

# TENANT IMPROVEMENT FOR: BELLEAU WOOD BREWERY COMPANY

## GENERAL NOTES

### DIVISION 1

#### GENERAL REQUIREMENTS:

- WORK PERFORMED SHALL CONFORM TO THE REQUIREMENTS OF THESE GENERAL NOTES, THE UNIFORM BUILDING CODE, (APPLICABLE EDITIONS), AND ALL APPLICABLE LOCAL AND STATE CODES, ORDINANCES, RULES, AND REGULATIONS GOVERNING THE WORK TO BE PERFORMED.
- ON SITE VERIFICATIONS OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE. REPORT ALL DISCREPANCIES OR OMISSIONS ON THE DRAWING OR IN THE SPECIFICATIONS OR ANY VARIATIONS NEEDED IN ORDER TO CONFORM TO THE ABOVE MENTIONED CODES, RULES & REGULATIONS IN WRITING TO THE ENGINEER FOR CLARIFICATION A MINIMUM OF ONE WEEK PRIOR TO COMMENCING THAT PORTION OF WORK. CORRECTION OF ANY SUCH DISCREPANCY, OMISSION, OR VARIATION NOT REPORTED, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THERE SHALL BE NO DEVIATIONS FROM STRUCTURAL DETAILS ON ENGINEERED PLANS WITHOUT WRITTEN APPROVAL OF THE ENGINEER. SUBMIT SCALED SKETCHES OF REQUESTED REVISION TO ENGINEER FOR APPROVAL. A MINIMUM OF ONE WEEK PRIOR TO STARTING THAT PORTION OF WORK.
- THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. UNLESS OTHERWISE SHOWN, THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE BUILDER SHALL SUPERVISE AND DIRECT THE WORK AND HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. PRECAUTIONS SHALL BE EXERCISED AT ALL TIMES FOR THE PROTECTION OF PERSONS (INCLUDING WORKMEN) AND PROPERTY. SPECIFICALLY, ALL WORK SHALL BE PERFORMED IN TOTAL CONFORMANCE WITH OSHA LAWS AS GOVERNED BY THE DEPARTMENT OF INDUSTRIAL SAFETY. ANY OBSERVATION VISITS TO THE SITE BY ANY REPRESENTATIVE OF ABACUS ENGINEERING & DESIGN GROUP SHALL NOT RELIEVE THE BUILDER FROM HIS RESPONSIBILITY AND DO NOT GUARANTEE BUILDERS PERFORMANCE, AND SHALL NOT BE CONSTRUED AS SUPERVISION OF CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEAN-UP OF DEBRIS RESULTING FROM ALL PHASES OF WORK. THE CONTRACTOR SHALL PROVIDE OPENINGS AND SUPPORTS FOR MECHANICAL EQUIPMENT, DUCTS, PIPING, VENTS, ETC, AND SHALL OBTAIN APPROVAL FROM THE ENGINEER PRIOR TO LOCATING ANY OPENINGS NOT SHOWN ON PLANS.

### DIVISION 2

#### SITE WORK:

- ALL FOOTINGS SHALL REST ON FIRM, NATURAL SOIL OR CERTIFIED COMPACTED FILL. SOIL BEARING CAPACITY ASSUMED TO BE 1500 PSF OR AS NOTED IN SOILS REPORT (IF ONE IS PROVIDED.)
- SITE SHALL BE FINE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURES AND PAVEMENT EDGES. EXISTING TOPSOIL ON SITE MAY BE STOCK PILED FOR FUTURE USE IN LANDSCAPED AREAS. TREATMENT OF TOPSOIL IN PLANTING AREAS IS SPECIFIED UNDER LANDSCAPE WORK.
- ALL EXISTING UTILITIES THAT INTERFERE WITH STRUCTURAL FOUNDATIONS SHALL BE REMOVED AND RELOCATED IN ACCORDANCE WITH LOCAL CODES, ORDINANCES, AND UTILITY COMPANIES APPROVAL.

### NON RESIDENTIAL NOTES

- BEFORE THE BUILDING MAY BE OCCUPIED, INSTALLATION CERTIFICATES FOR MANUFACTURED DEVICES REGULATED BY THE APPLIANCE STANDARDS OR CHAPTER 2-53, SHALL BE POSTED ADJACENT TO THE BUILDING PERMIT(S). CERTIFICATES SHALL:
  - IDENTIFY FEATURES REQUIRED TO VERIFY COMPLIANCE WITH THE APPLIANCE STANDARDS AND CHAPTER 2-53.
  - INCLUDE A STATEMENT INDICATING THAT THE INSTALLED DEVICES CONFORM TO THE APPLIANCE STANDARDS AND CHAPTER 2-53 AND THE REQUIREMENTS FOR SUCH DEVICES GIVEN IN THE PLANS AND SPECIFICATIONS APPROVED BY THE LOCAL ENFORCEMENT AGENCY.
  - STATE THE NUMBER OF THE BUILDING PERMIT UNDER WHICH THE CONSTRUCTION OF INSTALLATION WAS PERFORMED. SEC 1403 (A) 4 (A)

### NON RESIDENTIAL NOTES, cont.

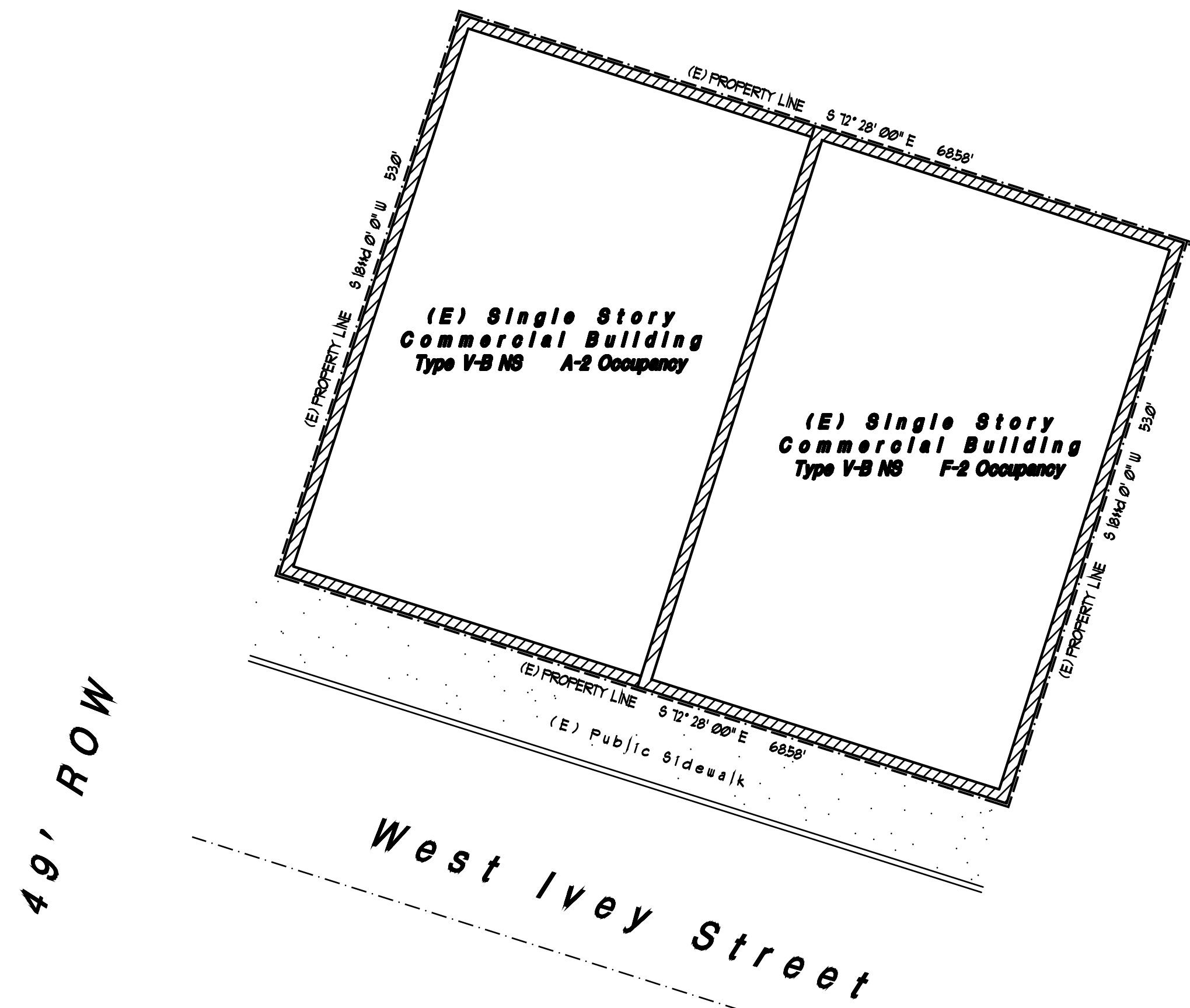
- AFTER INSTALLING WALL, CEILING, OR FLOOR INSULATION, THE INSTALLER SHALL POST IN A CONSPICUOUS LOCATION IN THE BUILDING A CERTIFICATE SIGNED BY THE INSTALLER STATING THAT THE INSTALLATION CONFORMS WITH THE PLANS AND THE REQUIREMENTS OF CHAPTER 2-53. THE CERTIFICATE SHALL ALSO STATE THE MANUFACTURER'S NAME AND MATERIAL IDENTIFICATION AND THE INSTALLED R-VALUE. SEC. 1403(A) 5.
- THE BUILDER SHALL PROVIDE THE BUILDING OWNER, MANAGER, AND ORIGINAL OCCUPANTS THE FOLLOWING:
  - A LIST OF THE HEATING, COOLING, WATER HEATING, AND LIGHTING SYSTEMS AND FEATURES, MATERIALS, COMPONENTS, AND MECHANICAL DEVICES, CONSERVATION OR SOLAR DEVICES INSTALLED IN THE BUILDING, AND INSTRUCTIONS ON HOW TO USE THEM EFFICIENTLY.
  - REQUIRED ROUTINE MAINTENANCE ACTION SHALL BE CLEARLY STATE AND INCORPORATED ON A READILY ACCESSIBLE LABEL. THE LABEL MAY BE LIMITED TO IDENTIFYING THE MAINTENANCE MANUAL.
  - A DESCRIPTION OF THE QUANTITIES OF OUTDOOR AND RECIRCULATED AIR THAT THE VENTILATION SYSTEM IS DESIGNED TO PROVIDE TO EACH AREA. SEC. 1403 (B) 1, 4 3
- ALL APPLIANCES SHALL COMPLY WITH THE CALIFORNIA APPLIANCE EFFICIENCY STANDARDS AND SEC. 2-5314
- EACH HVAC SYSTEM SHALL BE EQUIPPED WITH AT LEAST ONE AUTOMATIC DEVICE TO SETBACK OR SHUT-OFF THE SYSTEM DURING PERIODS OF NON-USE OR ALTERNATE USE OF THE BUILDING SPACES OR ZONES SERVED BY THE SYSTEM.

EXCEPTION: SMALL ANCILLARY HVAC SYSTEMS WHO'S INPUT POWER IS LESS THAN 5000 WATTS MAY HAVE READILY ACCESSIBLE MANUAL ON/OFF SWITCHING INSTEAD. SEC. 2-5315 (A)

- AUTOMATIC TEMPERATURE CONTROLS FOR HVAC SYSTEMS SHALL COMPLY WITH THE FOLLOWING:
  - EACH ZONE SHALL BE PROVIDED WITH AT LEAST ONE AUTOMATIC TEMPERATURE CONTROL FOR THAT ZONE. EACH FOOT OF A BUILDING WITH CONDITIONED SPACE SHALL CONTAIN AT LEAST ONE ZONE.
  - MAINTAIN SPACE TEMPERATURE SET POINTS FROM 55 F TO 85 F.
  - OPERATE ZONE HEATING AND COOLING IN SEQUENCE IF BOTH ARE PROVIDED.
  - PROVIDE A TEMPERATURE RANGE ADJUSTABLE UP TO 10 F BETWEEN FULL HEATING AND FULL COOLING TO THE ZONE. SEC. 205315(B)

- AIR HANDLING DUCT SYSTEMS SHALL BE CONSTRUCTED, INSTALLED, SEALED AND INSULATED AS PROVIDED IN CHAPTER 10 OF THE STATE MECHANICAL CODE (TITLE 24, PART 4) SEC. 2-5316(A)
- DOORS AND WINDOWS BETWEEN CONDITIONED AND UNCONDITIONED SPACES SHALL BE DESIGNED TO LIMIT AIR LEAKAGE INTO OR FROM THE BUILDING ENVELOPE.
  - MANUFACTURED DOORS AND WINDOWS, SHALL HAVE AIR INFILTRATION RATES CERTIFIED BY THE MANUFACTURER AS NOT EXCEEDING THOSE SHOWN IN TABLE 2-53J.
  - SITE-CONSTRUCTION DOORS AND WINDOWS, EXTERIOR JOINTS, AND OPENINGS IN THE BUILDING ENVELOPE THAT ARE OBSERVABLE SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER-STRIPPED OR OTHERWISE SEALED. (DOES NOT INCLUDE FIRE RATED DOORS AND WINDOWS, UNFRAMED GLASS DOORS, AND EXTERIOR ELEVATOR SHAFTS. ELEVATOR SHAFT VENTILATION DAMPERS ARE ALSO NOT REQUIRED.) SEC. 2-5311 (A)(B)(C)

- DOMESTIC WATER HEATER SHALL BE CERTIFIED AND LISTED BY THE CALIFORNIA ENERGY COMMISSION.
- EXCEPTION: NON-STORAGE TYPE ELECTRIC WATER HEATERS. SEC. 2-5314(A)
- ALL HOT WATER PIPING SHALL BE INSULATED IN ACCORDANCE WITH TABLE 2-53E SEC. 2-532
- SHOWER HEADS, LAVATORY FAUCETS AND SINKS (NOT INCLUDING SERVICE SINK FAUCETS) SHALL MEET THE FLOW REQUIREMENTS OUTLINED IN THE APPLIANCE EFFICIENCY STANDARDS. SEC. 2-5314
- LAVATORIES IN RESTROOMS OF PUBLIC FACILITIES SHALL BE EQUIPPED WITH OUTLET DEVICES THAT LIMIT THE FLOW OF HOT WATER TO A MAXIMUM OF 0.25 GPM OR WITH SELF CLOSING FAUCETS THAT LIMITS DELIVERY TO A MAXIMUM OF 0.25 GALLONS OF HOT WATER FOR NON-RECIRCULATING SYSTEMS, AND SHALL BE EQUIPPED WITH DEVICES THAT LIMIT THE OUTLET TEMPERATURE TO A MAXIMUM OF 110 F. SEC. 2-5314(E)



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## CODE SUMMARY

2018 EDITION - NORTH CAROLINA STATE BUILDING CODE WITH AMENDMENTS  
 2018 EDITION - NORTH CAROLINA ELECTRICAL CODE WITH AMENDMENTS  
 2018 EDITION - NORTH CAROLINA MECHANICAL CODE WITH AMENDMENTS  
 2018 EDITION - NORTH CAROLINA PLUMBING CODE WITH AMENDMENTS  
 2018 EDITION - NORTH CAROLINA FIRE CODE WITH AMENDMENTS

CONSTRUCTION TYPE: (E) TYPE V-B  
 OCCUPANCY GROUP: CURRENT CODE: RETAIL: GROUP "A-2" TAVERN & GROUP "F-2" BREWERY

ZONING: "CB" CENTRAL BUSINESS  
 LOT AREA: 3,622 sq. ft.  
 BUILDING FOOTPRINT AREA: 3,622 sq. ft. (EXISTING)  
 TENANT IMPROVEMENT AREA: 3,622 sq. ft.

OCCUPANTS - TAVERN / BAR: 83 OCCUPANTS  
 BREWERY: 1 OCCUPANTS

EXISTING PARKING: (0) SPACES  
 BUILDING HEIGHT: SINGLE STORY  
 SEWER SYSTEM: PUBLIC SEWER SYSTEM  
 FIRE PROTECTION: NON-SPRINKLERED

## SYMBOLS

- WALLS TO BE REMOVED
- (E) CONSTRUCTION
- DETAIL NUMBER
- DETAIL REFERENCE
- SHEET NUMBER
- WINDOW SCHEDULE SYMBOL
- DOOR SCHEDULE SYMBOL

## ADA COMPLIANCE

PUBLIC ACCESS FROM WEST IVEY STREET ON TO THIS SITE SHALL MEET ADA REQUIREMENTS FOR RAMPS, DOOR THRESHOLDS AND ALL TOILET FACILITIES WITHIN THE EXISTING BUILDING.

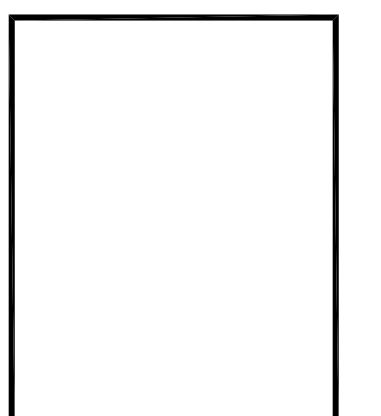
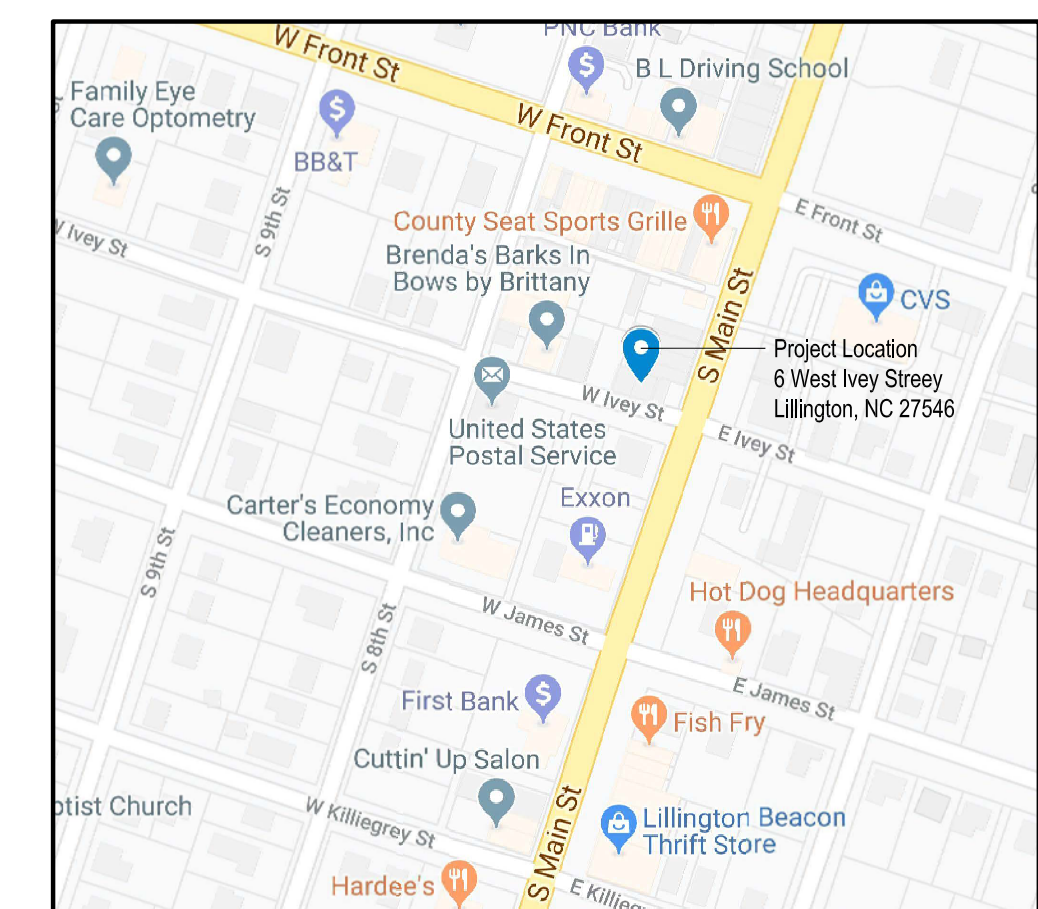
## PROJECT DESCRIPTION

PROJECT CONSISTS OF 3,621 sq. ft. OF TENANT IMPROVEMENT TO AN EXISTING COMMERCIAL SPACE INCLUDING CHANGE OF USE FROM BUSINESS TO ASSEMBLY & FACTORY INDUSTRIAL - LOW HAZARD.

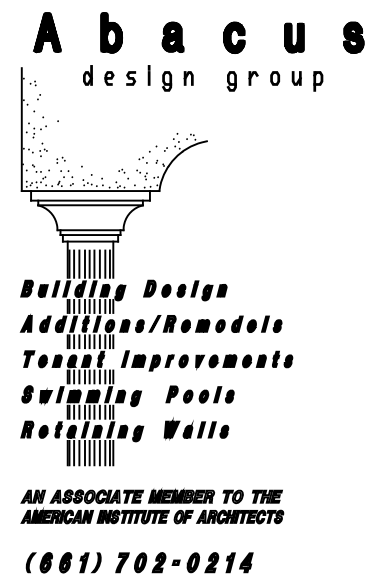
## LEGAL DESCRIPTION

1 LOT W IVEY 63x53 TRACTOR PLACE  
 PIN: 0593-49-5830.000

## VICINITY MAP



- Plan Check Submit 10-14-19
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3818 E. Ferman Hill Road  
 Concord, NC 28014

**TENANT IMPROVEMENT FOR:**  
**Belleau Wood Brewery Company**  
 6 West Ivey Street  
 Lillington, NC 28056

DATE: 10-14-19  
 DESIGNER:  
 DRAWN/CHECKED:  
 JF:  
 JOB NUMBER: 19005

Permit No.

TITLE SHEET  
 19005-001.dwg  
 10/14/2019 13:03  
 PIN: 0593-49-5830.000

T1-0