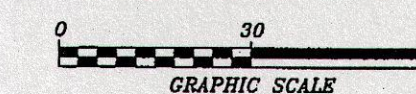


LANDSCAPE DRAWINGS

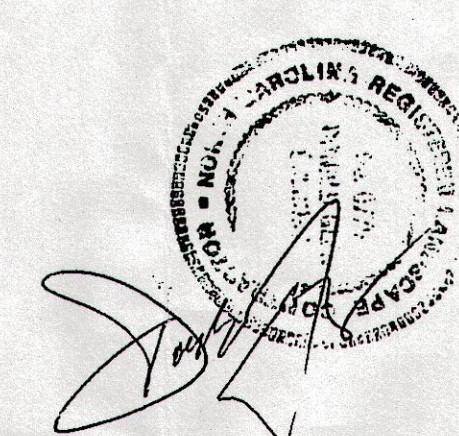
Buffer Plantings

Proposed Sketch Plan for Review
Carolina Sign and Service LLC
 Town of Angier Black River Township
 Harnett County, NC Zoned: CP
 Scale: 1" = 30' Date: 2-7-12
 NC PIN: 0673-02-0394 PARCEL ID: 040673 0110 02



PREPARED BY
STANCIL & ASSOCIATES
 PROFESSIONAL LAND SURVEYOR, P.A. C-0831
 98 Depot Street, P.O. Box 730, Angier, N.C. 27501
 (919) 639-2133 (919) 639-2602 (FAX)

Owner and Developer
Carolina Sign and Service LLC
 C/O Jaime Parker
 PO Box 127 Angier, NC 27501 919-639-3475



Revised Parking and Building Location 2-15-12
 Revised Parking and Buffers 2-23-12

Site Data and Notes
 Deed Book 2837, Page 250
 Map Number 2008-144
 Total area of parcel: 2.000 Ac.
 Property shown hereon is not located in a watershed district.
 Hours of Operation:
 Number of Employees:
 Hazardous Materials Stored on site:
 Number of Parking Spaces Required (1per 500 sq. ft.): 15
 Number of Parking Spaces Proposed: 15 Standard and 1 Handicap
 Existing Impervious Surface: None
 Proposed Impervious Surface:

CERTIFICATION OF OWNERSHIP

ANGIER, NORTH CAROLINA

I certify that I am (we are) the owner(s) of the property shown and described hereon, which is located in the subdivision jurisdiction of the Town of Angier and that I (we) hereby adopt this plat with my (our) free consent.

Owner: _____
 Date: _____

Town of Angier Minimum Building Setbacks For Commerce Park (CP)

Front Setback = 25 feet
 Corner Side Setback = 30 feet
 Side Setback = 20 feet
 Rear Setback = 20 feet
 All setbacks have to be doubled when adjoining Major and Minor thoroughfares, residential use and residential zoning districts. When parking is on side or in rear reduce side setback to 15 feet and increase landscaping by 25 percent.

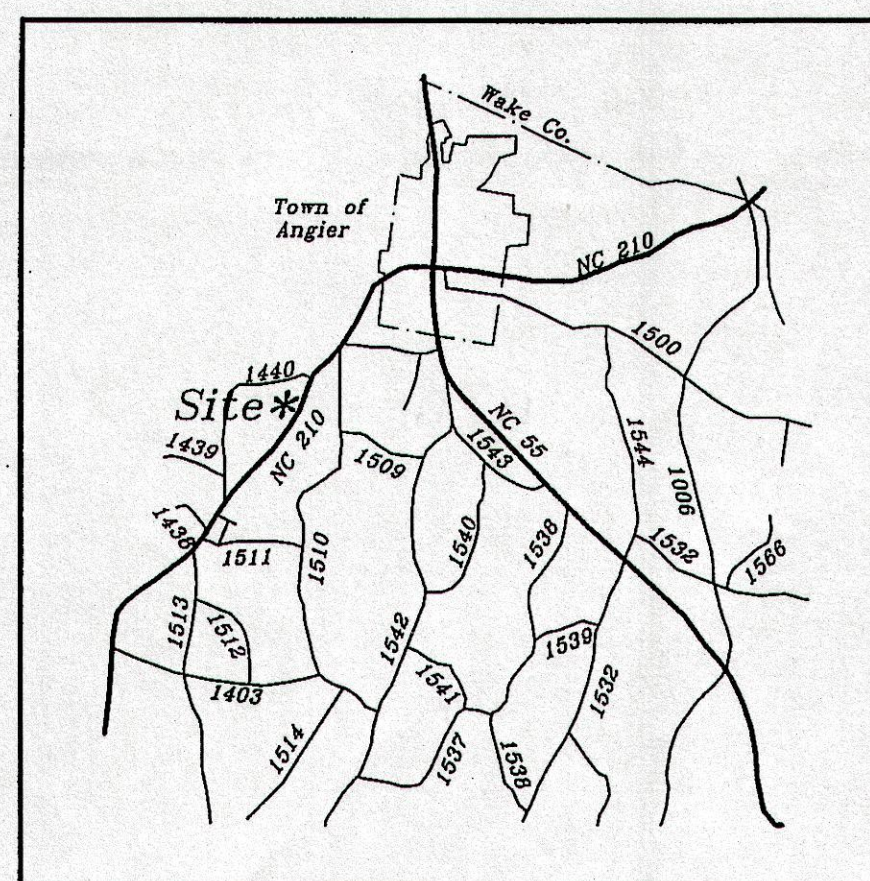
FEMA FLOOD HAZARD STATEMENT
 Lots shown on this plat are not located within the FEMA 100 year Flood Hazard Area as shown on FEMA map No. 3720066200J
 Effective Date: October 3, 2006

GENERAL NOTES:

- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES, AND SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM HIS ACTIVITIES. CALL UTILITY LOCATION SERVICE 48 HOURS PRIOR TO EXCAVATION.
- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH HARNETT COUNTY AND/OR TOWN OF ANGIER AND/OR NCDOT STANDARDS AND SPECIFICATIONS.
- TOPOGRAPHICAL INFORMATION AS PER NC DOT LIDAR DATA

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LHBR-783 S



VICINITY MAP

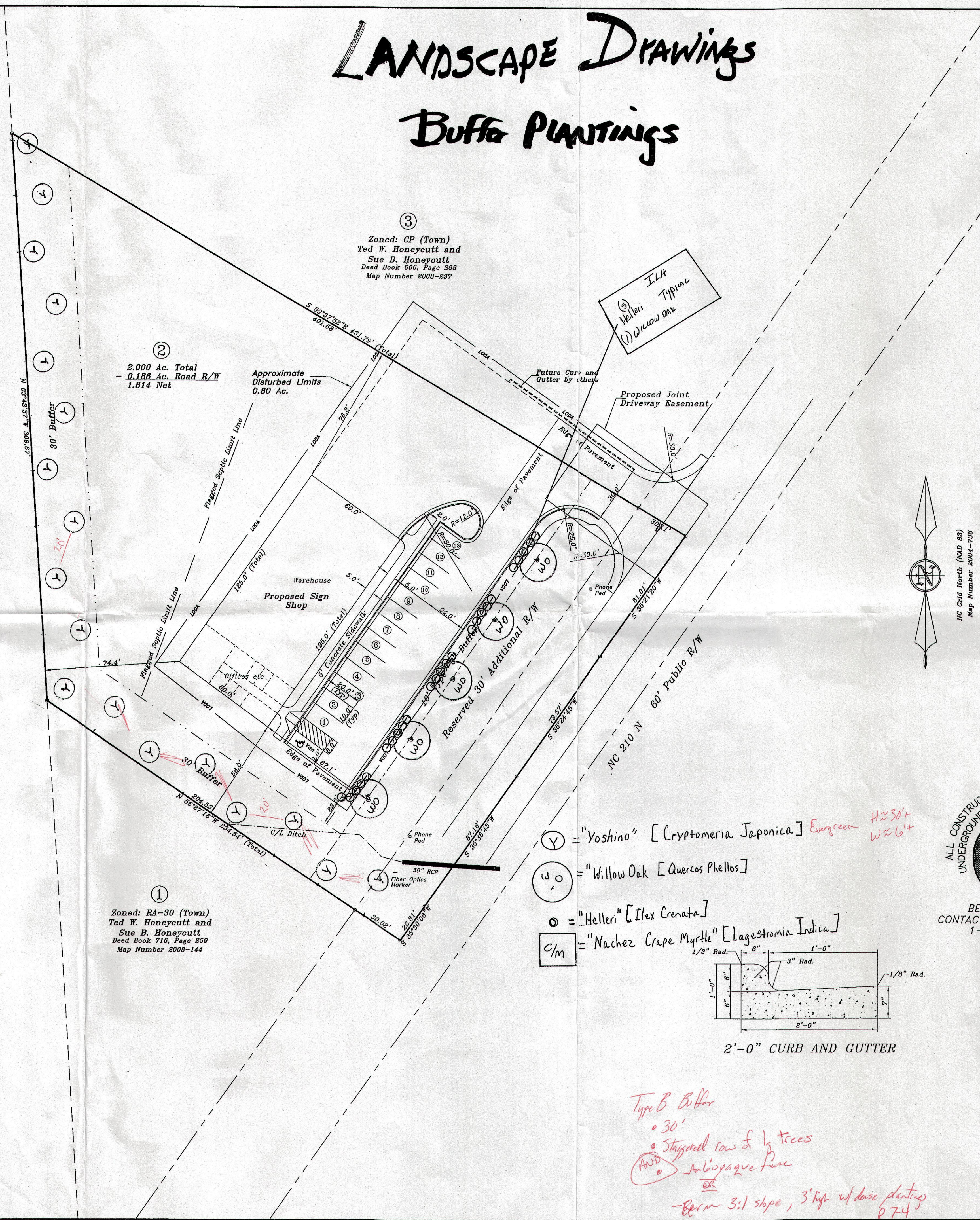
No Scale

LEGEND:	
—	Lines Surveyed
- - -	Lines Not Surveyed
- - -	Right of Way Lines
E/P/2IS	Existing Iron Pipe or Stake
ECM	Existing Concrete Monument
EPR	Existing P.K. Nail
EMS	Existing P.K. Nail Set
EMV	Existing MAG Nail
MNS	MAG Nail Set
ISS	Iron Stake Set
CSS	Cotton Spindle Set
ECS	Existing Cotton Spindle
RNS	Railroad Spike
ELS	Existing Lightwood Stake
PP	Power Pole
OES	Overhead Electric Lines
PH	Fire Hydrant
TP	Telephone Pedestal
MH	Manhole
WM	Water Meter
Esmt.	Easement
R/W	Right-of-Way
C/L	Centerline
P.C.	Plat Cabinet
D.B.	Deed Book
P.B.	Plat Book
B.M.	Book of Maps
PIV	Parcel Identifier Number
Ac.	Acre
Sq. Ft.	square feet
CP	Computed Point
[]	Street Address

N.C.G.S. North Carolina Geodetic Survey
 NAD 27 North American Datum of 1927
 NAD 83 North American Datum of 1983

NOTES:
 * Iron Stakes set at all property corners unless noted otherwise.
 * Areas determined by coordinate method.
 * All distances/dimensions are Horizontal ground distances unless otherwise indicated.

Zoned: RA-30 (County)
 Virginia Senter
 Deed Book 882, Page 359
 Map Book 23, Page 44
 Plat Cabinet 2, Slide 137



BEFORE YOU DIG!
 CONTACT ONE-CALL CENTER
 1-800-632-4949