

**2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS**

Name of Project: **AFTERBURNER CIGAR STORE**
 Address: **506 WEST FRONT STREET, LILLINGTON, NORTH CAROLINA** Zip Code: **27546**
 Owner/Authorized Agent: **NICHOLAS JONES** Phone: **(919) 358-9332** E-Mail: **njones22unm@gmail.com**
 Owned By: City/County Private State
 Code Enforcement Jurisdiction: City County **HARNETT COUNTY** State

CONTACT: ANDREW W. PRIVETTE, AIA

DESIGNER	FIRM	NAME	LICENSE TELEPHONE	EMAIL
Architectural	DESIGNED TO BUILD	Andrew Privette	3877 910-485-8567	andy@designedtobuild.com
Civil				
Electrical				
Fire Alarm				
Plumbing				
Mechanical				
Sprinkler-Standpipe				
Structural				
Retaining Walls >5' High				
Other				

2018 NC BUILDING CODE: New Building Shell/Core 1st Time Interior Completions
 Addition Phased Construction-Shell Core
2018 NC EXISTING BUILDING CODE: Prescriptive Alteration Level 1 Historic Property
 Repair Alteration Level 2 Change of Use
 Chapter 14 Alteration Level 3
CONSTRUCTED: (date) 1940
CURRENT OCCUPANCY(S) (Ch. 3): VACANT
RENOVATED: (date) 2020
PROPOSED OCCUPANCY(S) (Ch. 3): MERCANTILE
OCCUPANCY CATEGORY (Table 1604.5): **Current:** _____ **Proposed:** _____

BASIC BUILDING DATA

Construction Type: I-A II-A III-A IV V-A
 I-B II-B III-B V-B

Sprinklers: No Partial NFPA 13 NFPA 13R NFPA 13D

Standpipes: No Class I II III Wet Dry

Primary Fire District: No Yes **Flood Hazard Area:** No Yes

Special Inspections Required: No Yes **Fire Flow:** **2,000 GPM, 2 HRS**

GROSS BUILDING AREA TABLE

FLOOR	EXISTING (SQ FT)	NEW (SQ FT)	SUB-TOTAL
3 rd Floor			
2 nd Floor			
Mezzanine	1,200		1,200
1 st Floor	2,815		2,815
Basement			
Total	4,015		4,015

ALLOWABLE AREA

Primary Occupancy Classification(s):
 Assembly A-1 A-2 A-3 A-4 A-5
 Business
 Educational
 Factory F-1 Moderate F-2 Low
 Hazardous H-1 Detonate H-2 Deflagrate H-3 Combust H-4 Health H-5 HPM
 Institutional I-1 I-2 I-3 I-4
 I-3 Condition 1 2
 I-2 Condition 1 2
 I-3 Condition 1 2 3 4 5
 Mercantile
 Residential R-1 R-2 R-3 R-4
 Storage S-1 Moderate S-2 Low High Piled
 Parking Garage Open Enclosed
 Utility and Miscellaneous

Accessory Occupancy Classification(s): **N/A**
Incidental Uses (Table 509): **N/A**
Special Uses (Chapter 4 - List Code Sections): **N/A**
Special Provisions (Chapter 5 - List Code Sections): **N/A**
Mixed Occupancy: No Yes Separation: _____ Hr. Exception: _____
 Non-separated Use (508.3)
 Separated Use (508.4) - See below for area calculations for each story.

$$\frac{\text{Actual Area of Occupancy A}}{\text{Allowable Area of Occupancy A}} + \frac{\text{Actual Area of Occupancy B}}{\text{Allowable Area of Occupancy B}} + \dots \leq 1$$

STORY NO.	DESCRIPTION AND USE	(A) BLDG AREA PER STORY (ACTUAL)	(B) TABLE 506.2 ¹ AREA	(C) AREA FOR FRONTAGE INCREASES ²	(D) ALLOWABLE AREA PER STORY OR UNLIMITED ³
1ST	MERCANTILE	4,015	9,000	0	9,000

¹ Frontage area increases from Section 506.2 are computed thus:
 a. Perimeter which fronts a public way or open space having 20 feet minimum width = 0 (F)
 b. Total Building Perimeter = 0 (P)
 c. Ratio (F/P) = 0 (F/P)
 d. W = Minimum width of public way = 0 (W)
 e. Percent of frontage increase I = 100(F/P - 0.25) x W/30 = 0 (%)
² Unlimited area applicable under conditions of Section 507.
³ Maximum Building Area - total number of stories in the building x D (maximum 3 stories) (506.2).
⁴ The maximum area of open parking garages must comply with Table 406.5.4. The maximum area of air traffic control towers must comply with Table 412.3.1.
⁵ Frontage increase is based on the un-sprinklered area value in Table 506.2.

ALLOWABLE HEIGHT

	ALLOWABLE	SHOWN ON PLANS	CODE REFERENCE
Building Height in Feet (Table 504.3)	40	18	
Building Height in Stories (Table 504.4)	1	1	

Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4.

FIRE PROTECTION REQUIREMENTS - EXISTING (NO CHANGE)

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	REQ'D	NOTING PROVIDED (W/ REDUCTION)	DETAIL # AND SHEET #	DESIGN # FOR RATED ASSEMBLY	SHEET # FOR RATED PENETRATION	SHEET # FOR RATED JOINTS
Structural Frame, including columns, girders, trusses							
Bearing Walls:							
Exterior							
North							
East							
West							
South							
Interior							
Nonbearing Walls and Partitions:							
Exterior							
North							
East							
West							
South							
Interior							
Floor Construction including supporting beams and joists							
Floor Ceiling Assembly							
Columns Supporting Floors							
Roof Construction including supporting beams and joists							
Roof Ceiling Assembly							
Columns Supporting Roof							
Shaft Enclosures - Elev							
Shaft Enclosures - Other							
Corridor Separation							
Occupancy/Fire Barrier Separation							
Party/Fine Wall Separation							
Smoke Barrier Separation							
Smoke Partition							
Tenant/Dwelling Unit/Sleeping Unit Separation							
Incidental Use Separation							

* Indicate section number permitting reduction

PERCENTAGE OF WALL OPENING CALCULATIONS - EXISTING (NO CHANGE)

FIRE SEPARATION DISTANCE (FEET) FROM PROPERTY LINES	DEGREE OF OPENINGS PROTECTION (TABLE 705.8)	ALLOWABLE AREA (%)	ACTUAL SHOWN ON PLANS (%)

LIFE SAFETY SYSTEM REQUIREMENTS

Emergency Lighting: Yes No
 Exit Signs: Yes No
 Fire Alarm: Yes No
 Smoke Detection System: Yes No
 Carbon Monoxide Detection: Yes No

LIFE SAFETY PLAN REQUIREMENTS

Life Safety Plan Sheet #: **G-102**

Fire and/or smoke rated wall locations (Chapter 7)
 Assumed and real property line locations (if not on the site plan)
 Exterior wall opening area with respect to distance to assumed property lines (705.8)
 Occupancy Use for each area as it relates to occupant load calculation (Table 1004.1.2)
 Occupant loads for each area
 Exit access travel distances (1017)
 Common path of travel distances (Tables 1006.2.1 & 1006.3.2(1))
 Dead end lengths (1020.4)
 Clear exit widths for each exit door
 Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3)
 Actual occupant load for each exit door
 A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation
 Location of doors with panic hardware (1010.1.10)
 Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)
 Location of doors with electromagnetic egress locks (1010.1.9.9)
 Location of doors equipped with hold-open devices
 Location of emergency escape windows (1030)
 The square footage of each fire area (202)
 The square footage of each smoke compartment for Occupancy Classification I-2 (407.5)
 Note any code exceptions or table notes that may have been utilized regarding the items above

ACCESSIBLE DWELLING UNITS (SECTION 1107) - N/A

TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE A UNITS REQUIRED	TYPE A UNITS PROVIDED	TYPE B UNITS REQUIRED	TYPE B UNITS PROVIDED	TOTAL ACCESSIBLE UNITS PROVIDED

ACCESSIBLE PARKING (SECTION 1106) - EXISTING (NO CHANGE)

LOT OR PARKING AREA	TOTAL # OF PARKING SPACES REQUIRED	PROVIDED	# OF ACCESSIBLE SPACES PROVIDED			TOTAL # ACCESSIBLE PROVIDED
			REGULAR WITH 5' ACCESS AISLE	132" ACCESS AISLE	8' ACCESS AISLE	
TOTAL						

PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1)

USE	WATER CLOSETS			URINALS			LAVATORIES			TUB SHOWER	DRINKING FOUNTAINS		SERVICE SINK
	MALE	FEMALE	UNSEX	MALE	FEMALE	UNSEX	MALE	FEMALE	UNSEX		REGULAR	ACCESSIBLE	
REQ'D	0	0	1/500	NR	0	0	1/750	NR	NR	NR	Tover100	1	
EXIST'G	0	0	0	0	0	0	0	0	0	0	0	0	
NEW	0	0	1	0	0	0	1	0	0	0	0	1	

SPECIAL APPROVALS - N/A

Special approval: (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, etc., describe below)

ENERGY SUMMARY - EXISTING (NO CHANGE)

ENERGY REQUIREMENTS:
 Existing building envelope complies with code: (If checked, the remainder of this section is not applicable.)

Exempt Building: Provide code or statutory reference:
 Climate Zone: 3A 4A 5A
Method of Compliance:
 Energy Code: Performance Prescriptive
 ASHRAE 90.1: Performance Prescriptive
 Other: Performance (If "Other" specify source here)

THERMAL ENVELOPE (Prescriptive method only)

Roof/Ceiling Assembly (each assembly)
 Description of assembly: _____
 U-Value of total assembly: _____
 R-Value of insulation: _____
 Skylights in each assembly: _____
 U-Value of skylight: _____
 total square footage of skylights in each assembly: _____

Exterior Walls (each assembly)
 Description of assembly: _____
 U-Value of total assembly: _____
 R-Value of insulation: _____
 Openings (windows or doors with glazing)
 U-Value of assembly: _____
 Solar heat gain coefficient: _____
 projection factor: _____
 Door R-Values: _____

Walls below grade (each assembly)
 Description of assembly: _____
 U-Value of total assembly: _____
 R-Value of insulation: _____

Floors over unconditioned space (each assembly)
 Description of assembly: _____
 U-Value of total assembly: _____
 R-Value of insulation: _____

Floors slab on grade
 Description of assembly: _____
 U-Value of total assembly: _____
 R-Value of insulation: _____
 Horizontal/vertical requirement: _____

LIST OF DRAWINGS

INFORMATIONAL
 G-101 BUILDING CODE SUMMARY
 G-102 LIFE SAFETY PLAN, ACCESSIBILITY DIMENSIONS

ELECTRICAL
 UNDER SEPARATE COVER (BY OTHER)

MECHANICAL
 UNDER SEPARATE COVER (BY OTHER)

PLUMBING
 UNDER SEPARATE COVER (BY OTHER)

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**AFTERBURNER CIGAR STORE
 BUILDING RENOVATION
 506 WEST FRONT STREET
 LILLINGTON, NORTH CAROLINA**

DATE	DESCRIPTION	UNIT	MARK

JOB CODE: Z0AFTERBURNER
 DRAWN BY: S.S.TOPE
 CHECKED BY: A. PRIVETTE
 COPYRIGHT: DESIGNED TO BUILD

SHEET TITLE:
**BUILDING CODE SUMMARY
 & LIFE SAFETY PLAN
 MAY 27, 2020**

G-101
 SHEET 1 OF 2

DRAWINGS, SPECIFICATIONS AND THE DESIGN ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. WHEREAS THE PROJECT FOR WHICH THEY ARE PREPARED IS DESCRIBED AS NOT, THE DRAWINGS AND SPECIFICATIONS SHALL NOT BE USED BY THE PROJECT OWNER OR ANY OTHER PARTY FOR OTHER PROJECTS, ADDITIONS TO THIS PROJECT, OR FOR COMPLETION OF THIS PROJECT EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT. Z0AFTERBURNER