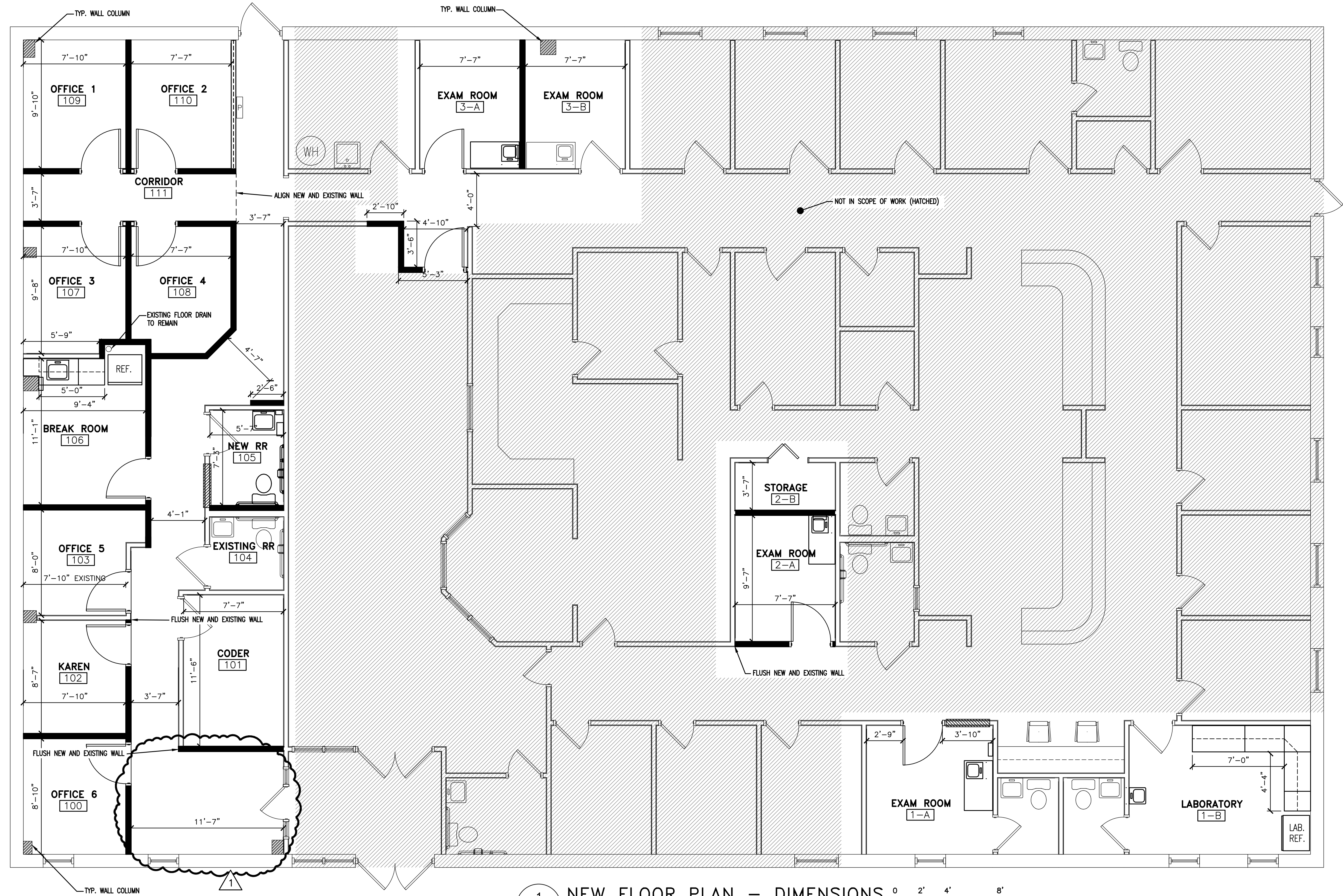
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PRELIMINARY <input type="checkbox"/> FOR DESIGN DEVELOPMENT ONLY	CONTRACTOR/BUILDER: RAYWEST DESIGN BUILD
FINAL DRAWING <input checked="" type="checkbox"/> FOR CONSTRUCTION	2818 BAYFORD ROAD, SUITE 300 FAYETTEVILLE, NC 28503



PROJECT: ALTERATION - LEVEL 2 OF HARNETT HEALTH
 7 E DUNCAN STREET, LILLINGTON, NORTH CAROLINA 27546
 SHEET: NEW FLOOR PLAN - CALLOUTS

r1G2

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1
G3 NEW FLOOR PLAN - DIMENSIONS
 SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND	
SYMBOL	DESCRIPTION
	EXISTING WALL TO REMAIN
	DEMO WALL
	TYP. NEW INTERIOR WALL SEE WALL TYPE DETAILS G4
	DOOR/ WINDOW TO BE REMOVED
	EXISTING DOOR AND FRAME TO REMAIN SEE DOOR SCHEDULE FOR DETAILS
	NEW DOOR AND FRAME (DOOR NUMBER) SEE DOOR SCHEDULE FOR DETAILS
	ELECTRICAL PANEL

1-25-MAR-2020: TOWN-OF-LILLINGTON-REVIEW COMMENTS

PROJECT: ALTERATION - LEVEL 2 OF HARNETT HEALTH
 7 E DUNCAN STREET, LILLINGTON, NORTH CAROLINA 27546

SHEET: NEW FLOOR PLAN - DIMENSIONS



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 OWNER/TELEANT: HARNETT HEALTH
 CONTRACTOR/BUILDER: RAYWEST DESIGN BUILD
 2818 BARDWOOD ROAD, SUITE 300 FAYETTEVILLE, NC 28503

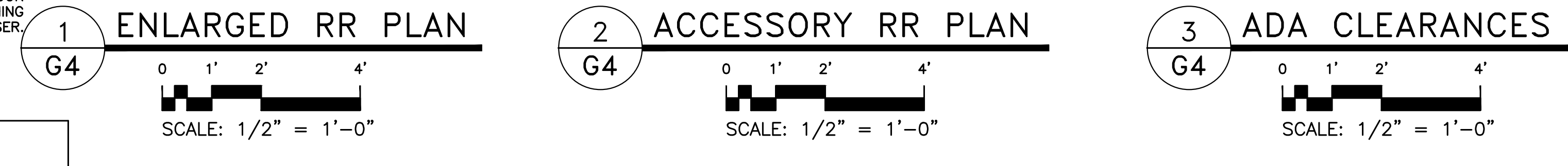
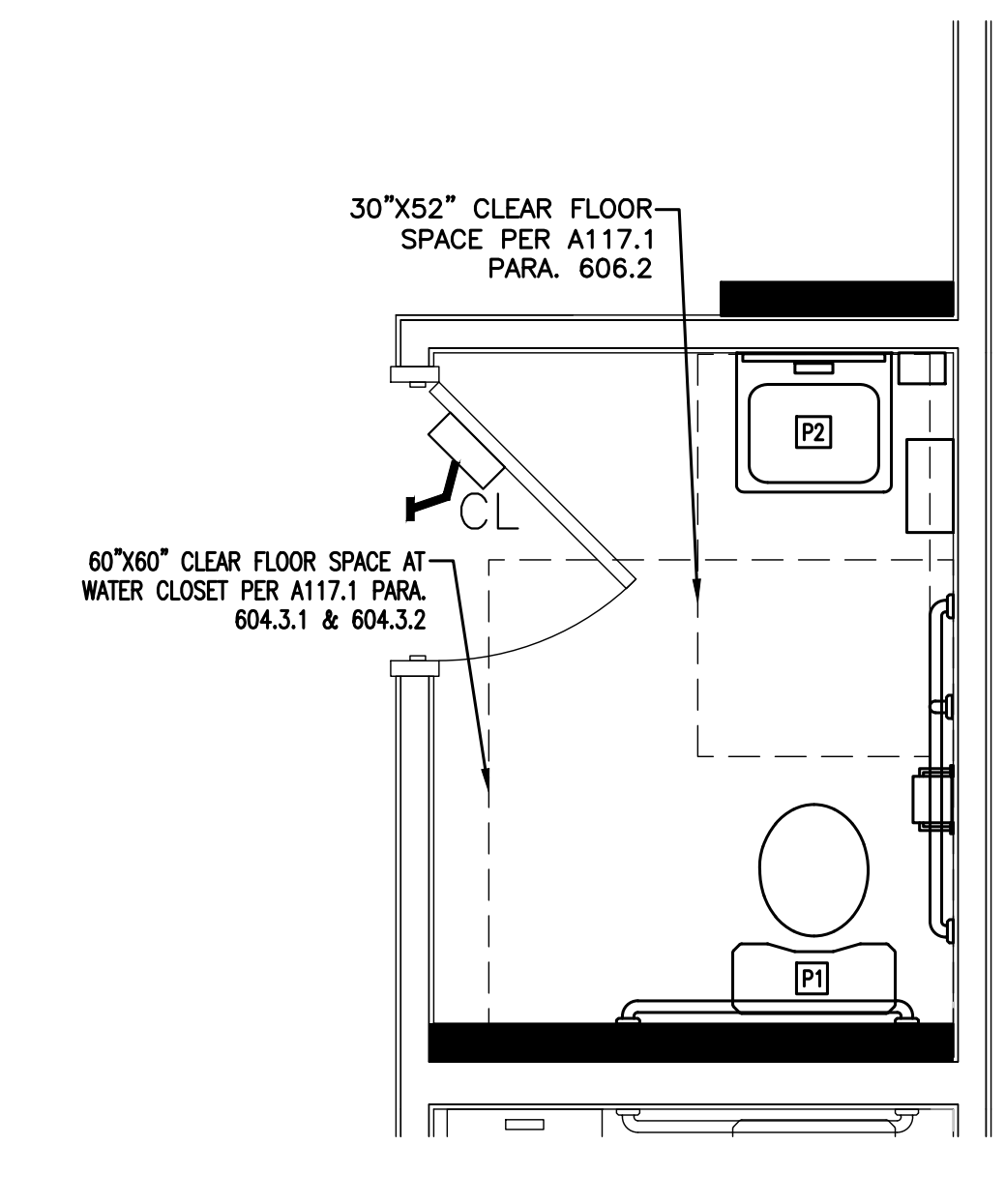
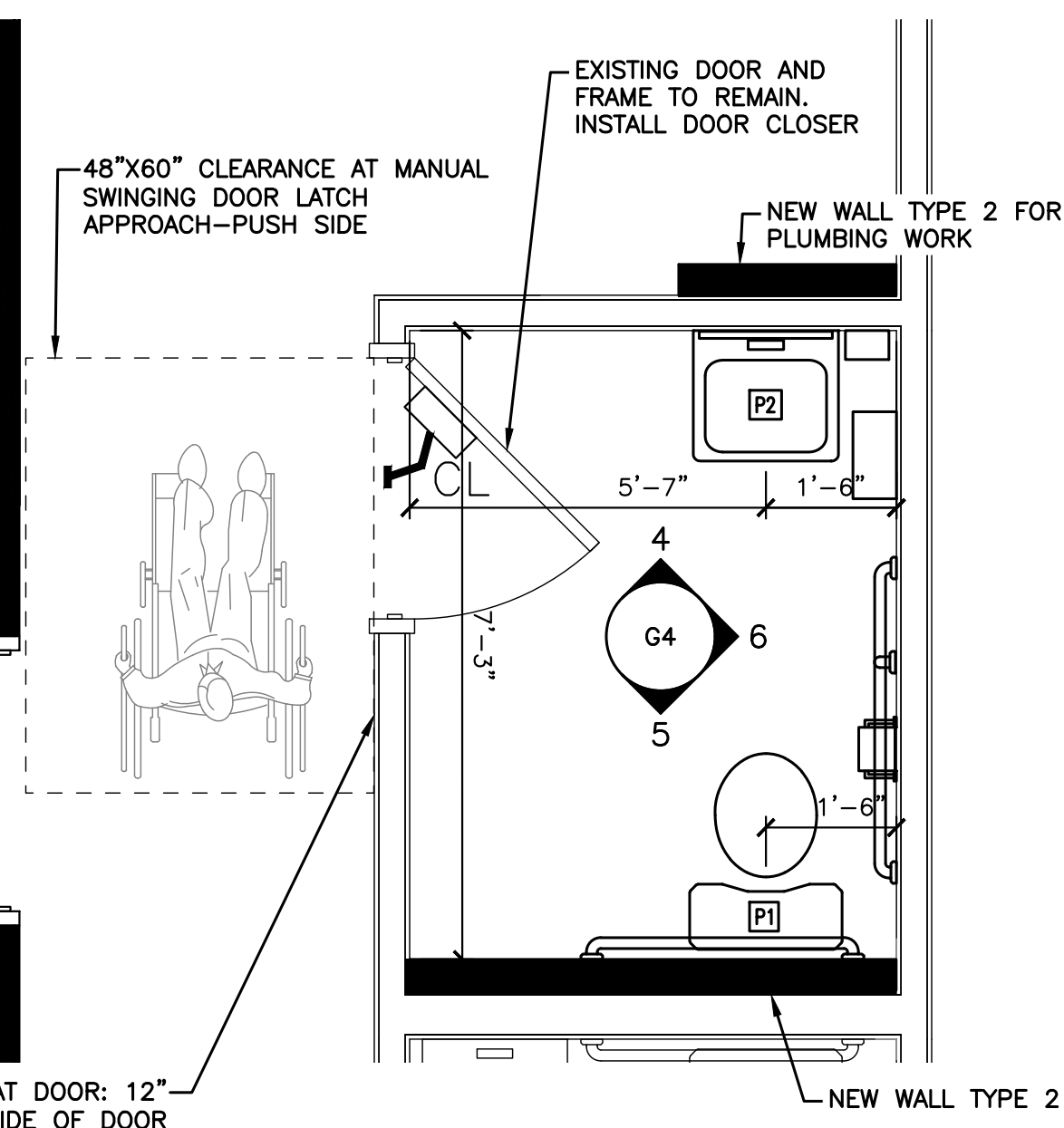
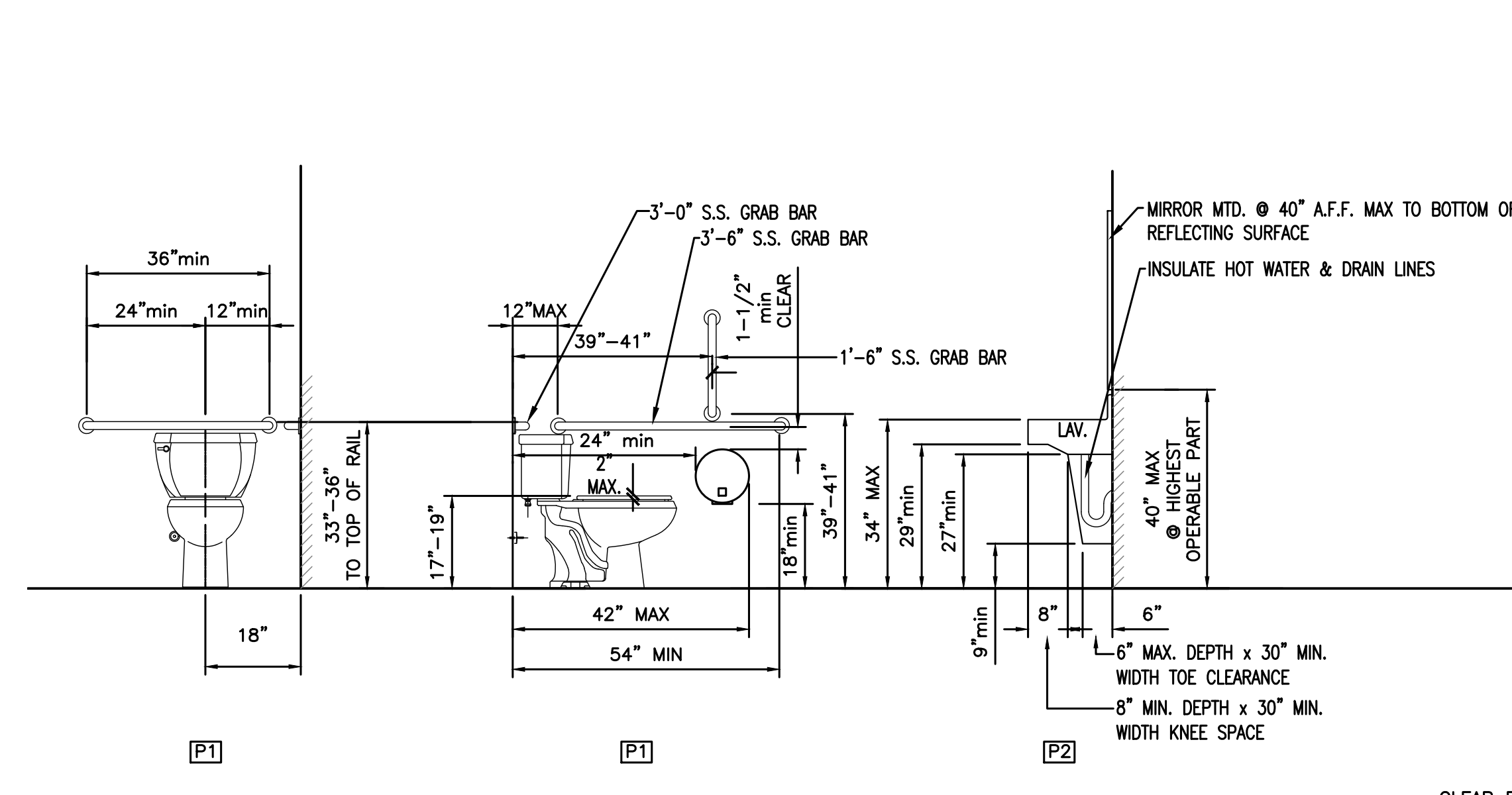
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r1G3

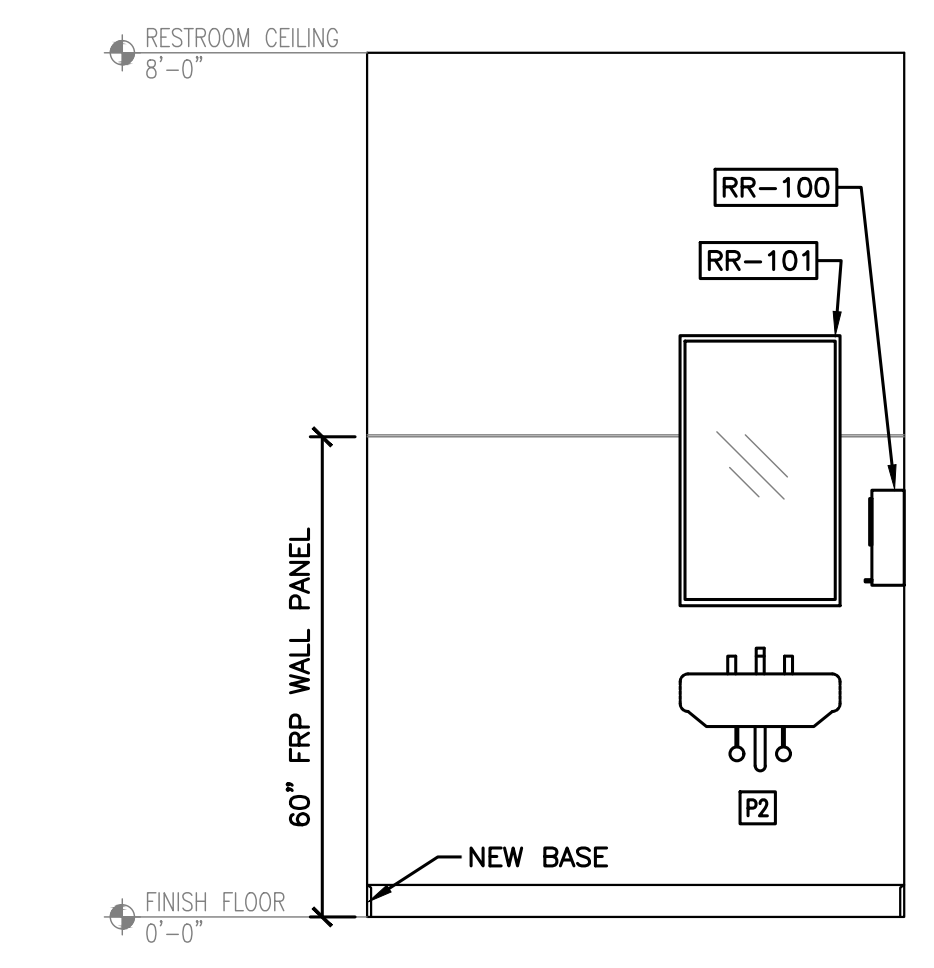
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Plotted Date: Mar 27, 2020 - 12:58pm



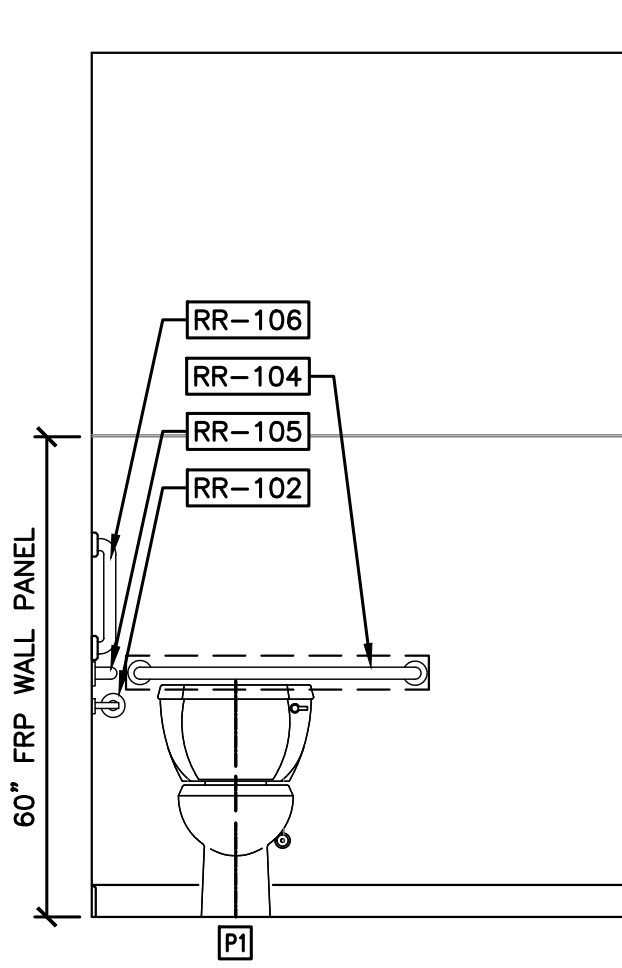
- ACCESSORY NOTES:**
- PROVIDE BLOCKING AT ALL WALL MOUNTED ACCESSORIES. BLOCKING SHALL BE FIRE TREATED WOOD
 - GRAB BARS, FASTENERS AND MOUNTING DEVICES SHALL BE INSTALLED PER ADA REQUIREMENTS.
 - INSTALL AT LOCATIONS REQUIRED AND AS SHOWN ON DRAWINGS.
 - ALL TOILET ACCESSORIES TO BE SELECTED BY OWNER
 - ALL TOILET ACCESSORIES TO BE INSTALLED BY CONTRACTOR
 - ALL LAVATORIES & SINKS SHALL HAVE PROTECTIVE COVERING ATTACHED TO THE SUPPLY & DRAIN LINES BELOW THE FIXTURES.

ACCESSORY LEGEND					
NO.	QTY	G.C.INST.	ITEM DESCRIPTION	MODEL #	MANUFACTURER
RR-100	1	X	SOAP DISPENSER (WALL MOUNT)	B-2111	BOBRICK
RR-101	1	X	MIRROR, 18" X 36"	B-165 1836	BOBRICK
RR-102	1	X	TOILET PAPER DISPENSER	B-273	BOBRICK
RR-103	5	X	PAPER TOWEL DISPENSER	B-2620	BOBRICK
RR-104	1	X	GRAB BAR 1-1/2"DIA X 36" S.S. FIN.	B-5806 X 36	BOBRICK
RR-105	1	X	GRAB BAR 1-1/2"DIA X 42" S.S. FIN.	B-5806 X 42	BOBRICK
RR-106	1	X	GRAB BAR 1-1/2"DIA X 18" S.S. FIN.	B-5806 X 18	BOBRICK

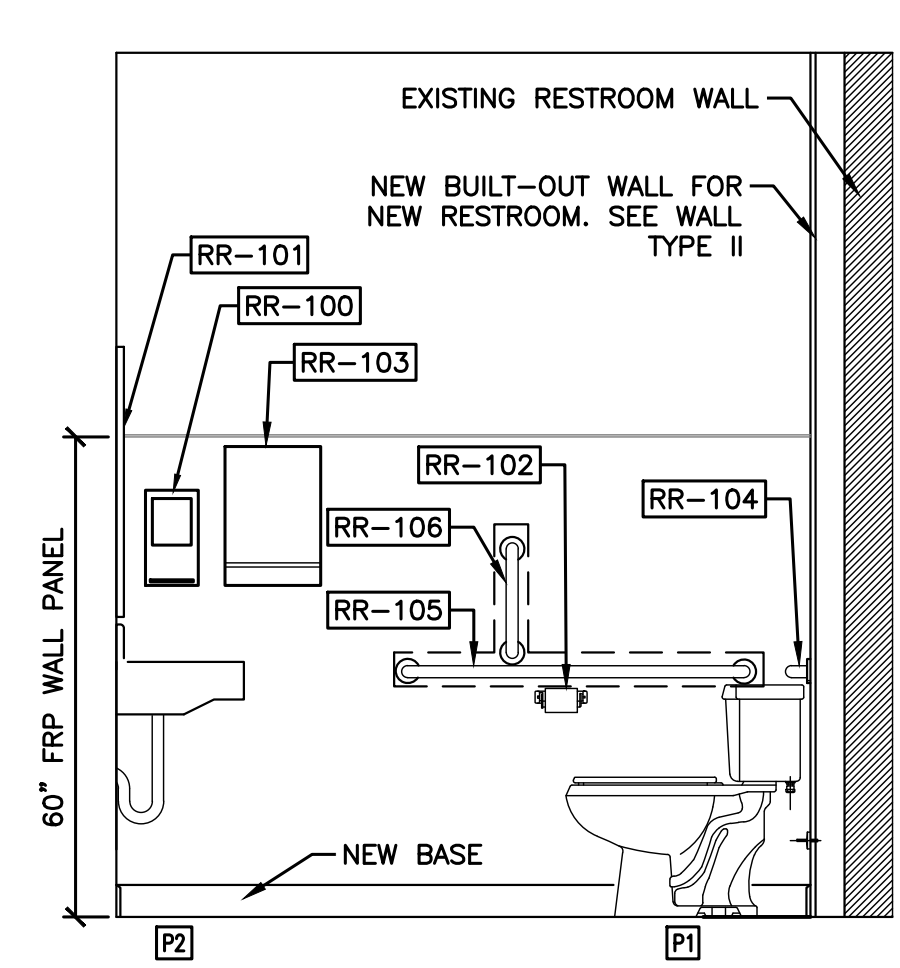
SEE SHEET P1 FOR PLUMBING FIXTURE SCHEDULE.



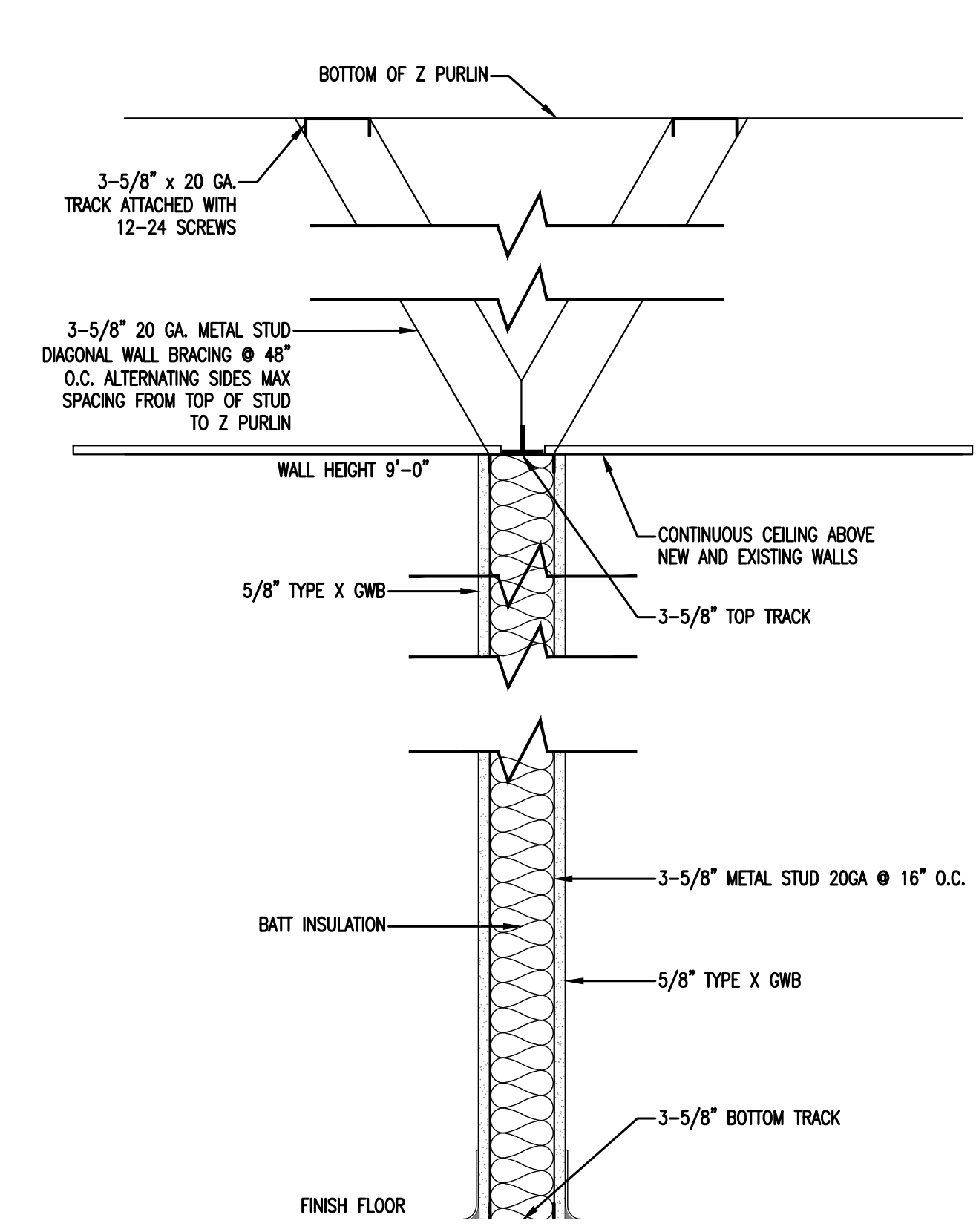
4 RESTROOM ELEVATION G4 SCALE: 1/2" = 1'-0"



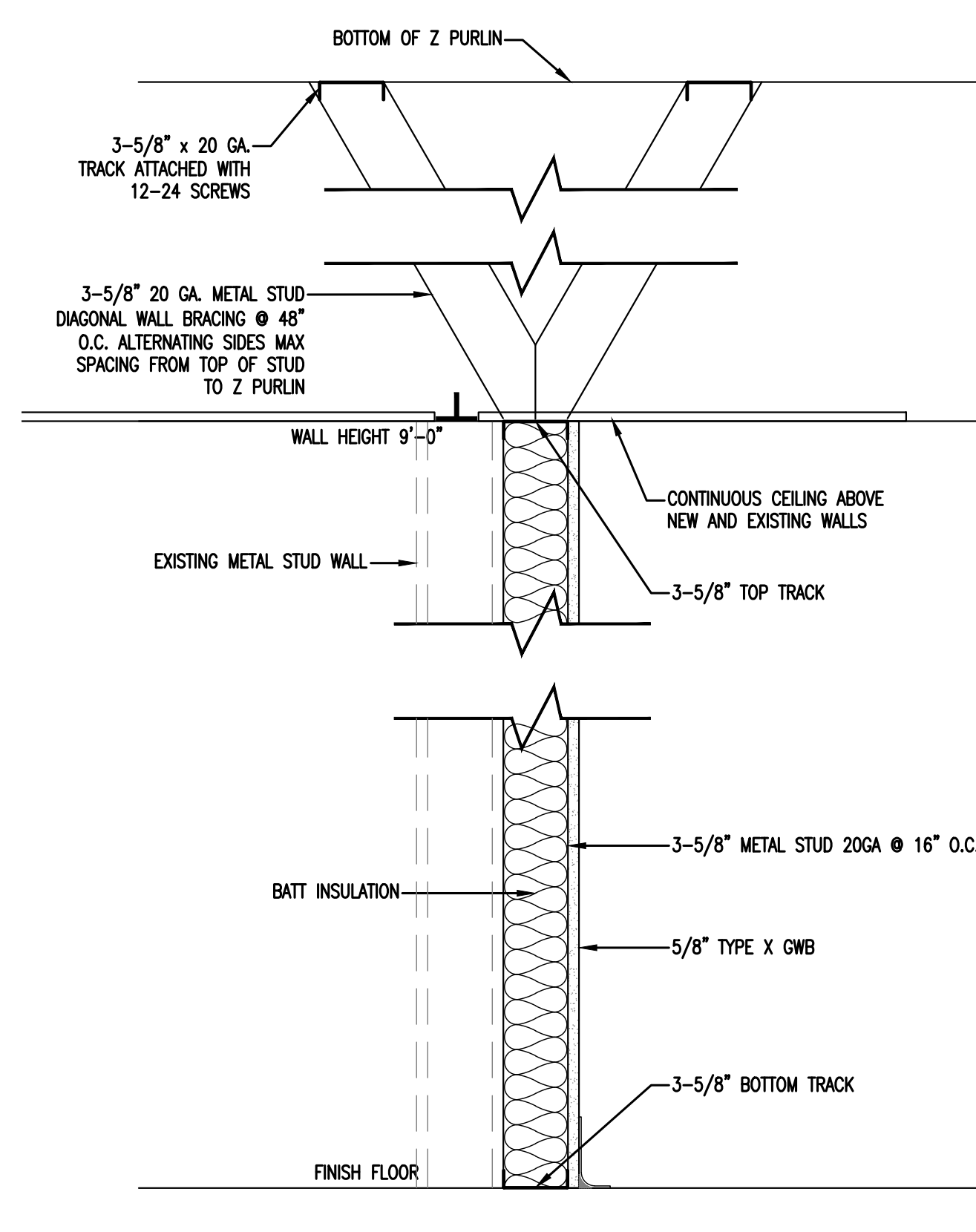
5 RESTROOM ELEVATION G4 SCALE: 1/2" = 1'-0"



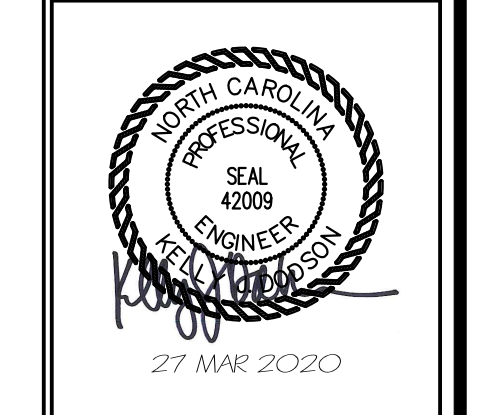
6 RESTROOM ELEVATION G4 SCALE: 1/2" = 1'-0"



7 WALL DETAIL (TYPE 1) G4 SCALE: 1 1/2" = 1'-0"



8 WALL DETAIL (TYPE 2) G4 SCALE: 1 1/2" = 1'-0"



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PROJECT #: 2020-01-12
DATE: 27 MAR 2020

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FINAL DRAWING FOR CONSTRUCTION
OWNER / TENANT: HARNETT HEALTH
CONTRACTOR / BUILDER: RAYWEST DESIGN BUILD
2818 RAYFORD ROAD, SUITE 300 FAYETTEVILLE, NC 28403



PROJECT: ALTERATION - LEVEL 2 OF HARNETT HEALTH
7 E DUNCAN STREET, LILLINGTON, NORTH CAROLINA 27546
SHEET: ADA ACCESSORIES/RESTROOM DETAIL

G4

1, 25 MAR 2020: TOWN OF LILLINGTON REVIEW COMMENTS

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PLUMBING FIXTURE SCHEDULE

SYMBOL	MANUFACTURER	MODEL #	FIXTURE DESCRIPTION	FIXTURE MOUNTING	ACCESSORIES	SUPPLY	WASTE	VENT	ELECTRICAL	REMARKS
P1	AMERICAN STANDARD	CADET ADA/ 215AA.104	ELONGATED BOWL; FLUSH TANK TOILET	FLOOR MOUNTED	SEAT: AMERICAN STANDARD / 5901.100	3/4" C.W.	3"	2"		
P2	AMERICAN STANDARD	LUCERNE/ Q355.012	TOILET LAVATORY	WALL MOUNTED	DELTA 501-WFHGMHDF FAUCET	1/2" C.W. & H.W.	2"	1-1/2"		
P3	ELKAY	BCRA-150-C	COUNTER EXAM SINK	WALL MOUNTED	LKA-2479-A (FAUCET) 5-1/2" GOOSENECK SWING SPOUT	1/2" C.W. & H.W.	2"	1-1/2"		
P4	ELKAY	LESTERTONE. 20", 3-HOLE	1-COMPARTMENT KITCHEN SINK	CABINET MOUNTED	DELTA KATE SINGLE HANDLE FAUCET.	1/2" C.W. & H.W.	2"	1-1/2"		

PLUMBING GENERAL NOTES:

PLUMBING WORK SHALL BE IN ACCORDANCE WITH THE NORTH CAROLINA PLUMBING CODE 2018 EDITION AND LOCAL CODES.

ALL WORK SHALL BE COORDINATED AND PERFORMED WITH PRIOR APPROVAL FROM THE GENERAL CONTRACTOR AND OWNER TO SUIT THE OWNER'S OPERATING CONDITIONS.

PLUMBING CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND NOTIFY THE GENERAL CONTRACTOR OF ANY DEVIANCIES FROM THE CONTRACT DRAWINGS PRIOR TO STARTING ANY WORK.

THE PLUMBING CONTRACTOR SHALL COORDINATE WITH OTHER TRADES INVOLVED IN THIS PROJECT PRIOR TO INSTALLATION OF HIS EQUIPMENT, SO AS TO AVOID CONFLICTS DURING CONSTRUCTION AND ALLOW FOR OPTIMUM WORKING SPACE AND MAINTENANCE. THINK OF OTHER CONTRACTORS AND THEIR REQUIREMENTS IN VERTICAL CHASES AND WALL MOUNT SPACE. ALL CONTRACTORS TO FOLLOW THIS ORDER OF PRIORITY:

1. STORM AND SANITARY SEWER LINES
2. DUCTWORK AND HVAC SYSTEMS
3. HOT AND COLD WATER LINES
4. RIGID CONDUIT
5. CABLE

THE PLUMBING CONTRACTOR TO ORGANIZE HIS PIPING IN ATTIC SPACES, CRAWL SPACES, AND ABOVE CEILINGS. MAKE RUNS PARALLEL, PERPENDICULAR, AND GROUPED TOGETHER WHERE POSSIBLE. LOCATE MAJOR GROUPINGS OVER HALLWAYS AND AREAS OF PUBLIC ACCESS IF POSSIBLE. FREE RUNS OF PIPING IS NOT ACCEPTABLE.

THE PLUMBING CONTRACTOR SHALL LAY OUT AND INSTALL HIS WORK IN ADVANCE OF POURING CONCRETE FLOORS OR WALLS. HE SHALL FURNISH ALL SLEEVES TO THE GENERAL CONTRACTOR FOR OPENINGS THROUGH POURED MASONRY FLOORS, OR WALLS, ABOVE GRADE REQUIRED FOR PASSAGE OF ALL PIPES TO SUPPORT HIS EQUIPMENT.

HORIZONTAL DRAINAGE AND WASTE PIPE SHALL HAVE A MINIMUM SLOPE OR FALL OF 1/8 INCH PER FOOT. ALL CHANGE OF HORIZONTAL DIRECTIONS IN SOIL WASTE PIPE SHALL BE MADE WITH LONG RADIUS FITTINGS WITH "Y" BRANCHES AND 1/8 OR 1/16 BENDS.

COLD AND HOT WATER PIPING ABOVE GRADE SHALL BE TYPE "L" HARD DRAWN COPPER TUBING CONFORMING TO ASTM B-88 WITH SWEAT JOINTS AND WROUGHT OR CAST VALVES AND FITTINGS (UNIONS, STRAINERS, ETC.). JOINT SHALL BE MADE WITH LEAD FREE SOLDER. PEX PIPING MAY BE USED WITH OWNERS APPROVAL.

ALL HOT WATER PIPING SHALL BE INSULATED WITH 1 INCH THICK SECTIONAL INSULATION OR FIBROUS GLASS MATERIALS WITH FACTORY APPLIED COVER. COVER SHALL BE EMBOSSED VAPOR BARRIER, LAMINATED WITH PRESSURE SEALING CAP ADHESIVE.

ALL COLD WATER PIPING SHALL BE INSULATED WITH 1/2 INCH THICK SECTIONAL INSULATION OR FIBROUS GLASS MATERIALS WITH FACTORY APPLIED COVER. COVER SHALL BE EMBOSSED VAPOR BARRIER, LAMINATED WITH PRESSURE SEALING CAP ADHESIVE.

SANITARY HORIZONTAL WASTE, VENT PIPING, AND FITTINGS ABOVE GRADE SHALL BE SCHEDULE 40 PVC-DW PIPE-CELLULAR CORE FROM CHARLOTTE PIPE AND FOUNDRY COMPANY OR APPROVED EQUAL, AND MUST MEET OR EXCEED THE REQUIREMENTS OF ASTM F-891, NSF STANDARD NO. 14, AND IAPMO UPC.

ALL WASTE STACK PIPING SHALL BE CAST IRON AND INSULATED FOR SOUND IN WALLS.

ALL WASTE AND STORM PIPING ABOVE CEILING, VERTICAL CHASES, WALLS SHALL BE INSULATED WITH 1/2 INCH THICK SECTIONAL INSULATION OR FIBROUS GLASS MATERIALS WITH FACTORY APPLIED COVER. COVER SHALL BE EMBOSSED VAPOR BARRIER, LAMINATED WITH PRESSURE SEALING CAP ADHESIVE. NO INSULATION REQUIRED IN CRAWL SPACE OR BELOW FLOOR SLAB OF ANY WASTE AND STORM PIPING.

IN LIEU OF FIBERGLASS INSULATION, THE PLUMBING CONTRACTOR IS ALLOWED TO USE CLOSED CELL INSULATION, 1/2 INCH THICK ARMSTRONG/ARMAFLEX II ON ALL COLD WATER PIPES. RIGID URETHANE FOAM INSULATION, 1 INCH THICK ARMSTRONG/ARMALOK II ON ALL HOT WATER PIPING.

ALL PLUMBING EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.

ALL FIXTURES, DRAINS, TRAPS, ETC. SHALL BE SET PLUMB AND LEVEL.

ALL HANDICAPPED FIXTURES AND TRIM SHALL BE INSTALLED IN ACCORDANCE WITH THE NORTH CAROLINA PLUMBING CODE 2018 EDITION.

CHROME PLATED ESCUTCHEONS SHALL BE PROVIDED AT EACH WALL PENETRATION.

ESCUTCHEONS SHALL BE CHROME PLATED, SPRING TYPE, ON ALL PIPES PASSING THROUGH WALLS AND CEILINGS IN FINISHED AREAS. FLOOR ESCUTCHEONS SHALL BE CAST BRASS, CHROME PLATED, WITH SET SCREW.

ESCUTCHEONS SHALL BE OF SUFFICIENT SIZE TO COVER OUTSIDE DIAMETER OF THE PIPE OR THE INSULATION OF THE PIPE.

FLASHING FOR VENTS THROUGH THE ROOF SHALL BE TWO-PIECE TYPE, 16 OUNCE COPPER COUNTER FLASHING AND BASE FLASHING, OR A TWO-PIECE TYPE, 4 POUND LEAD COUNTER FLASHING AND BASE FLASHING. THE BASE FLASHING SHALL BE INSTALLED BY THE GENERAL CONTRACTOR WITH THE ROOF SYSTEM.

VENT FLASHING SHALL EXTEND DOWN AT LEAST 4 INCHES FROM THE TOP OF THE PIPE. FLASHING SHALL EXTEND AT LEAST 12 INCHES IN ALL DIRECTIONS FROM THE PIPE AND SHALL BE PARALLEL TO THE ROOF LINE.

ALL EQUIPMENT AND INSTALLED MATERIALS SHALL BE THOROUGHLY CLEAN AND FREE OF ALL DIRT, OIL, GRIT, GREASE, AND ETC.

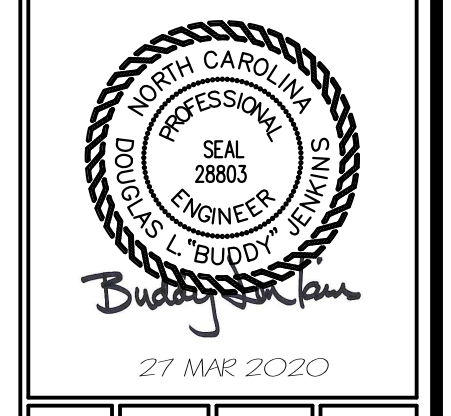
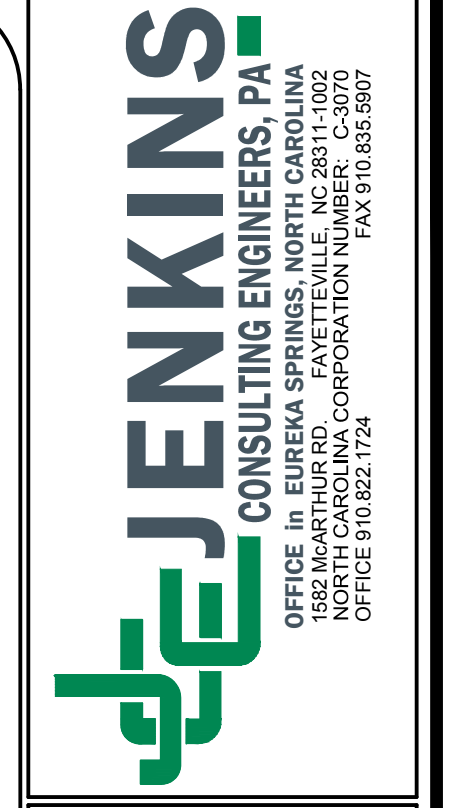
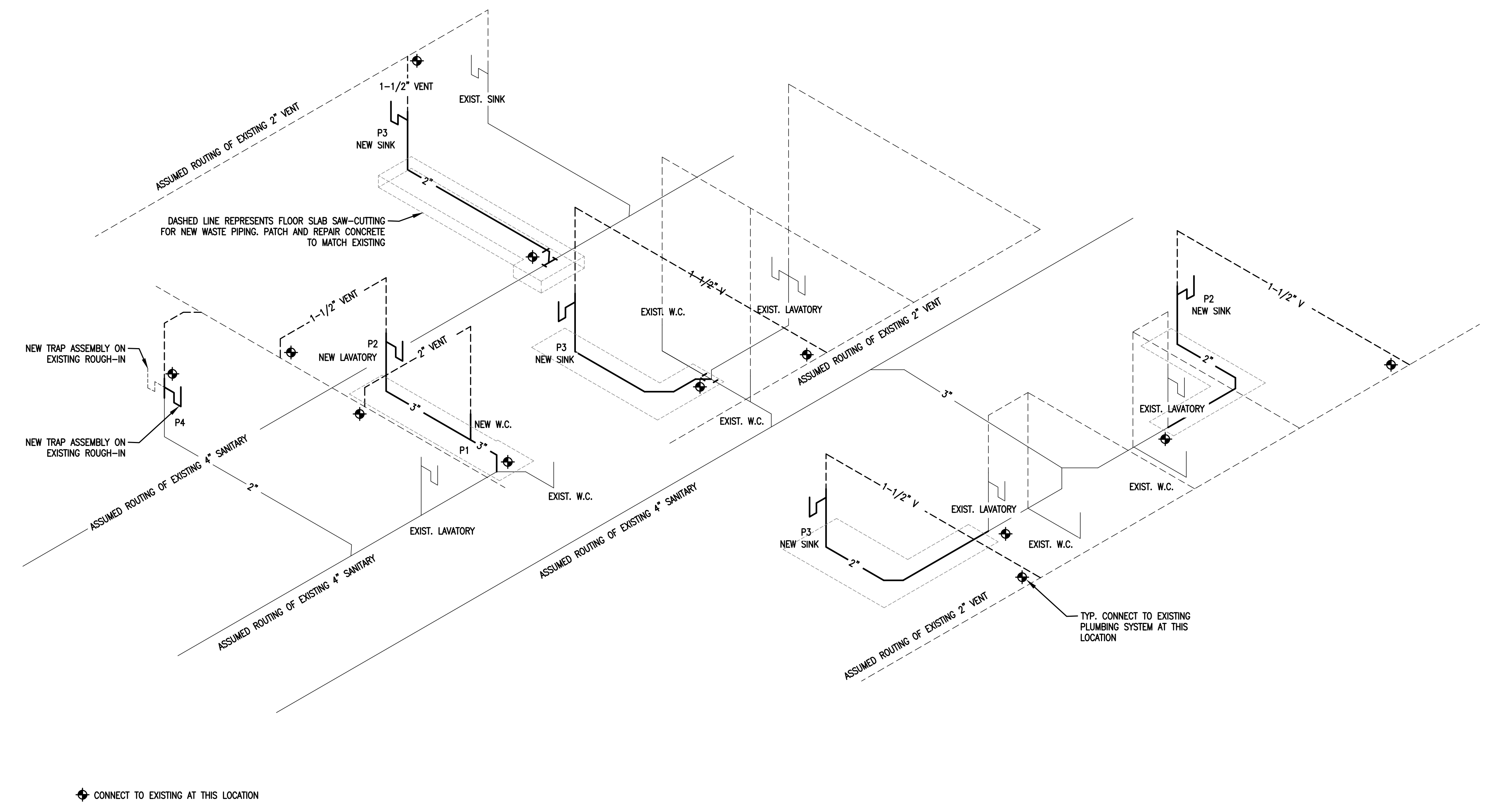
ALL PLUMBING SYSTEMS AND EQUIPMENT SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE OF THE BUILDING FROM THE OWNER.

WATER CALCULATIONS

QTY.	ITEM	C.W. FIXTURE UNITS	WATER SUPPLY FIXTURE UNITS EACH	WATER SUPPLY FIXTURE UNITS TOTAL
3	HAND/ EXAM SINK	1.5	2.0	6.0
2	HAND SINK (LAVATORY)	1.5	2.0	4.0
1	WATER CLOSET (FLUSH TANK)	5.0	5.0	5.0
TOTAL WATER SUPPLY FIXTURE UNITS (ADDED)				15.0

DRAINAGE CALCULATIONS

QTY.	ITEM	DRAINAGE FIXTURE UNITS	DRAINAGE FIXTURE UNITS TOTAL
3	HAND/EXAM SINK	2.0	6.0
2	HAND SINK (LAVATORY)	2.0	4.0
1	WATER CLOSET (FLUSH TANK)	4.0	4.0
TOTAL DRAINAGE FIXTURE UNITS (ADDED)			14.0



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 PROJECT #: 2020-01-12
 DATE: 27 MAR 2020

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OWNER/TENANT: HARNETT HEALTH
 CONTRACTOR/BUILDER: RAYWEST DESIGN BUILD
 2818 BAFFORD ROAD, SUITE 300 FAYETTEVILLE, NC 28403



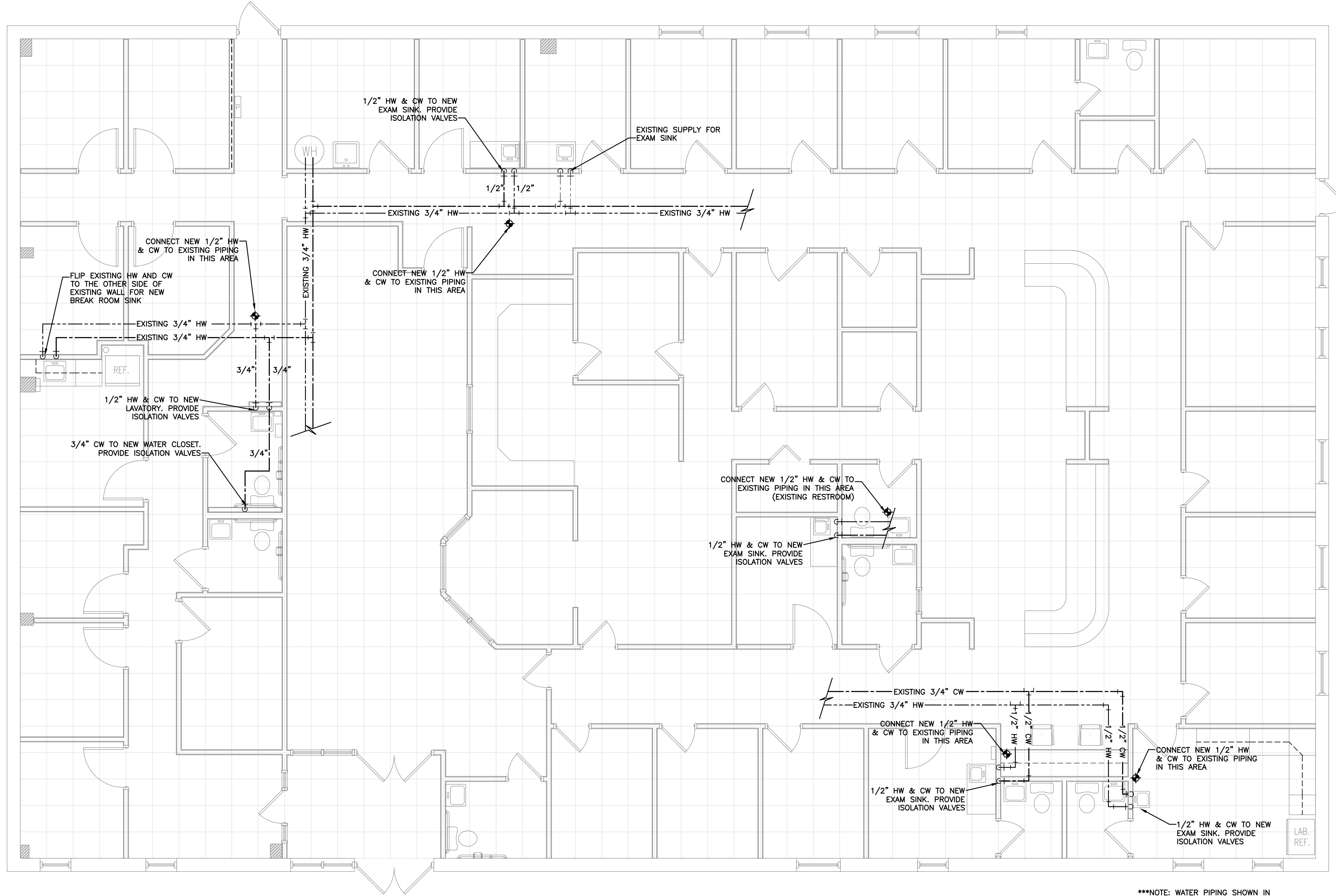
PROJECT: ALTERATION - LEVEL 2 OF HARNETT HEALTH
 7 E DUNCAN STREET, LILLINGTON, NORTH CAROLINA 27546

SHEET: PLUMBING SCHEDULES AND NOTES

1.25 MAR 2020: TOWN OF LILLINGTON REVIEW COMMENTS

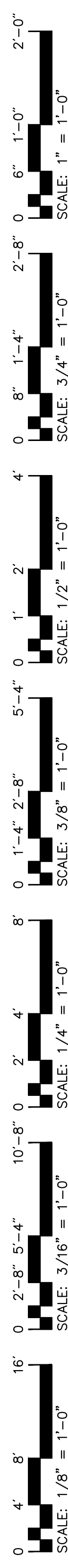
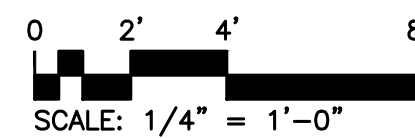
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***NOTE: WATER PIPING SHOWN IN THIS PLAN LAYOUT IS LOCATED ABOVE THE LAY-IN CEILING

1 NEW WATER PLAN
P2



1.25 MAR 2020: TOWN OF LILLINGTON REVIEW COMMENTS

PROJECT: ALTERATION - LEVEL 2 OF HARNETT HEALTH
 7 E DUNCAN STREET, LILLINGTON, NORTH CAROLINA 27546
 SHEET: NEW WATER PLAN



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 CONTRACTOR/BUILDER: RAYWEST DESIGN BUILD
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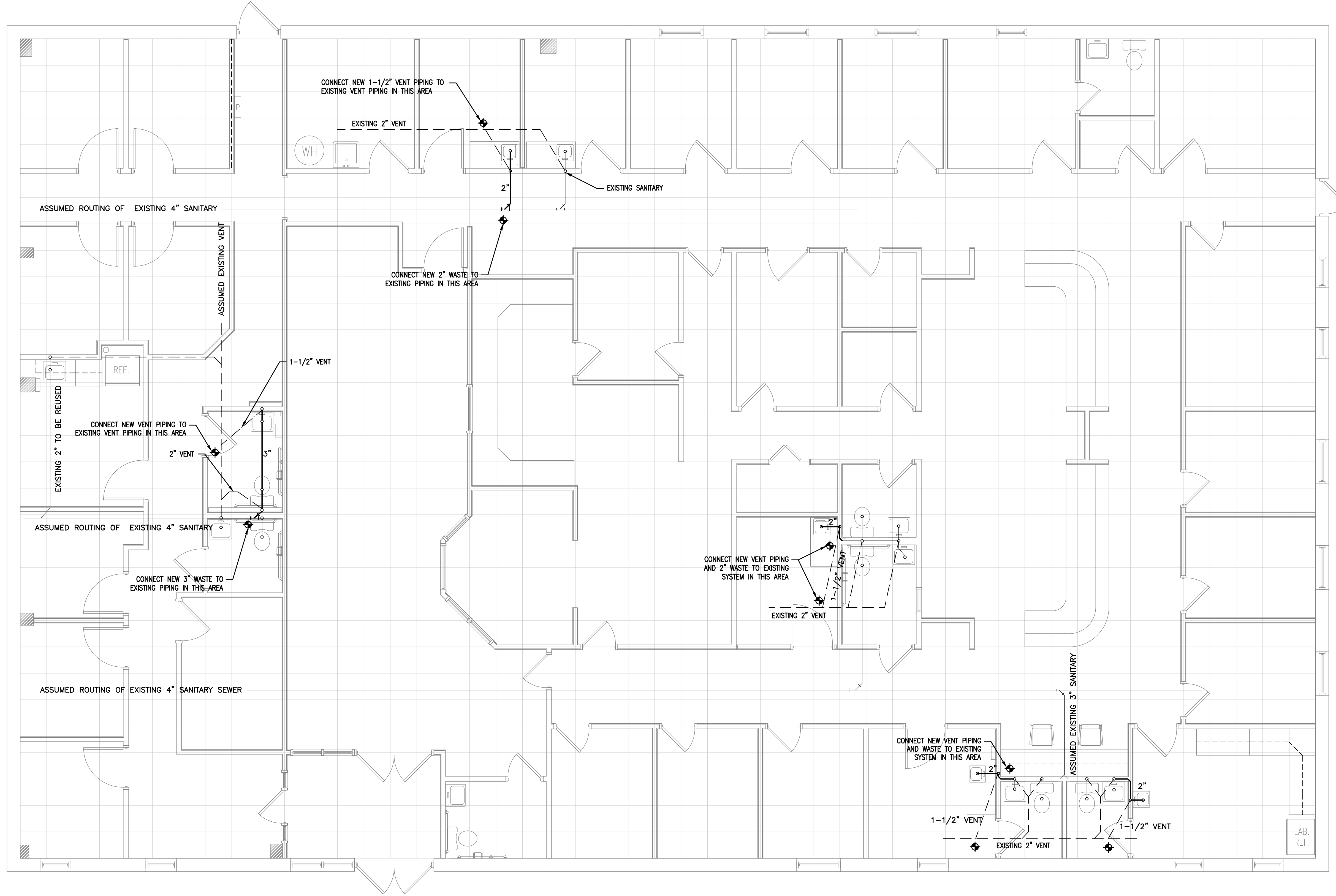
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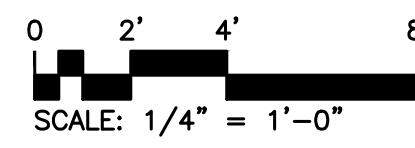
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 1582 MARTIN RD., FAYETTEVILLE, NC 28311-002
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P2

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1 NEW WASTE PLAN
P3



1.25 MAR 2020: TOWN OF LILLINGTON REVIEW COMMENTS

PROJECT:
ALTERATION - LEVEL 2 OF HARNETT HEALTH
 7 E DUNCAN STREET, LILLINGTON, NORTH CAROLINA 27546

SHEET:
NEW WASTE PLAN



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 OWNER/TENANT:
HARNETT HEALTH
 CONTRACTOR/BUILDER:
RAYWEST DESIGN BUILD
 2818 BAFFORD ROAD, SUITE 300 FAYETTEVILLE, NC 28303

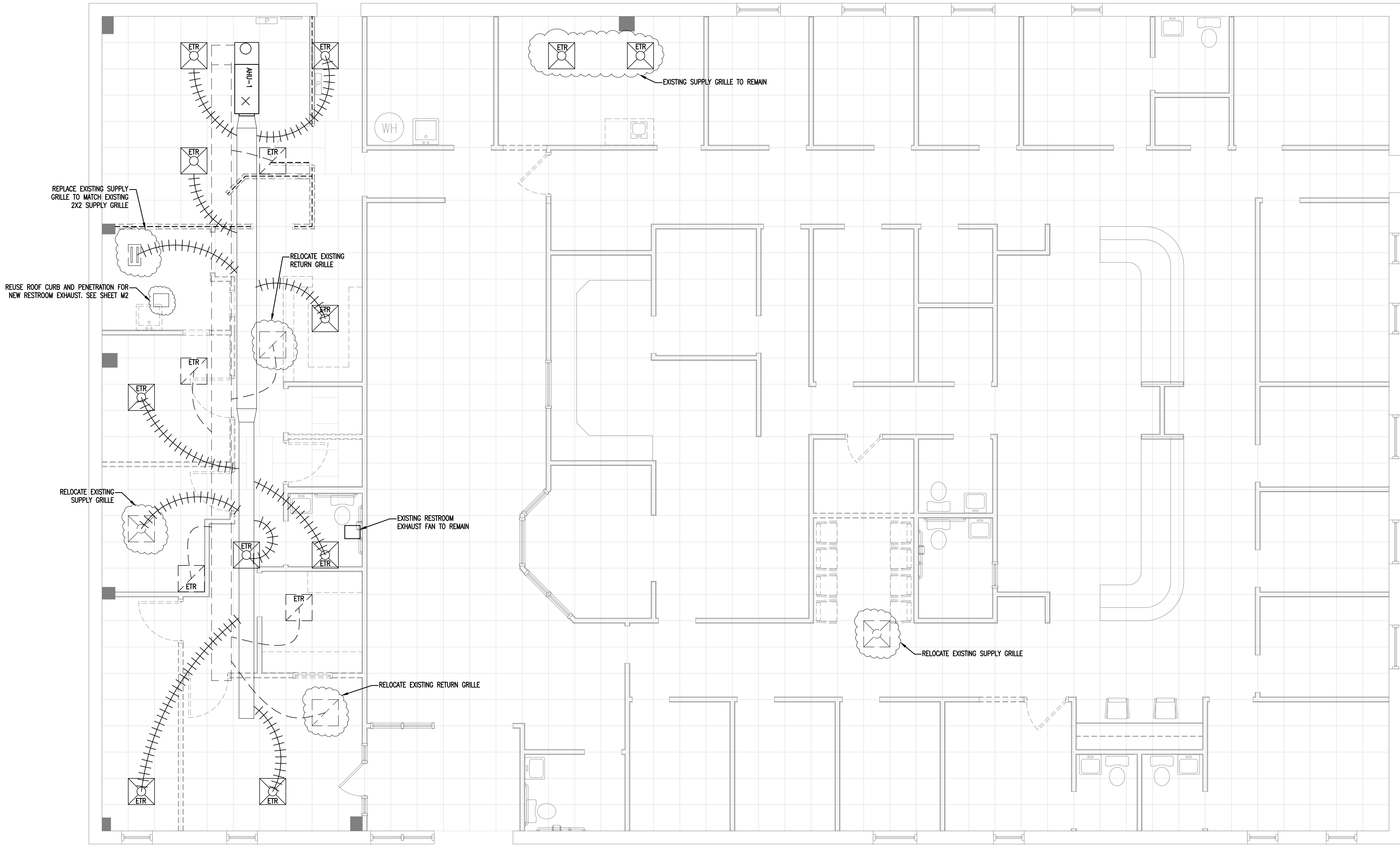
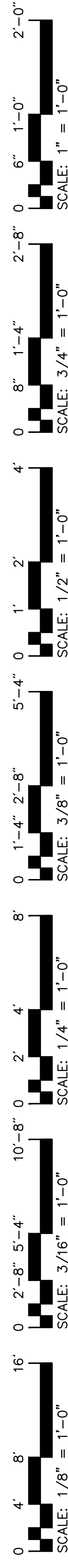
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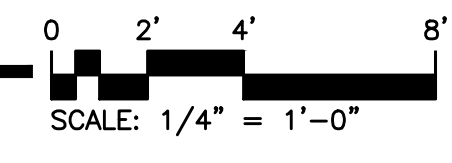
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P3

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1 EXISTING / DEMOLITION HVAC PLAN
M1



25 MAR 2020: TOWN OF LILLINGTON REVIEW COMMENTS

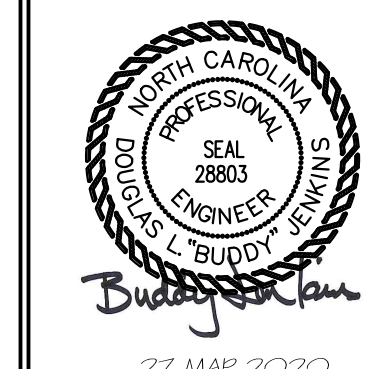
PROJECT:
ALTERATION - LEVEL 2 OF HARNETT HEALTH
 7 E DUNCAN STREET, LILLINGTON, NORTH CAROLINA 27546

SHEET:
EXISTING / DEMOLITION HVAC PLAN



FINAL DRAWING FOR REVIEW PURPOSES ONLY
 PRELIMINARY FOR DESIGN DEVELOPMENT ONLY
 FINAL DRAWING FOR CONSTRUCTION

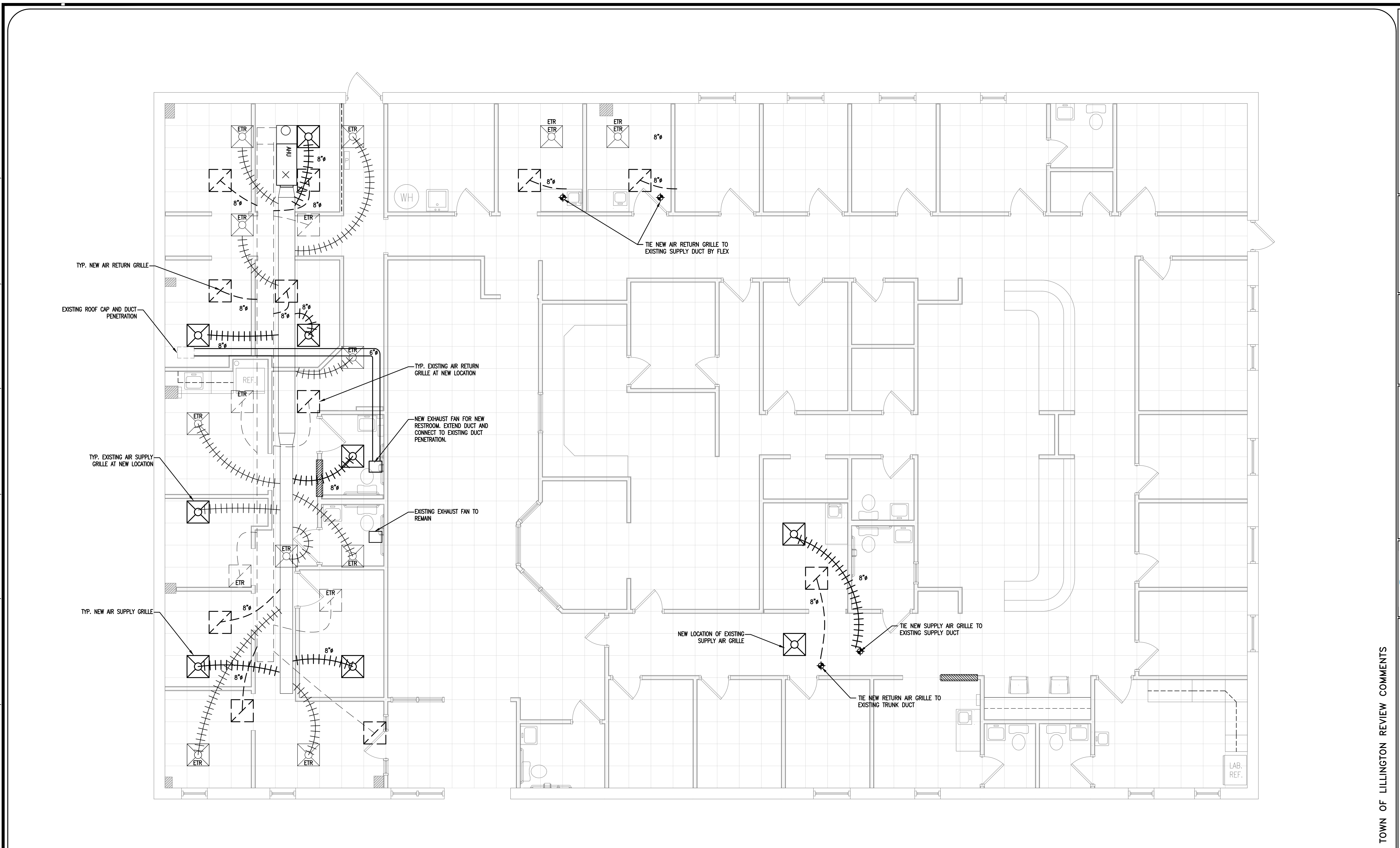
DESIGNED / CHECKED BY: BJ
 DRAWN BY: BT
 PROJECT #: 2020-01-12
 DATE: 27 MAR 2020



JENKINS
 CONSULTING ENGINEERS, PA
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 1582 MARTIN RD. FAYETTEVILLE, NC 28311-002
 CORPORATION/STATE OF NORTH CAROLINA
 OFFICE 910.822.1724 FAX 910.825.5907

M1

Drawing File: H:\2020\RoyWest\Briggs\REV1\REV1 - PME - Dr. Briggs - Lillington NC.dwg
 Plotted by: boot
 Plotted Date: Mar 27, 2020 - 12:59pm



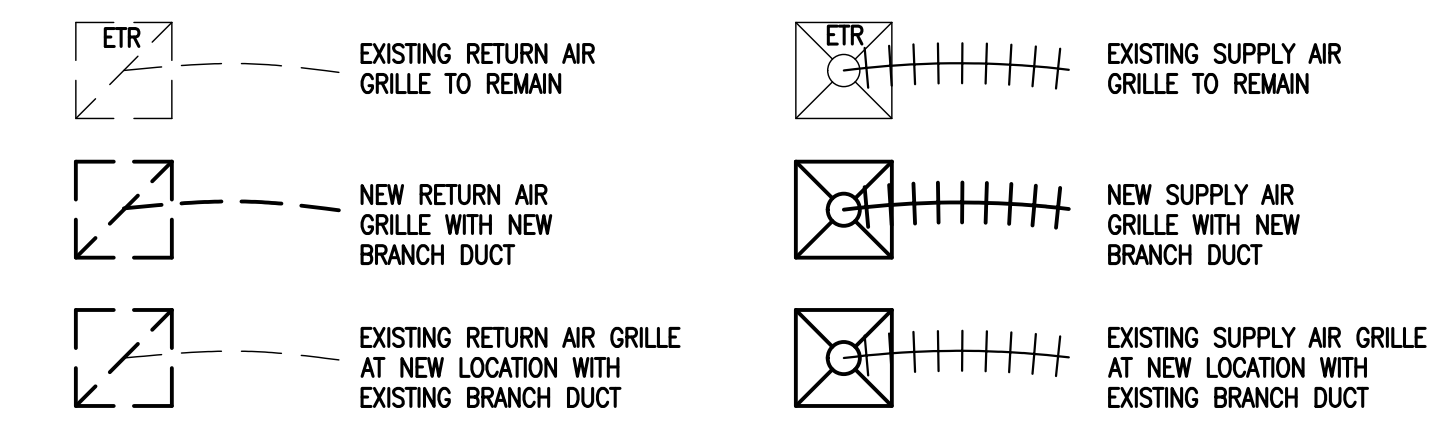
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M2

NEW HVAC PLAN

0 2' 4' 8'
 SCALE: 1/4" = 1'-0"

*****SCOPE OF WORK (HVAC):**
 REMOVE EXISTING SUPPLY GRILLE IN EXISTING DRYWALL CEILING.
 REMOVE EXISTING EXHAUST FAN IN EXISTING DRYWALL CEILING.
 RELOCATE (2) EXISTING RETURN GRILLE AND (2) 2X2 AIR SUPPLY GRILLE TO NEW LOCATION.
 INSTALL (1) NEW EXHAUST FAN IN NEW RESTROOM
 INSTALL (8) 2X2 SUPPLY GRILLE AND (7) 2X2 RETURN GRILLE.
*****NOTE:** DUCT LAYOUT SHOWN REPRESENTS ASSUMED ROUTING OF MAIN SUPPLY AND RETURN TRUNK DUCTS. NO ADDITION HEATING AND COOLING LOADS ARE ADDED BY THIS RENOVATION.

DUCT LEGEND



1.25 MAR 2020: TOWN OF LILLINGTON REVIEW COMMENTS

PROJECT:
ALTERATION - LEVEL 2 OF HARNETT HEALTH
 7 E DUNCAN STREET, LILLINGTON, NORTH CAROLINA 27546
 SHEET:
NEW HVAC PLAN



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 FINAL DRAWING FOR CONSTRUCTION

OWNER/TENANT:
HARNETT HEALTH
 CONTRACTOR/BUILDER:
RAYWEST DESIGN BUILD
 2818 BAFFORD ROAD, SUITE 300 FAYETTEVILLE, NC 28403

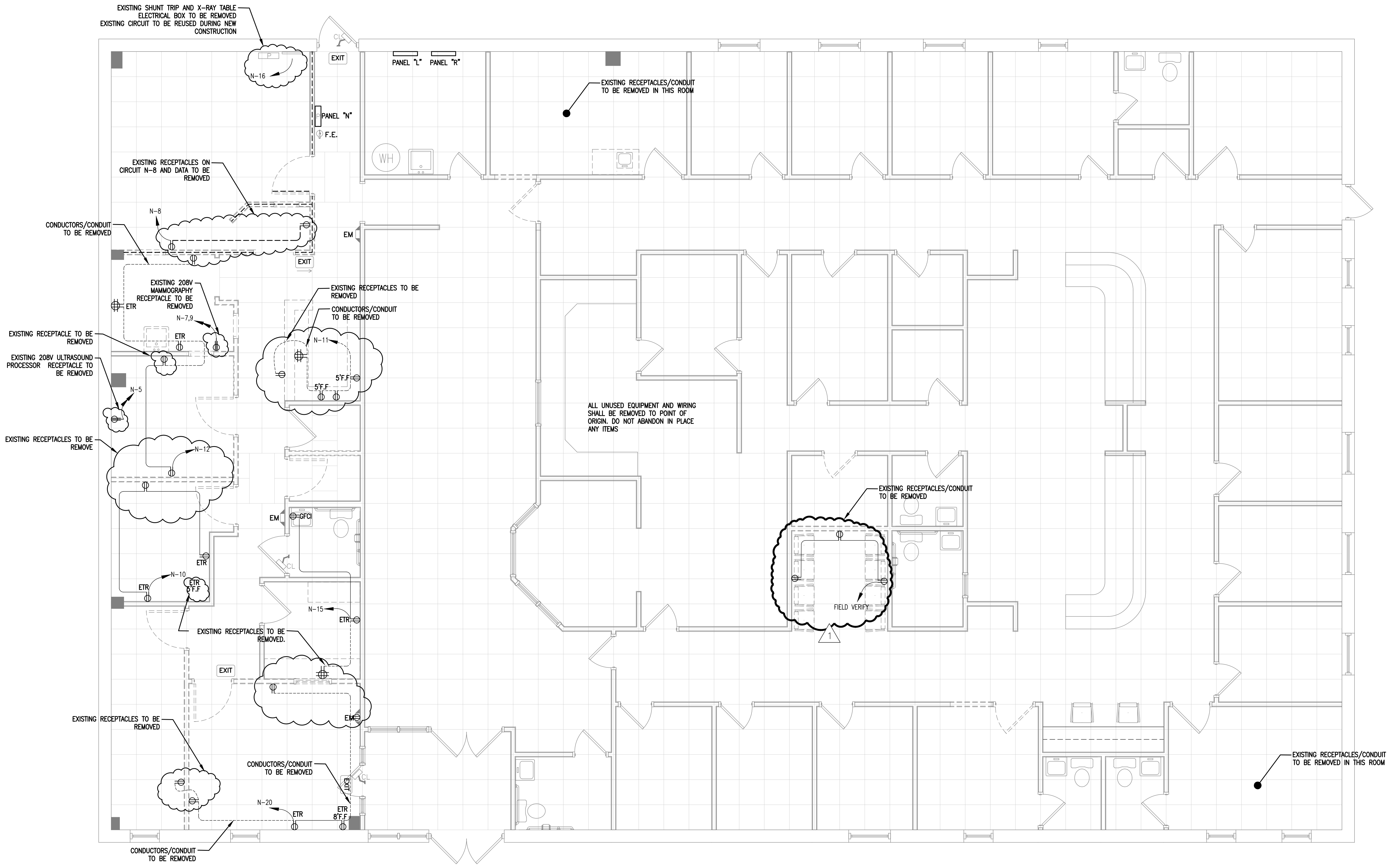
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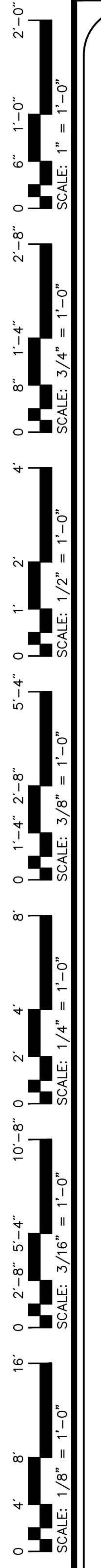
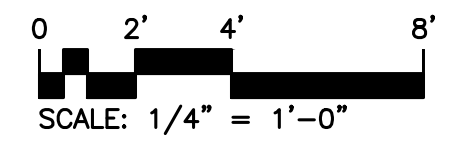
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1 EXISTING / DEMOLITION POWER PLAN
E2

*NOTE: VERIFY EXISTING CIRCUIT ROUTING AND BREAKERS



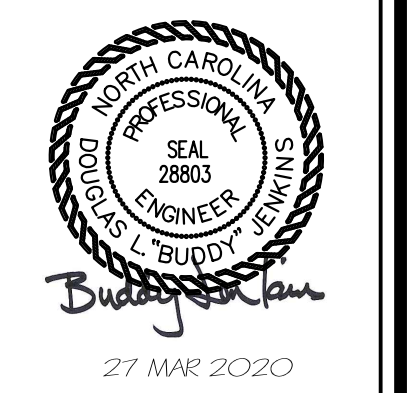
1.25 MAR 2020: TOWN OF LILLINGTON REVIEW COMMENTS

PROJECT: ALTERATION - LEVEL 2 OF HARNETT HEALTH
 7 E DUNCAN STREET, LILLINGTON, NORTH CAROLINA 27546
 SHEET: EXISTING / DEMOLITION POWER PLAN



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 OWNER/TENANT: HARNETT HEALTH
 CONTRACTOR/BUILDER: RAYWEST DESIGN BUILD
 2818 BAFFORD ROAD, SUITE 300 FAYETTEVILLE, NC 28303

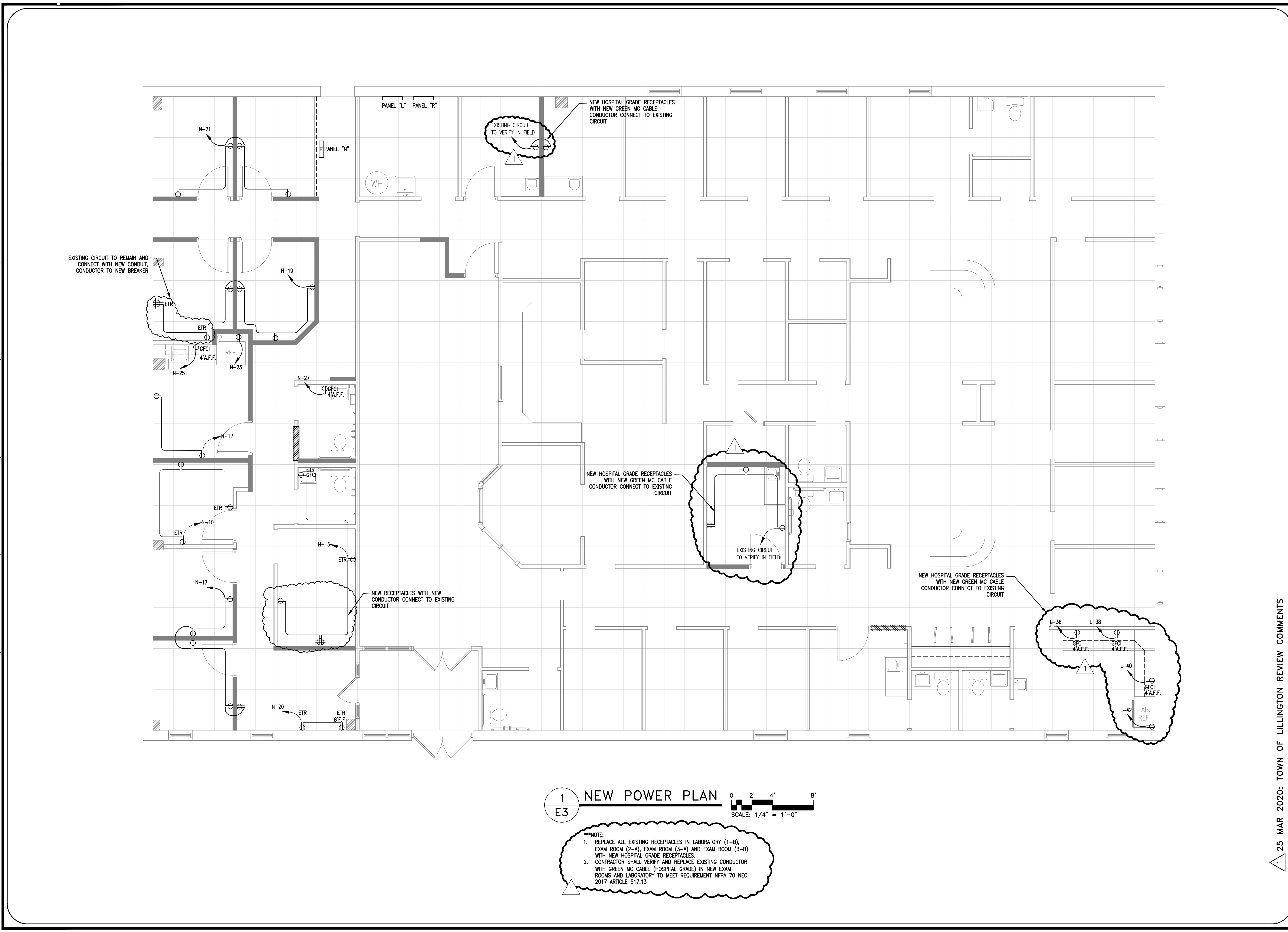
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1E2

Drawing File: H:\2020\RoyWest\Briggs\REV1\REV1 - PME-Dr-Briggs-LillingtonNC.dwg
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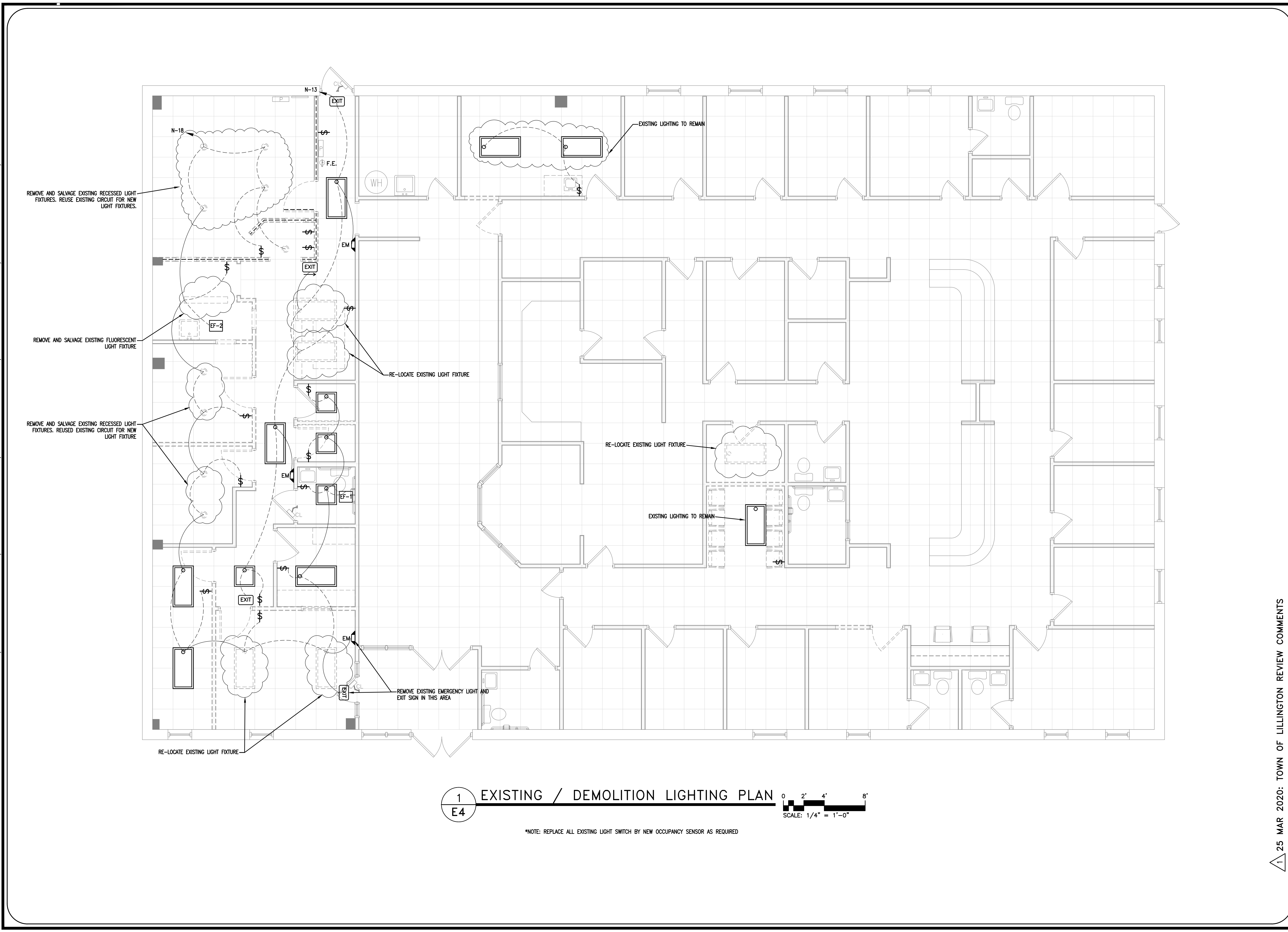
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E3 NEW POWER PLAN
 SCALE: 1/4" = 1'-0"

***NOTE:
 1. REPLACE ALL EXISTING RECEPTACLES IN LABORATORY (1-B), EXAM ROOM (2-A), EXAM ROOM (3-A) AND EXAM ROOM (3-B) WITH NEW HOSPITAL GRADE RECEPTACLES.
 2. CONTRACTOR SHALL VERIFY AND REPLACE EXISTING CONDUCTOR WITH GREEN MC CABLE (HOSPITAL GRADE) IN NEW EXAM ROOMS AND LABORATORY TO MEET REQUIREMENT NFPA 70 NEC 2017 ARTICLE 517.13

1 MAR 2020: TOWN OF LILLINGTON REVIEW COMMENTS

 <small>OFFICE IN EUREKA SPRINGS, NORTH CAROLINA 1582 MARTIN RD., FAYETTEVILLE, NC 28114-002 CORPORATION/STATE NO. 1582 OFFICE 910.822.1724 FAX 910.825.5907</small>	 <small>27 MAR 2020</small>	DESIGNED / CHECKED BY: BJ DRAWN BY: BT PROJECT #: 2020-01-12 DATE: 27 MAR 2020	<small>FINAL DRAWING <input type="checkbox"/> FOR REVIEW PURPOSES ONLY PRELIMINARY <input type="checkbox"/> FOR DESIGN DEVELOPMENT ONLY FINAL DRAWING <input checked="" type="checkbox"/> FOR CONSTRUCTION</small> OWNER/TENANT: HARNETT HEALTH CONTRACTOR/BUILDER: RAYWEST DESIGN BUILD <small>2818 BAFFORD ROAD, SUITE 300 FAYETTEVILLE, NC 28303</small>
 	ALTERATION - LEVEL 2 OF HARNETT HEALTH 7 E DUNCAN STREET, LILLINGTON, NORTH CAROLINA 27546 SHEET: NEW POWER PLAN		
E3			

Drawing File: H:\2020\RoyWest\Briggs\REV1\REV1 - PME - Dr: Briggs - Lillington\nc.dwg
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1 EXISTING / DEMOLITION LIGHTING PLAN

 0 2' 4' 8'
 SCALE: 1/4" = 1'-0"

*NOTE: REPLACE ALL EXISTING LIGHT SWITCH BY NEW OCCUPANCY SENSOR AS REQUIRED

SCALE: 1/8" = 1'-0" (0 to 8')
 SCALE: 3/16" = 1'-0" (0 to 16')
 SCALE: 1/4" = 1'-0" (0 to 4')
 SCALE: 3/8" = 1'-0" (0 to 8')
 SCALE: 1/2" = 1'-0" (0 to 2')
 SCALE: 3/4" = 1'-0" (0 to 1'-4")
 SCALE: 1" = 1'-0" (0 to 2'-8")
 SCALE: 1" = 1'-0" (0 to 6")
 SCALE: 1" = 1'-0" (0 to 1'-0")
 SCALE: 1" = 1'-0" (0 to 2'-0")

1.25 MAR 2020: TOWN OF LILLINGTON REVIEW COMMENTS

PROJECT:
ALTERATION - LEVEL 2 OF HARNETT HEALTH
 7 E DUNCAN STREET, LILLINGTON, NORTH CAROLINA 27546

SHEET:
EXISTING / DEMOLITION LIGHTING PLAN



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OWNER/TENANT:
HARNETT HEALTH
 CONTRACTOR/BUILDER:
RAYWEST DESIGN BUILD
 2818 BAFFORD ROAD, SUITE 300 FAYETTEVILLE, NC 28303

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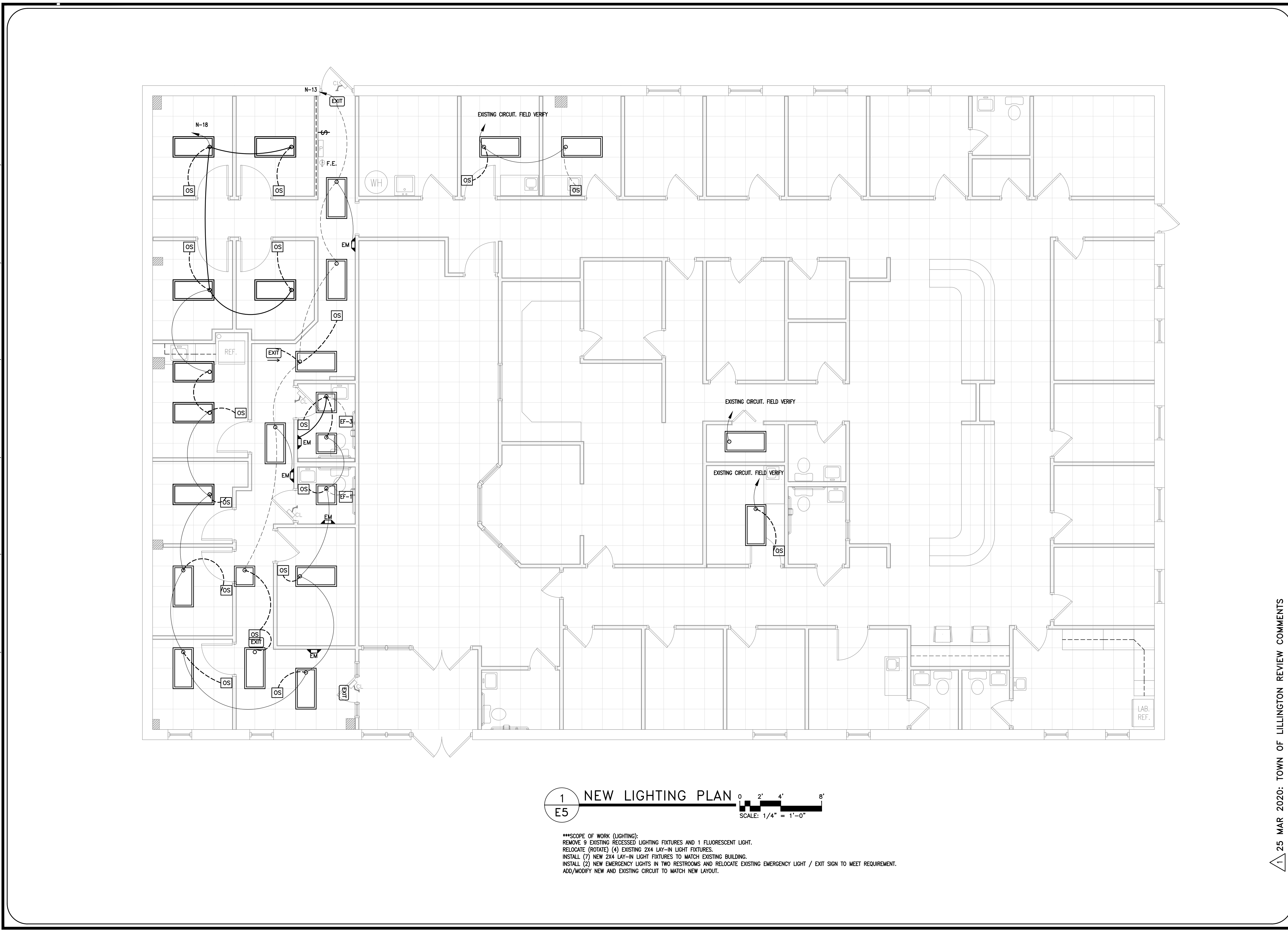
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E4

Drawing File: H:\2020\RoyWest\Briggs\REV1\REV1 - PME - Dr. Briggs - Lillington NC.dwg
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1 NEW LIGHTING PLAN
E5

***SCOPE OF WORK (LIGHTING):
 REMOVE 9 EXISTING RECESSED LIGHTING FIXTURES AND 1 FLUORESCENT LIGHT.
 RELOCATE (ROTATE) (4) EXISTING 2X4 LAY-IN LIGHT FIXTURES.
 INSTALL (7) NEW 2X4 LAY-IN LIGHT FIXTURES TO MATCH EXISTING BUILDING.
 INSTALL (2) NEW EMERGENCY LIGHTS IN TWO RESTROOMS AND RELOCATE EXISTING EMERGENCY LIGHT / EXIT SIGN TO MEET REQUIREMENT.
 ADD/MODIFY NEW AND EXISTING CIRCUIT TO MATCH NEW LAYOUT.

25 MAR 2020: TOWN OF LILLINGTON REVIEW COMMENTS

PROJECT:
ALTERATION - LEVEL 2 OF HARNETT HEALTH
 7 E DUNCAN STREET, LILLINGTON, NORTH CAROLINA 27546

SHEET:
NEW LIGHTING PLAN

E5

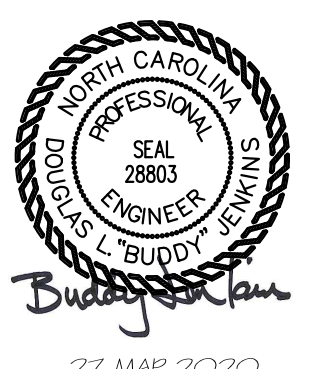
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CONTRACTOR/BUILDER:
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 2818 BAFFORD ROAD, SUITE 300 FAYETTEVILLE, NC 28303



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