

FLOODPLAIN NOTE:
THIS ENTIRE PROJECT LIES IN ZONE "X", 0.2% ANNUAL CHANCE FLOOD HAZARD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTH LESS THAN ONE FOOT OR WITH DRAINAGE AREAS LESS THAN ONE SQUARE MILE, ACCORDING TO THE MOST RECENT OFFICIAL FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 372064000J, DATED 10/3/2006.

SITE IMPERVIOUS AREA SUMMARY

- TOTAL SITE AREA = 0.92± ACRES
- PROJECT IMPERVIOUS SURFACE AREA (BUILT-UPON AREA) = 0.64± ACRES
- 69.6% BUILT-UPON AREA

SIDEWALK RAMP LEGEND AND NOTES

PLAN VIEW LOCATION:

NC DOT SIDEWALK RAMP "TYPE 2" MODIFIED (ONE-SIDED RAMP ONLY; OMIT CURB) (2M)

NC DOT STANDARD CURB RAMP PER 848.05 (CR)

PERPENDICULAR ADA RAMP (SPECIAL) (P)

- NOTES:**
- REFER TO NC DOT STANDARD DRAWINGS 848.05/848.06 FOR COMPLETE REQUIREMENTS. SEE DETAIL SHEET FOR DETECTABLE WARNING SYSTEM PLACEMENT AND RELATED DETAILS.
 - RAMP, LANDING, AND FLARE CONSTRUCTION SHALL CONFORM TO NC DOT STANDARD DRAWINGS AND ADA REQUIREMENTS.
 - TRANSITION GUTTER PAN AT BOTTOM OF RAMP TO PROVIDE A MAXIMUM 5.0% COUNTER SLOPE ACROSS RAMP OPENING. REFER TO NC DOT STANDARD DRAWINGS (APPLIES TO ALL RAMPS AT CURB).
 - LANDINGS SHALL BE 4'x4' MINIMUM WITH A MAXIMUM 2% SLOPE IN ANY DIRECTION (TYP.).
 - LANDING WIDTH SHALL MATCH RAMP WIDTH (TYP.). NO OBSTRUCTIONS ARE PERMITTED WITHIN LANDING AREA IF RESULTING CLEAR WIDTH WOULD BE LESS THAN RAMP WIDTH.
 - MAXIMUM PERMISSIBLE SIDEWALK OR RAMP TRANSVERSE SLOPE IS 2%.
 - DETECTABLE WARNING SURFACES SHALL BE A MINIMUM OF 24" IN DEPTH IN THE DIRECTION OF PEDESTRIAN TRAVEL AND EXTEND THE FULL WIDTH OF THE CURB RAMP OR LANDING WHERE THE PEDESTRIAN ACCESS ROUTE ENTERS THE STREET OR VEHICULAR TRAFFIC AREA.
 - DETECTABLE WARNING SURFACES SHALL BE LOCATED SO THAT THE EDGE NEAREST THE CURB LINE IS AT THE BACK OF CURB PER PLANS AND DETAILS. ALIGN THE ROWS OF DOMES TO BE PERPENDICULAR TO THE GRADE BREAK BETWEEN THE RAMP RUN AND THE STREET OR VEHICULAR TRAFFIC AREA.
 - DETECTABLE WARNING AND RAMP SURFACES MUST BE SLIP RESISTANT AND NOT ALLOW WATER TO ACCUMULATE.
 - OMIT CONCRETE CURB FROM NC DOT STANDARD RAMP TYPE 2 (NO CURB REQUIRED ADJACENT TO BUILDING).
 - ALL PROPOSED CURB RAMPS AT EXISTING ROADWAYS SHALL BE DESIGNED IN THE FIELD FOR GRADES AND SLOPES BASED ON EXISTING PAVEMENT AND CURB ELEVATIONS. THE CONTRACTOR IS RESPONSIBLE FOR DESIGNING AND INSTALLING ALL SUCH RAMPS IN ACCORDANCE WITH NC DOT AND ADA CRITERIA. COORDINATE FINAL GRADES WITH MUNICIPAL INSPECTOR.

GENERAL NOTES:

- THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT:
- ALL DIMENSIONS SHOWN ARE TO EDGE OF PAVEMENT, FACE OF CURB, FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING, PROPERTY LINE, OR CENTER OF UTILITY STRUCTURE UNLESS OTHERWISE NOTED.
 - ALL DISTURBANCES INCURRED TO ANY ADJOINING PROPERTY OR EXISTING AREA OUTSIDE THE SCOPE OF THIS PROJECT DUE TO CONSTRUCTION OR DEMOLITION SHALL BE RESTORED TO THE PREVIOUS CONDITION OR BETTER, AND TO THE SATISFACTION OF THE OWNER, MUNICIPALITY, OR STATE AUTHORITY.
 - BUILDING DIMENSIONS SHOWN ON THESE CIVIL PLANS ARE FOR REFERENCE ONLY. REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR PRECISE BUILDING DIMENSIONS.
 - PROPERTY LINE AND RIGHT-OF-WAY MONUMENTS SHALL NOT BE DISTURBED BY CONSTRUCTION. IF DISTURBED, THEY SHALL BE RESET TO THEIR ORIGINAL LOCATIONS AT THE CONTRACTOR'S EXPENSE BY A LICENSED LAND SURVEYOR.
 - PROOF ROLL BUILDING AND ALL PAVEMENT AREAS. NOTIFY AUTOZONE OF ANY UNACCEPTABLE AREAS ON THE AUTOZONE SITE. SEE PROJECT SPECIFICATIONS AND GEOTECHNICAL ENGINEERING REPORT FOR ON-SITE REQUIREMENTS.
 - ALL WORK WITHIN THE NORTH MAIN STREET / NC HIGHWAY 210 RIGHT-OF-WAY SHALL CONFORM TO THE REQUIREMENTS, DETAILS, AND SPECIFICATIONS OF THE NORTH CAROLINA DOT. A PERMIT MUST BE SECURED PRIOR TO ANY WORK WITHIN THE RIGHT-OF-WAY.
 - THE CONTRACTOR SHALL COORDINATE ALL REQUIRED INSPECTIONS WITH THE APPROPRIATE MUNICIPALITIES PRIOR TO AND DURING CONSTRUCTION OF THIS PROJECT.
 - THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION TO AUTOZONE INC. AND THE TOWN OF LILLINGTON (AS REQUIRED) AT THE END OF CONSTRUCTION.
 - IF REQUIRED BY THE FIRE OFFICIAL, "NO PARKING-FIRE LANE" SIGNS SHALL BE POSTED ALONG ALL FIRE LANES AT INTERVALS REQUIRED BY THE FIRE AUTHORITY.
 - ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE TOWN OF LILLINGTON, HARNETT COUNTY REGIONAL WATER, CONTRACT DOCUMENTS AND NC DOT CURRENT STANDARDS AND REGULATIONS AS APPLICABLE.
 - THE CONTRACTOR SHALL NOTIFY THE TOWN AND ALL OTHER INVOLVED MUNICIPAL AGENCIES 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION UNLESS OTHERWISE DIRECTED BY SAME.
 - CHAPTER 14 OF THE IFC (FIRE SAFETY DURING CONSTRUCTION) SHALL BE ADHERED TO DURING ALL CONSTRUCTION ACTIVITIES FOR THIS PROJECT.
 - CONTRACTOR SHALL MAINTAIN TRAFFIC AT ALL TIMES IN ACCORDANCE WITH NC DOT, TOWN OF LILLINGTON, AND STATE MUTCD REQUIREMENTS AS APPLICABLE FOR THIS PROJECT.
 - CONTRACTOR MUST PREPARE AND SUBMIT A TRAFFIC CONTROL PLAN FOR NC DOT REVIEW AND APPROVAL PRIOR TO ANY TRAFFIC IMPACTS WITHIN THE NORTH MAIN STREET / NC HIGHWAY 210 RIGHT-OF-WAY. THE CONTRACTOR IS RESPONSIBLE FOR THE PREPARATION OF SAID PLANS AND SUPPORTING DOCUMENTATION AS REQUIRED FOR APPROVAL BY NC DOT. NO TRAFFIC IMPACTS WITHIN THE R.O.W. ARE ALLOWED UNLESS ALL APPLICABLE PLANS ARE APPROVED. PERMITS ARE ISSUED BY NC DOT. THE CONTRACTOR FOR THE PREPARATION OF SAID PLANS AND SUPPORTING DOCUMENTATION AS REQUIRED BY AUTOZONE AND OWNER PRIOR TO ANY TRAFFIC IMPACTS.
 - CONTRACTOR MUST PREPARE AND SUBMIT A TRAFFIC CONTROL PLAN AND DETAILED CONSTRUCTION SCHEDULE TO THE OWNER FOR REVIEW AND APPROVAL PRIOR TO ANY TRAFFIC IMPACTS ON ANY ADJACENT PROPERTIES SURROUNDING THE SITE. THE CONTRACTOR IS RESPONSIBLE FOR THE PREPARATION OF SAID PLANS AND SUPPORTING DOCUMENTATION AS REQUIRED BY AUTOZONE AND OWNER PRIOR TO ANY TRAFFIC IMPACTS.
 - REFER TO SHEET C1.A FOR ON SITE CONSTRUCTION DETAILS.
 - REFER TO DETAIL SHEETS FOR ALL OTHER CONSTRUCTION DETAILS.
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADJUST THE TOP OF ALL EXISTING AND PROPOSED STRUCTURES (DRAINAGE STRUCTURES, SANITARY STRUCTURES, GATE WELLS, CURB STOPS, METER BOXES ETC.) WITHIN GRADED AND/OR PAVED AREAS TO FINAL GRADE SHOWN ON THE PLANS, WHETHER OR NOT SAID STRUCTURE IS IDENTIFIED FOR ADJUSTMENT. ALL SUCH STRUCTURE ADJUSTMENTS SHALL BE INCIDENTAL TO THE JOB AND WILL NOT BE PAID FOR SEPARATELY.

SITE DATA SUMMARY

LOCATION: 1593 NORTH MAIN STREET
 JURISDICTION: TOWN OF LILLINGTON, HARNETT COUNTY, NORTH CAROLINA
 ZONING DISTRICT: GB GENERAL BUSINESS
 OVERLAY DISTRICT: HIGHWAY OVERLAY DISTRICT
 USE: AUTO PARTS RETAIL SALES

BUILDING INFORMATION:
 GROSS FLOOR AREA = 6,956 SF (GFA EXTERIOR FACE)
 BUILDING HEIGHT = 21 FT
 NUMBER OF FLOORS = ONE

ITEM	REQUIRED	PROVIDED
MINIMUM FRONT BUILDING SETBACK	30 FT	105.45 FT (EAST)
MINIMUM SIDE BUILDING SETBACK	10 FT	35.03 FT (NORTH) 63.34 FT (SOUTH)
MINIMUM REAR BUILDING SETBACK	20 FT	21.01 FT (WEST)
MAXIMUM BUILDING HEIGHT	4 STORIES	1 STORY/21 FT
MINIMUM LOT AREA	20,000 S.F.	39,904 S.F.(0.92 AC.)
MINIMUM LOT WIDTH	100 FT	200.17 FT

REFERENCE IS MADE TO THE TOWN OF LILLINGTON UNIFIED DEVELOPMENT ORDINANCE

PARKING INFORMATION

ITEM	REQUIRED	PROVIDED
PARKING REQUIRED	MINIMUM PARKING COUNT PER 4.04.3: 1 SPACE PER 500 SF BUILDING FLOOR AREA; 6,956/500 = 14 SPACES	33 SPACES
BICYCLE REQUIRED	MINIMUM BIKE PARKING PER 4.04.3: 2 SPACES PER 50 VEHICULAR PARKING SPACES = 2 SPACES REQUIRED	2 SPACES PROVIDED (ONE "U" SHAPED RACK PROVIDES 2 SPACES)
MIN. PARKING DIMENSIONS	8 FT x 20 FT	9 FT x 20 FT
MIN. DRIVE ISLE WIDTH	N/A	24 FT (MIN.)
ADA PARKING SPACES	2 SPACES	2 SPACES
LOADING SPACE	N/A	1 SPACE 27.5' x 65'

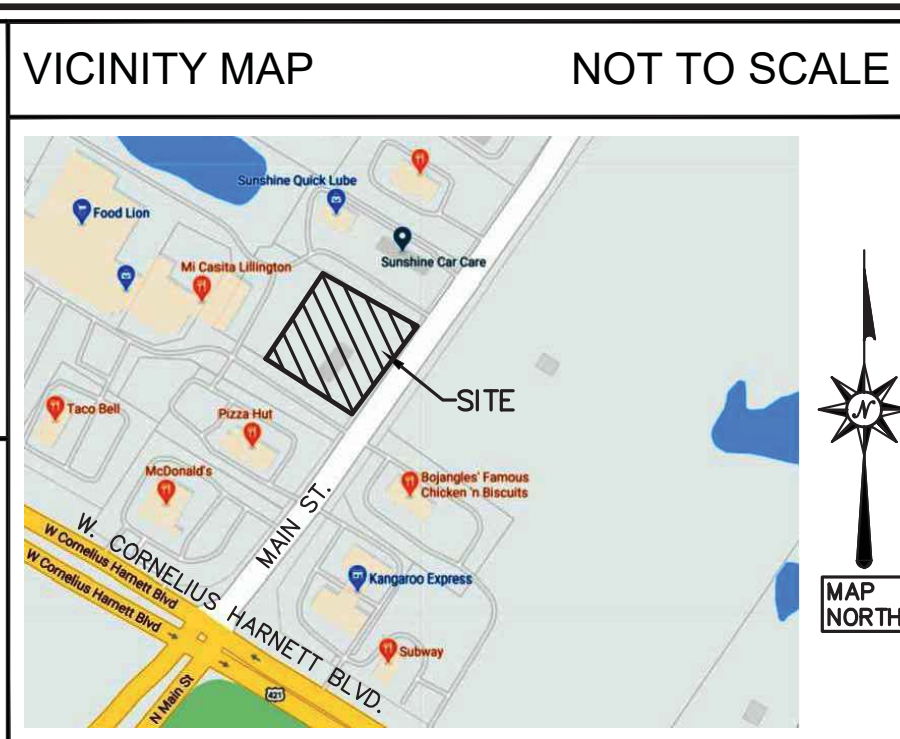
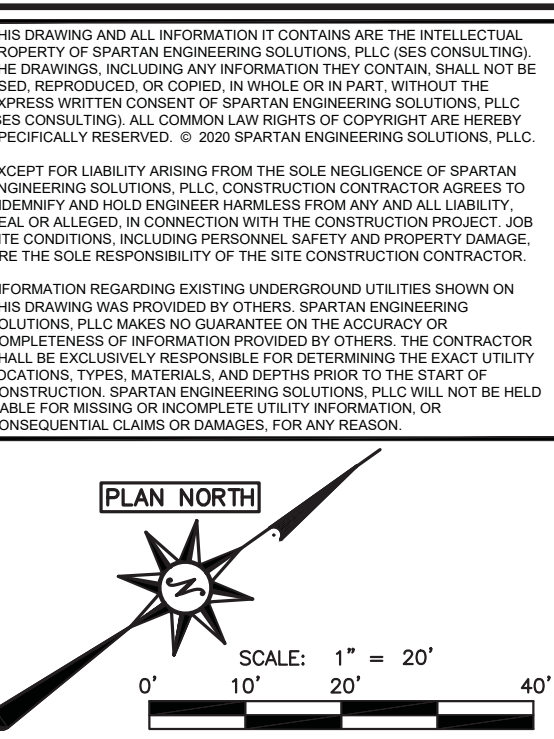
REFERENCE IS MADE TO THE TOWN OF LILLINGTON UNIFIED DEVELOPMENT ORDINANCE

SIGN LEGEND

SIGN TYPE	QTY.
RESERVED PARKING	2
VAN ACCESSIBLE	2
STOP	2

CAUTION!!!
 UNDERGROUND AND OVERHEAD UTILITIES ARE PRESENT WITHIN OR ADJACENT TO THE WORK AREA. CONTRACTOR SHALL LOCATE AND PROTECT ALL UTILITIES AND UTILITY APPURTENANCES DURING CONSTRUCTION. COORDINATE WITH RESPECTIVE UTILITY PROVIDERS AS REQUIRED PRIOR TO THE ONSET OF CONSTRUCTION.

THE CONSTRUCTION SPECIFIED WITHIN THESE PLANS SHALL BE PERFORMED IN COMPLETE COMPLIANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE TOWN OF LILLINGTON, NC DOT, THE STATE OF NORTH CAROLINA, HARNETT COUNTY. ALL APPLICABLE REFERENCE SPECIFICATIONS, INDEPENDENT UTILITY OWNERS, AND AUTOZONE PROJECT SPECIFICATIONS AS APPLICABLE.



PAVING LEGEND

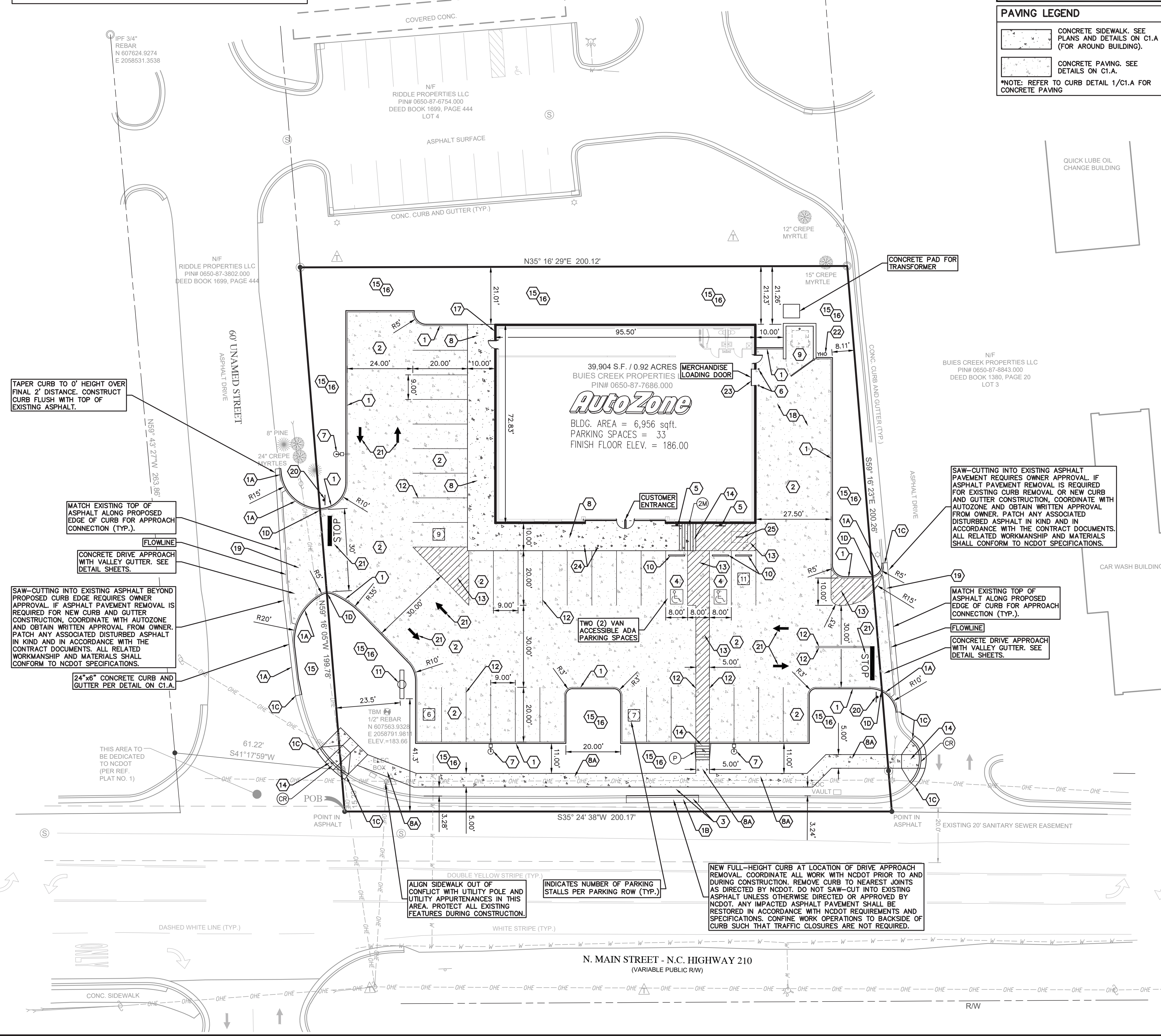
- CONCRETE SIDEWALK. SEE PLANS AND DETAILS ON C1.A (FOR AROUND BUILDING).
- CONCRETE PAVING. SEE DETAILS ON C1.A.

*NOTE: REFER TO CURB DETAIL 1/C1.A FOR CONCRETE PAVING

NOTE:
 PROTECT ALL EXISTING PAVEMENT AND CONCRETE CURB ADJACENT TO THE AUTOZONE SITE. CONTRACTOR SHALL REPAIR PAVEMENT OR CURB DAMAGED FROM HIS CONSTRUCTION OPERATIONS TO THE SATISFACTION OF THE PROPERTY OWNER AND/OR JURISDICTIONAL AUTHORITY. MATCH EXISTING PAVEMENT CROSS SECTIONS IF REPAIRS ARE REQUIRED. MATERIALS AND CONSTRUCTION PRACTICES SHALL CONFORM TO THE TOWN OF LILLINGTON AND NC DOT STANDARD SPECIFICATIONS FOR CONSTRUCTION AND THE CONTRACT DOCUMENTS. ALL ASSOCIATED WORK FOR REPAIR OF PAVEMENT DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE AT THE SOLE COST OF THE CONTRACTOR.

KEYNOTES

- BUILDING AND PAVING:**
- ON-SITE CONCRETE CURB - SEE DETAIL 1 / C1.A
 - 24"x6" CONCRETE CURB AND GUTTER (OMIT GUTTER IF INTEGRAL TO PAVEMENT). SEE DETAIL ON C1.A.
 - NC DOT 2'-8" CURB AND GUTTER PER STANDARD DRAWING 848.01. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO NC DOT SPECIFICATIONS AND STANDARD DRAWINGS. COORDINATE ALL WORK WITH NC DOT.
 - TIE INTO AND MATCH EXISTING CONCRETE CURB AND GUTTER.
 - TRANSITION FROM ON-SITE CONCRETE CURB TO HIGH BACK (24"x6") CURB AT PROPERTY LINE.
 - CONCRETE PAVING - SEE DETAIL 4/C1.A. EXPANSION AND CONTROL JOINTS - SEE DETAILS 21 & 22/C1.A. MAXIMUM SPACING FOR CONTROL JOINTS IS 15'-0" O.C. EACH WAY.
 - REMOVE EXISTING DRIVE APPROACH. SAW-CUT AND REMOVE EXISTING DROP CURB AND REPLACE WITH FULL HEIGHT CURB. COORDINATE ALL WORK WITH NC DOT.
 - ADA PARKING AREA. 2% MAX. SLOPE ANY DIRECTION (TYP.) - SEE DETAILS 6 & 7/C1.A
 - ADA PARKING SIGN - SEE DETAIL 12/C1.A. INCLUDE 'VAN ACCESSIBLE' SIGN FOR EACH.
 - PIPE GUARD-SEE DETAILS 8, 14, 15, & 16/C1.A.
 - LIGHT POLE WITH CONCRETE BASE. AIM FIXTURE IN DIRECTION INDICATED. SEE DETAIL 13/C1.A.
 - 6" HT. INTEGRAL CONCRETE CURB AND WALK. SEE DETAIL 19 & 20/C1.A FOR SIDEWALK AROUND BUILDING.
 - 4" THICK x 5' WIDE CONCRETE SIDEWALK PER NC DOT SPECIFICATIONS AND STANDARD DRAWING 848.01. 2% MAXIMUM CROSS SLOPE AND 3% MAXIMUM LONGITUDINAL SLOPE IS REQUIRED FOR ALL SIDEWALK. SEE DETAIL SHEETS. GROOVE JOINTS AND EXPANSION JOINTS PER NC DOT SPECIFICATIONS AND STANDARD DRAWING 848.01.
 - DUMPSITE ENCLOSURE - 6" HIGH CMU BLOCK WALLS WITH BRICK FACADE TO MATCH BUILDING. SEE DETAILS 8,9,10,11/C1.A.
 - 6'-0" LONG CONCRETE WHEEL STOP, PINNED TO PAVEMENT - SEE DETAIL 17/C1.A. LOCATE 2'-0" FROM FACE OF CURB OR SIDEWALK.
 - PYLON SIGN 6'-6" x 10'-6", 20' OVERALL HEIGHT. SEE SIGNAGE PLANS (UNDER SEPARATE PERMIT).
 - 4" WIDE PARKING STRIPE PAINTED WHITE (TYP.).
 - 4" WIDE DIAGONAL STRIPES AT 2 FT. O.C. SEE C1.A FOR ADA PARKING STRIPING. PAINT WHITE ELSEWHERE.
 - CONCRETE ADA RAMP PER NC DOT AND ADA REQUIREMENTS AND SPECIFICATIONS. MAXIMUM SLOPE 1:12 (8.33%) (PER A.D.A. REQUIREMENTS). MAXIMUM CROSS SLOPE 1:50 (2.00%). DETECTABLE WARNING SURFACES SHALL BE INSTALLED, CONTRASTING IN COLOR, PER ADA AND NC DOT REQUIREMENTS. ALL RAMPS, LANDINGS, FLARES, ROLLED CURB ETC. SHALL BE PER NC DOT SPECIFICATIONS AND STANDARD DRAWINGS, AND SHALL BE CONSTRUCTED IN CONFORMANCE WITH ADA SPECIFICATIONS.
 - NEW LANDSCAPE AREA - PROVIDE 500 AND 3" TOPSOIL TO ALL NEW LAWN AREAS ON SITE, AND ALL DISTURBED LAWN AREAS ADJACENT TO THE SITE, IMPACTED BY CONSTRUCTION OF THIS PROJECT. ALL ON-SITE SOD LAWN AREAS SHALL RECEIVE PERMANENT UNDERGROUND IRRIGATION SYSTEM PER CONTRACT DOCUMENTS AND STATE REGULATIONS. ALL SOD SHALL IMMEDIATELY BE STAKED IN PLACE.
 - SLOPE GRADE IN LANDSCAPE AREA PER GRADING PLANS. PROVIDE POSITIVE SURFACE DRAINAGE FOR ALL AREAS.
 - APPROXIMATE LOCATION OF ROOF DRAINAGE SYSTEM OUTLET. CONNECT TO UNDERGROUND STORM PIPE PER C1.3. COORDINATE WITH SHEET A6 ROOF PLAN.
 - LOADING AREA. SLOPE AWAY FROM BUILDING PER GRADING PLAN SHEET C1.1.
 - NEW CONCRETE DRIVE APPROACH WITH VALLEY GUTTER. SEE PLANS AND DETAIL SHEET C1.C.
 - STOP SIGN - SEE DETAIL 26/C1.A.
 - PAVEMENT MARKINGS - SEE DETAIL 24 & 25/C1.A.
 - FREEZELESS YARD HYDRANT. PROVIDE APPROPRIATE BACK FLOW PREVENTION AS REQUIRED PER MUNICIPAL AND STATE REGULATIONS. SEE DETAIL ON SHEET M2.
 - SERVICE DOOR PLAN - SEE DETAIL 15/C1.A.
 - BOLLARD PLAN FOR STOREFRONT - SEE DETAIL 14/C1.A.
 - "U" BIKE PARKING RACK PER TOWN OF LILLINGTON REQUIREMENTS. 2 SPACES PROVIDED. REFER TO DETAIL 2 ON C1.A. INSTALL PER MANUFACTURER SPECIFICATIONS INCLUDING CONCRETE FOOTINGS.



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NORTH CAROLINA PROFESSIONAL SEAL
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AUTOZONE DEVELOPMENT, LLC
 123 S. FRONT STREET, 3RD FLOOR
 MEMPHIS, TN 38103

AUTOZONE LILLINGTON NC6890
 TOWN OF LILLINGTON, HARNETT COUNTY, NORTH CAROLINA

SITE PLAN

PREPARED FOR: AUTOZONE DEVELOPMENT, LLC
 PROJECT: AUTOZONE LILLINGTON NC6890
 SHEET TITLE: SITE PLAN

SCALE: 1" = 20'

3 WORKING DAYS BEFORE YOU DIG

North Carolina

DIAL 811 OR
 1-800-632-4949
 NC811.ORG

REVISED:
 1:5/11/20 TOWN REVIEW 1

P.E./P.M. WRB/WRB
 DRAWN: WRB
 CHECKED: WRB
 JOB NO. 2020-006
 ORIGINAL ISSUE DATE
 APRIL 3, 2020
 SHEET NO.

C1.0