

CAPE OVERLOOK OVERALL SITE DATA TABLE	
SITE ADDRESS	ROSS ROAD LILLINGTON, NC
TOWNSHIP	LILLINGTON
CURRENT SITE OWNER (AREA / PIN / DB & PG)	ROSS ROAD DEVELOPERS, LLC 0699-48-8729 - DB 4194 PG 2536
TOTAL PROJECT AREA	63.763 AC
NATURAL OPEN SPACE REQ'D. (20%)	12.75 AC
NATURAL OPEN SPACE PROVIDED (27%)	19.50 AC
USABLE OPEN SPACE REQ'D. (3%)	1.91 AC
USABLE OPEN SPACE PROVIDED (5.18%)	3.30 AC
COMMON OPEN SPACE	5.08 AC
DEVELOPER	TRIANGLE LAND PARTNERS
DEVELOPER ADDRESS	PO BOX 5548 CARY, NC 27512
WATERSHED	CAPE FEAR RIVER BASIN
SUBWATERSHED	CAPE FEAR RIVER
WATERSUPPLY CLASSIFICATION	WSIV-PA
FEMA MAP NO.	372006600J
FEMA PANEL EFFECTIVE DATE	October 3, 2006
PROJECT DISTURBED AREA	56.80 AC
PROJECT IMPERVIOUS AREA	25.85 AC (40.54%)
AUTHORITY HAVING JURISDICTION	TOWN OF LILLINGTON
CURRENT ZONING	CONDITIONAL ZONING RS10 CLUSTER
PROPOSED ZONING	CONDITIONAL ZONING RS10 CLUSTER
SETBACKS (PER ZONING CONDITIONS)	

	TOWNHOMES	SINGLE FAMILY
FRONT	20'	20'
SIDE	0'	5'
SIDE STREET	15'	15'
REAR	10'	20'

	TOWNHOMES	SINGLE FAMILY	TOTAL
PHASE 1	12	38	50
PHASE 2	48	0	48
PHASE 3	0	102	102
PHASE 4	56	42	98
PROJECT TOTAL	116	182	298

DESIGNATION	SINGLE-FAMILY ATTACHED - 2 PER UNIT (GARAGE/DRIVEWAY)
TOTAL TOWNHOME UNITS	116
REQUIRED GUEST PARKING	38 SPACES
PROVIDED GUEST PARKING	97 SPACES
REQUIRED ACCESSIBLE PARKING	2 SPACES
PROVIDED ACCESSIBLE PARKING	4 SPACES
DESIGNATION	SINGLE FAMILY DETACHED
TOTAL NEIGHBORHOOD LOTS	298
REQUIRED BICYCLE PARKING	6 SPACES
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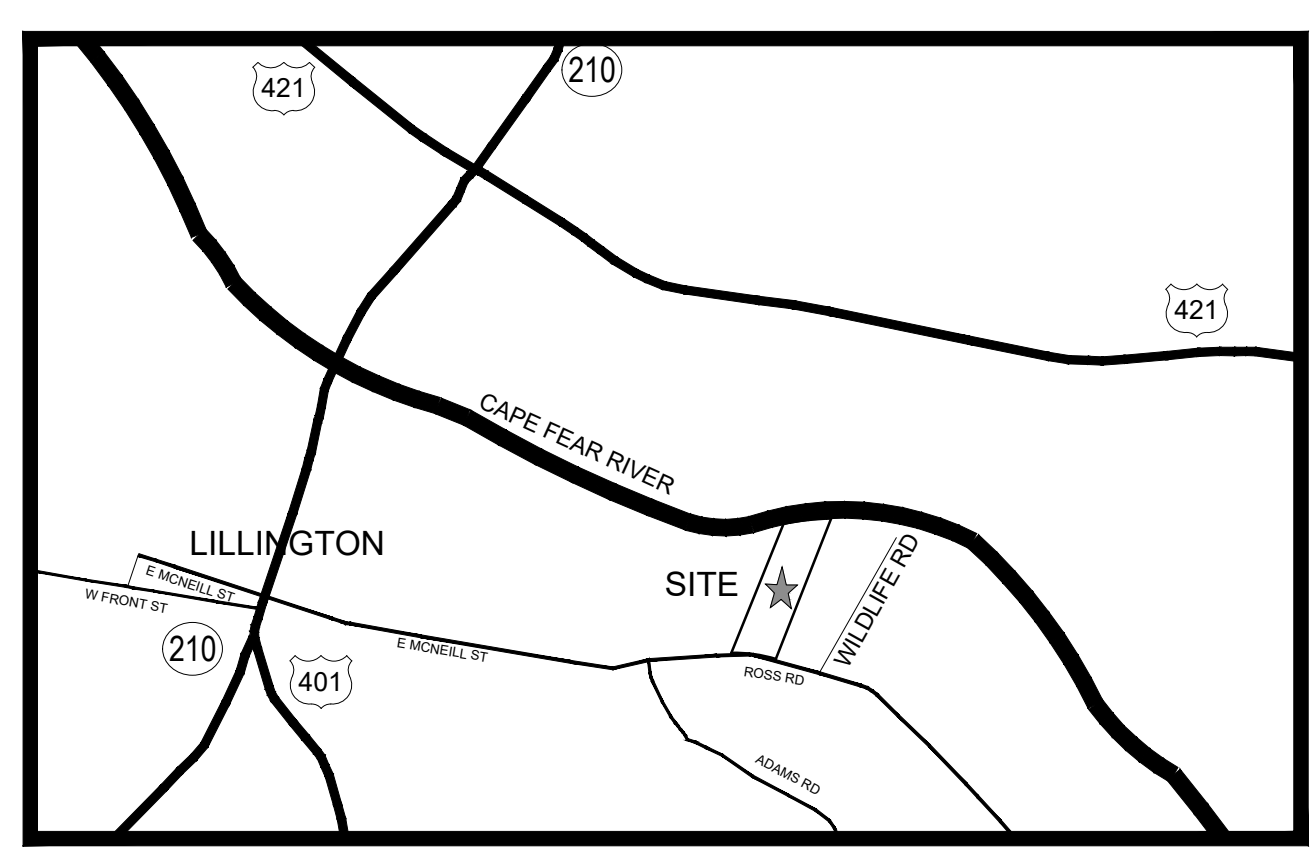
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CAPE OVERLOOK AMENITY CENTER

LILLINGTON, NORTH CAROLINA

NOVEMBER 14, 2024



VICINITY MAP
1" = 4,000'

DEVELOPER / OWNER CONTACT INFORMATION:

ROSS ROAD DEVELOPERS, LLC
4201 TAYLOR HALL PL
CHAPEL HILL, NC 27517-7439
ANDREWROSS@FLOYDDEVELOPMENT.COM
919-703-6203

INDEX TO DRAWINGS

- COVER _____ 1
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- EROSION CONTROL DETAILS _____ 7
- SITE DETAILS _____ 8
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POOL HOUSE FLOOR PLAN & ROOF PLAN (BY PLANWORK)

ZONING CONDITIONS

- Maximum Blended Density for the project is 5 units per gross acre.
Townhome lot size minimum 2,190 sf
Single-Family lot size minimum 4,590 sf
- Maximum Building height is 35 feet, maximum 3 stories.
- Minimum Building Setbacks
 - From Buffer 10'
 - Front Yard 20'
 - Side Yard 5' SF and 0' TH
 - Rear Yard 20' SF and 10' TH
- A 50' buffer and landscape berm will be constructed along Ross Road. (see master plan for detail).
- Maximum Impervious Percentage not to exceed 46%
- Perimeter 40' buffer minimum - 50' average (landscape or existing vegetation)
- 5 minimum sidewalks will be provided on both sides of street.
- 30' Valley gutters can be used for Townhome lots given the minimal lot width and spacing between driveways.
- (2) Roadway connections to public roads with an additional (2) road stubs to adjoining property (future connectivity).
- Block length shall not exceed 1,125 ft as measured from center of intersection to center of intersection. Private parking lots can be utilized to meet the connectivity provided a minimum 20' travel lane is provided for emergency vehicle access.
- 30-inch valley curb and gutter can be used for townhome lots given the minimal lot and spacing between driveways.
- All internal public roads shall be 27' B-B with 5.5' wide (SF) / 3.5 wide (TH) grass strip between back of curb and sidewalk.
- Single-Family will provide at least 2 paved parking spaces. The spaces will either be within an enclosed garage, driveway, or as designated parking pad. Townhomes will have adequate setback to park 1 car in front of garage and 1 inside garage.
- Townhome satellite parking will be at 0.33 spaces per Townhome Unit.
- Community will have a central amenity with swimming pool, bath house, playground, open lawn area, and central mail kiosk.
- Solid waste/recycling containers shall be stored within garage or outside rear/side yard within a screened fence area (on each lot).

Architectural controls:

- Single Family:
- End units facing a public ROW must include a minimum of two (2) windows.
 - Façade Treatment: May include a mix of siding types including lap siding, board & batten, shake, stone or brick. Each unit shall include a minimum of two (2) of these elements.
 - Landscaping: Each unit shall include a minimum of one (1) decorative tree, one (1) street tree, and six (6) shrubs. Street tree along each street at a maximum spacing of 40'
 - Each home shall have a minimum of a two-car garage.
 - Garage Doors: shall contain decorate details or carriage style adornments

Townhome:

- End units facing a public ROW must include a minimum of two (2) windows.
- Façade Treatment: May include a mix of siding types including lap siding, board & batten, shake, stone or brick. Each unit shall include a minimum of two (2) of these elements. The use of metallic, fluorescent or neon colors shall be prohibited.
- Landscaping: Each unit shall include a minimum of one (1) decorative tree and four (4) shrubs.
- Street tree along each street, driveway, and parking areas at a maximum spacing of 40'
- Garage Doors: shall contain decorate details or carriage style adornments
- Driveway widths may exceed 50% of the total property footage and can be located within 2' of a side lot line for Townhome lots.

GENERAL DEVELOPMENT NOTES

1. ALL OPEN SPACE, SIGNAGE, MAIL KIOSKS, DRAINAGE EASEMENTS, LANDSCAPING & PARKING LOTS NOT IN TOWN OR NCDOT PURVIEW SHALL BE MAINTAINED BY PROPERTY OWNERS ASSOCIATION.
2. ALL GARAGES SHALL BE FRONT LOADED.
3. ALL DRIVEWAYS SHALL BE CONCRETE AND MEET TOWN OF LILLINGTON SPECIFICATIONS.
4. FOUNDATION SURVEYS SHALL BE REQUIRED FOR ALL LOTS.
5. NO PARKING WILL BE ALLOWED IN THE PUBLIC RIGHT-OF-WAY.
6. SANITARY SEWER SERVICES FOR ALL LOTS MUST BE INSTALLED AT TIME OF OUTFALL INSTALLATION.
7. PUBLIC WATER AND SEWER EASEMENTS TO BE SHARED BY TOWN OF LILLINGTON AND HARNETT REGIONAL WATER.
8. ALL STORM PIPE SHALL BE CLASS III REINFORCED CONCRETE PIPE UNLESS OTHERWISE NOTED.
9. THE SEWER PERMIT IS APPROVED FOR PHASES 1-3 ONLY. THE DEVELOPER SHALL MODIFY THE SEWER PERMIT TO ACCOUNT FOR PHASE 4 IN COORDINATION WITH NCCCO, HRW & TOWN OF LILLINGTON. PERMIT MODIFICATIONS SHALL BE APPROVED BY ALL PARTIES PRIOR TO BEGINNING ANY PHASE 4 CONSTRUCTION (INCLUDING SHEET, STORMWATER, SEWER & WATER INSTALLATION). SEPARATE MATERIAL SUBMITTALS & PRECONSTRUCTION MEETING WILL BE REQUIRED FOR PHASE 4.

TOWN OF LILLINGTON NOTES

1. ALL PUBLIC FACILITIES, INCLUDING STORM DRAINAGE, SIDEWALKS, AND HANDICAP RAMPS ARE TO BE CONSTRUCTED ON ALL STREETS AS SPECIFIED BY TOWN AND NCDOT STANDARDS. THESE FACILITIES HAVE BEEN APPROVED BY THE TOWN OF LILLINGTON AND SHALL BE SO INSTALLED UNLESS A CHANGE IS APPROVED BY THE TOWN OF LILLINGTON.
2. OWNER HEREBY CERTIFIES AND AGREES TO TAKE SUCH ACTION AS MAY BE REQUIRED BY THE TOWN OF LILLINGTON TO CORRECT ANY ERRORS, OMISSIONS OR NON-COMPLIANCE WITH TOWN STANDARDS AND/OR CONDITIONS DESCRIBED IN THIS CONSTRUCTION PLAN, INCLUDING RESUBMISSION OR RE-EXECUTION OF THIS CONSTRUCTION PLAN WITH THE APPROPRIATE CORRECTIONS AND/OR REVISIONS.

THESE PLANS HAVE BEEN APPROVED FOR CONSTRUCTION BY THE TOWN OF LILLINGTON

PLANNING	DATE
PUBLIC WORKS	DATE
DRAINAGE & EROSION CONTROL	DATE
UTILITIES	DATE

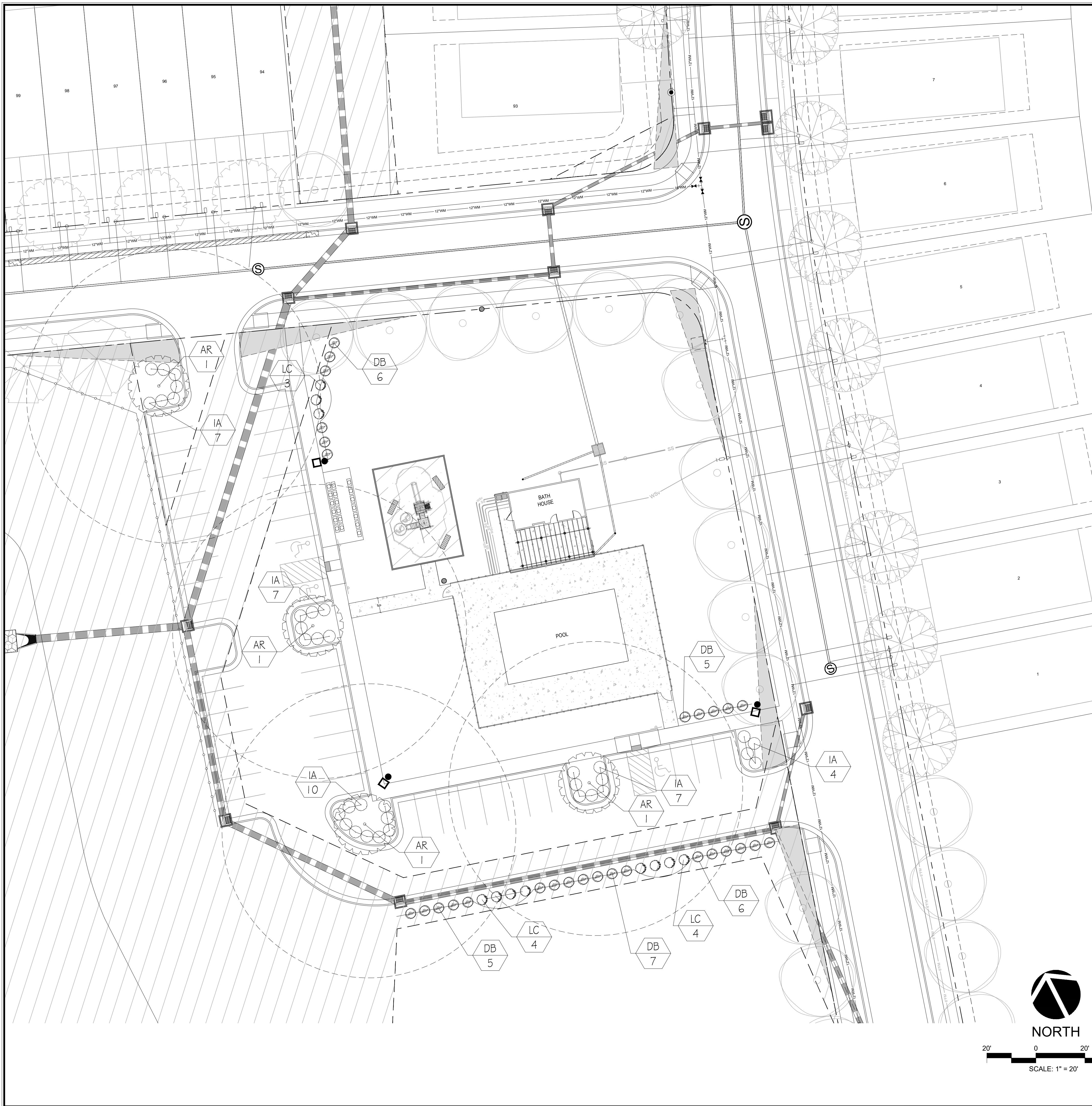
NO.	REVISIONS	DATE

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CAPE OVERLOOK
AMENITY CENTER
COVER
LILLINGTON, NORTH CAROLINA

Date:	NOVEMBER 14, 2024
Scale:	N/A
Drawn:	JPD
Checked:	AJF
Project No.	147-07
Computer Dwg. Name	147-07 amenity cover



PLANT LIST

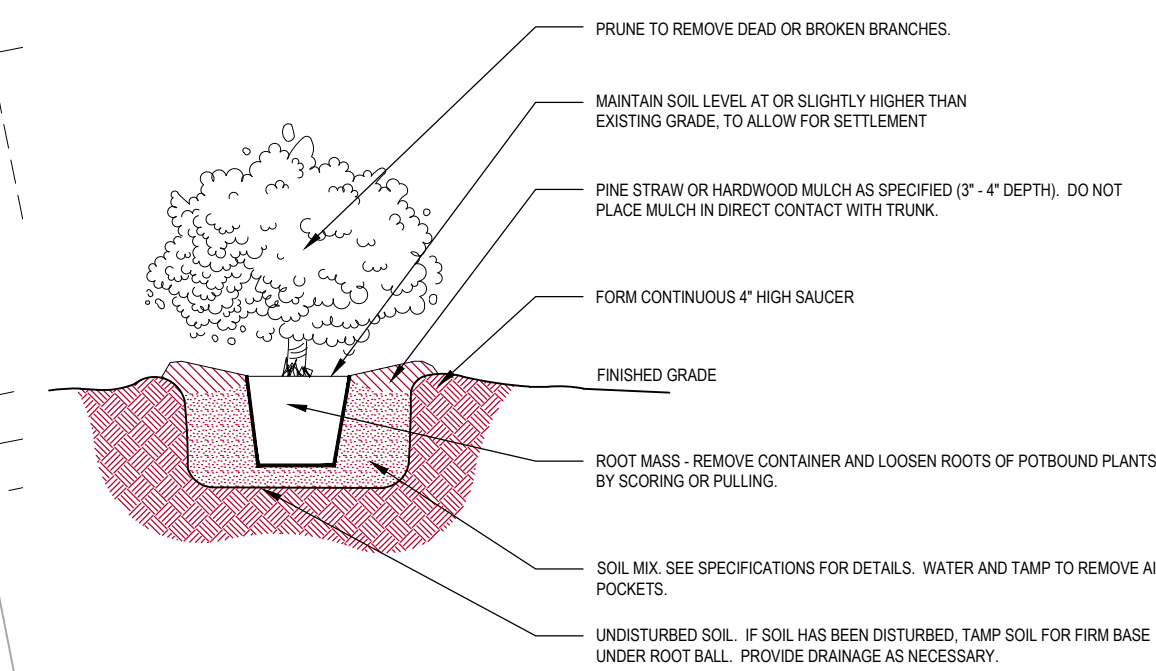
KEY	QUAN.	BOTANICAL NAME	COMMON NAME	CAL.	HT.	ROOT	REMARKS
AR	4	<i>Acer saccharum</i> 'Legacy'	Legacy Sugar Maple		12' - 14'	B 4 B	
SHRUBS							
DB	29	<i>Ilex cornuta</i> 'Burfordii Nana'	Dwarf Burford Holly		18" - 24"	5 gal.	
LC	11	<i>Loropetalum chinense</i> var. <i>rubrum</i> 'Ruby'	Ruby Loropetalum		18" - 24"	5 gal.	
IA	35	<i>Ilex x attenuata</i> 'Fosteri'	Foster Holly		36" - 40"	7 gal.	

NOTE:
CONTRACTOR TO BID PLANT MATERIAL AND SIZES SHOWN. WHEN THE BID IS SUBMITTED, CONTRACTOR SHOULD SUPPLY SUGGESTED PLANT SUBSTITUTIONS (WITH COST SAVINGS) FOR OWNER TO CONSIDER.

- NOTES:**
- 1) LANDSCAPE CONTRACTOR TO INCLUDE SOD/SEED ONLY WHERE SHOWN ON PLANS. ALL OTHER SEEDING BY SITE CONTRACTOR.
 - 2) MULCH IN BUFFER IS THE AROUND EACH INDIVIDUAL PLANT. MASS MULCHING OR SEEDING IN THE BUFFER IS NOT REQUIRED TO BE BID BY THE LANDSCAPE CONTRACTOR.
 - 3) LANDSCAPE BED REQUIREMENTS:
 - CONTRACTOR TO PROVIDE 6" DIAMETER BEDS AROUND SINGLE TREES/ SHRUBS THAT ARE NOT WITHIN 4' OF ANY OTHER TREE/ SHRUB
 - MAINTAIN MIN. 3" OF MULCHED BED OUTSIDE ALL TREE/ SHRUB CLUSTERS
 - LANDSCAPE BED MULCH TO BE MIN. DEPTH OF 3" - 4"

LANDSCAPE PLANTING NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR ALL QUANTITY TAKE-OFFS AND VERIFICATION OF MATERIALS AS SHOWN ON THESE PLANS AND IN WRITTEN SPECIFICATIONS. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO FINAL BIDDING OR INSTALLATION.
2. THE CONTRACTOR SHALL VERIFY LOCATIONS OF EXISTING AND PROPOSED UNDERGROUND UTILITIES PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL.
3. ALL LANDSCAPE MATERIALS SHALL CONFORM TO THE ACCEPTED STANDARDS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
4. PRIOR TO THE END OF EACH WORKING DAY, THE CONTRACTOR SHALL PROPERLY BACKFILL ALL PLANT MATERIAL THAT HAS BEEN PLACED IN PREPARED HOLES, AND PROPERLY WATER AND MULCH ALL PREPARED GROUNDCOVER, PERENNIAL AND ANNUAL BEDS.
5. ALL TREES AND SHRUBS SHALL BE SOAKED WITH WATER AND MULCHED IMMEDIATELY FOLLOWING INSTALLATION.
6. LANDSCAPE ARCHITECT OR OWNER SHALL APPROVE ANY ON-SITE PLANT STORAGE AREA.
7. ALL ROOT BALLS REMOVED FROM CONTAINERS SHALL BE SCARIFIED BY HAND PRIOR TO PLACEMENT AND BACK FILLING WITH PREPARED SOILS. HAND TOOLS ARE NOT TO BE USED TO SCARIFY ROOT BALLS.
8. ALL ROPE AND WRAPPING TWINE SHALL BE CUT AND REMOVED FROM AROUND THE UPPER PARTS OF THE ROOT BALL. METAL BASKET WIRES AND BURLAP SHALL BE PULLED BACK AND TUCKED UNDER THE EDGES OF THE SAUCER RINGS ON ALL TREES AND LARGE SHRUBS. ALL SYNTHETIC BURLAP SHALL BE REMOVED FROM PLANT BALLS PRIOR TO BACKFILLING.
9. ALL PLANTING AREAS SHALL BE EDGED WITH SMOOTH, CONTINUOUS CURVES. PINE STRAW MULCH, IF SPECIFIED, SHALL BE ROLLED AND TUCKED ALONG PLANT BED EDGE.
10. ALL PLANT MATERIAL SHALL BE PLANTED AT HEIGHTS AS ILLUSTRATED IN THE PLANTING DETAILS & PLANT LIST.
11. TREE STAKING AND GUYING, IF NECESSARY, SHALL BE PERFORMED WITHIN A WEEK OF PLANTING. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL TREE STAKING MATERIAL AFTER THE FIRST FULL GROWING SEASON OR ONE YEAR, WHICHEVER COMES FIRST.
12. B & S AS LISTED UNDER "ROOT" IN THE PLANT LIST INDICATES BALLED AND BURLAPPED.
13. ALL PLANT BEDS AND RAISED SAUCER RINGS SHALL BE GRADED TO PROVIDE ADEQUATE DRAINAGE AND SHALL BE MULCHED AS SPECIFIED.
14. ALL MATERIALS, PLANTING AND LANDSCAPE WORK SHALL CONFORM TO THE LOCAL OR COUNTY JURISDICTIONAL AUTHORITY'S STANDARD SPECIFICATIONS AND DETAILS.
15. ALL LANDSCAPING SHALL BE MAINTAINED IN PERPETUITY.

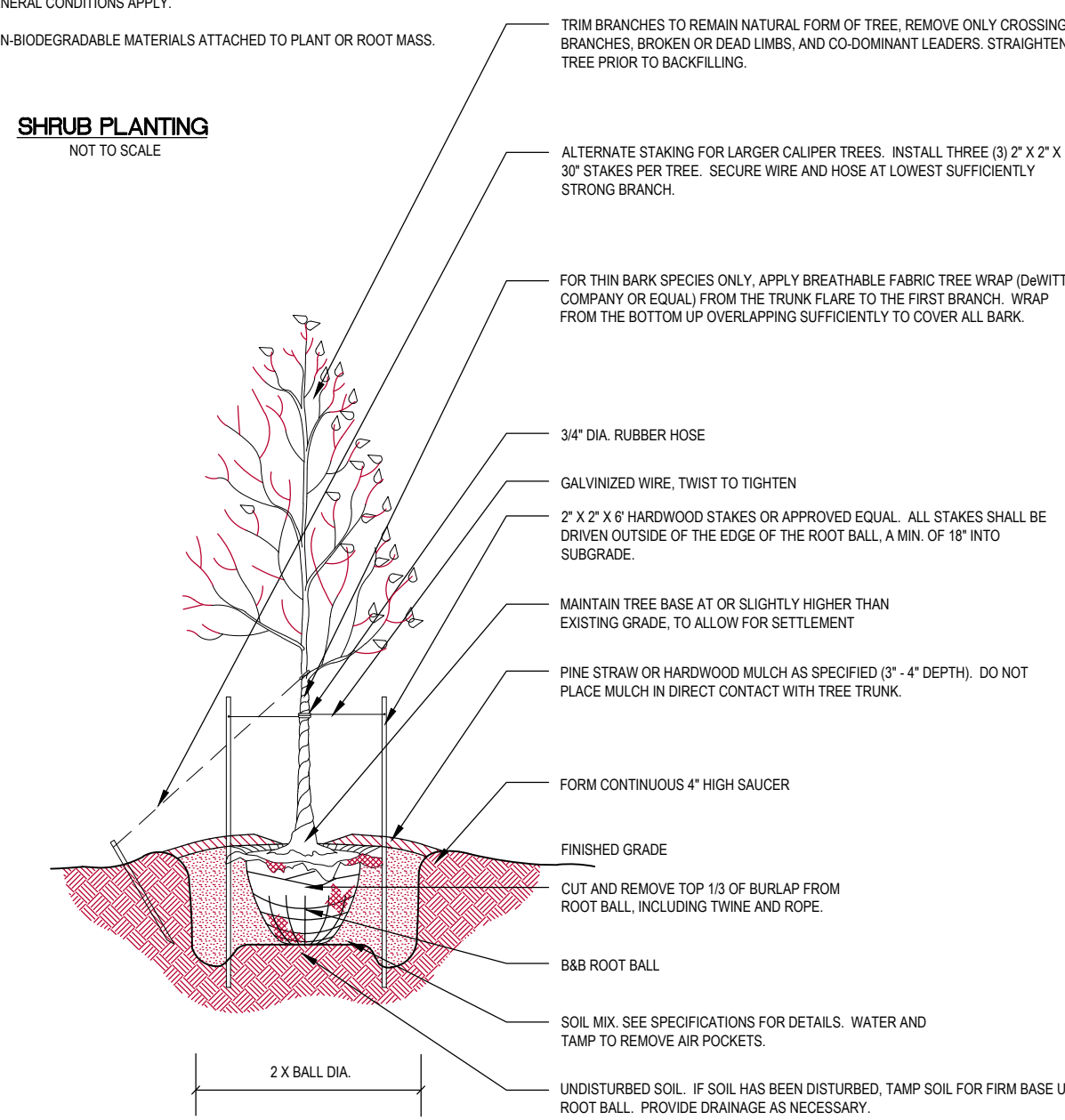


NOTES:

1. ALL TECHNICAL SPECIFICATIONS AND GENERAL CONDITIONS APPLY.
2. REMOVE ALL TAGS, TWINE OR OTHER NON-Biodegradable MATERIALS ATTACHED TO PLANT OR ROOT MASS.

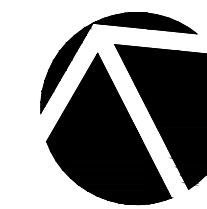
SHRUB PLANTING

NOT TO SCALE

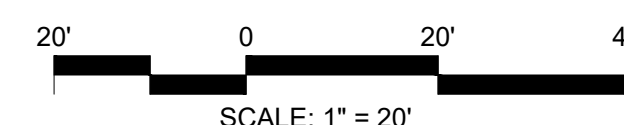


NOTES:

1. ALL TECHNICAL SPECIFICATIONS AND GENERAL CONDITIONS APPLY.
2. IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, CUT WIRE BASKET IN SEVERAL PLACES AND FOLD DOWN A MINIMUM OF 1/3 INTO PLANTING HOLE. REMOVE ALL SYNTHETIC BURLAP FROM ROOT BALL PRIOR TO BACKFILLING.
3. FOR CONTAINER GROWN TREES, SUFFICIENTLY SCARIFY ROOT BALL PRIOR TO PLANTING.



NORTH



DECIDUOUS TREE PLANTING
NOT TO SCALE

NO.	REVISIONS	DATE



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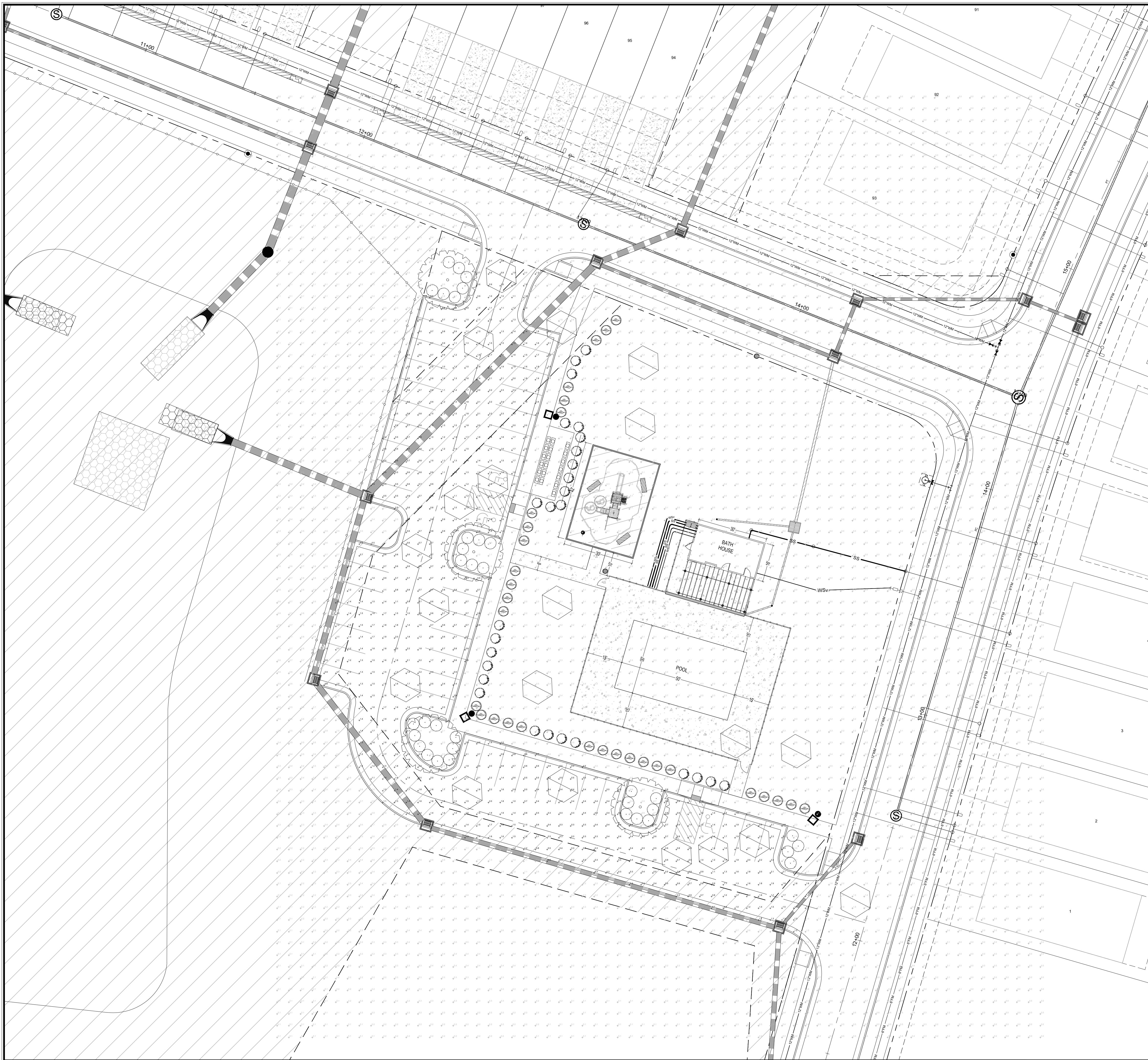
CAPE OVERLOOK
AMENITY CENTER
#####

LILLINGTON, NORTH CAROLINA

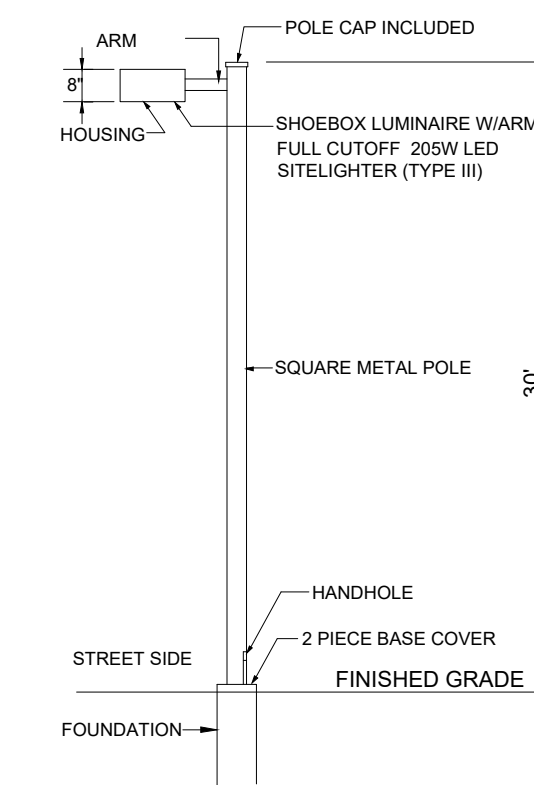
Date: NOVEMBER 14, 2024
Scale: 1" = 20'
Drawn: RJH
Checked: AJF
Project No: 147-07
Computer Dwg. Name: 147-07_amenity landscape plan

Sheet No:

Of ##



LIGHTING DATA	
EAST SIDE PARKING LOT	
AVERAGE	1.6 fc
MINIMUM	0.4 fc
MAXIMUM	3.7 fc
AVG / MIN	4.0:1

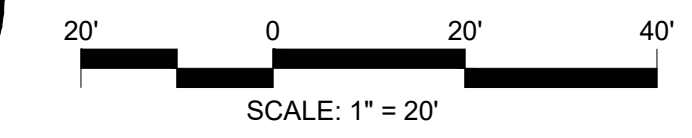


- NOTES:**
1. FINAL LEVELING OF POLE IS TO BE MADE THROUGH USE OF DOUBLE NUTS.
 2. ALL FOUR SIDES OF POLE ARE DRILLED WITH 3 HOLES AS SHOWN IN INSERT AND WASHERS PROVIDED WITH ANCHOR BOLTS OR GALVANIZED SHIMS. ABOVE TO ACCOMMODATE A MAXIMUM OF FOUR LUMINAIRES. STEEL PLATES OR PLUG COVER EACH SIDE UNTIL UNITS ARE INSTALLED.
 3. SPECIAL HANDLING OF THESE SQUARE POLES IS NECESSARY TO MINIMIZE DAMAGE TO FINISH OF POLE. A NYLON SLING SHOULD BE USED TO LIFT POLE AT ALL TIMES. CHAINS, CABLES, OR ROPES MUST NOT BE USED. A CAN OF TOUCH-UP PAINT IS INCLUDED WITH ACCESSORIES FOR EACH POLE.
 4. FOLLOW MANUFACTURER'S INSTRUCTIONS FOR ASSEMBLY AND ATTACHMENT OF FIXTURE(S) AND ARM(S) TO POLE.
 5. WHEN APPLICABLE, NEW POLE SHALL BE POSITIONED SUCH THAT THE HANDHOLE IS FACING AWAY FROM THE STREET.
 6. FOR MULTIPLE LIGHTING CIRCUITS, CONNECT THE SOURCE AND LOAD CONDUCTORS INTO THE HANDHOLE AND CONNECT USING WIRE NUTS FOR ALL #10 CONDUCTORS OR THE STREETLIGHT CONNECTION BLOCK FOR LARGER (1/0 MAX.) SOURCE AND LOAD CONDUCTORS.

SHOEBOX LUMINAIRES AND SQUARE POLES
N.T.S.

- LEGEND**
- LED POLE TOP LIGHTS
 - 3 EACH - 205W SITELIGHTER - DUKE ENERGY
 - PROGRESS - 4000K LED FIXTURE W/ TYPE III
 - THROW PATTERN - 205W - 30' MOUNTING HEIGHT
 - 15° TILT

- LIGHTING NOTES**
1. THE CE GROUP, INC. IS NOT RESPONSIBLE FOR SAFETY AND SECURITY RISKS DUE INADEQUATE LIGHTING LEVELS.
 2. ALL FIXTURES TO MEET IESNA FULL CUTOFF CLASSIFICATION.
 3. UNDERGROUND UTILITIES (EXISTING AND PROPOSED) ARE FOR INFORMATIONAL PURPOSES ONLY. SEE APPROPRIATE SHEET IN THIS SET FOR DETAILS. CONTRACTOR TO VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION, AND NOTIFY THE OWNER AND/OR ENGINEER OF ANY DISCREPANCIES PRIOR TO THE COMMENCEMENT OF WORK.



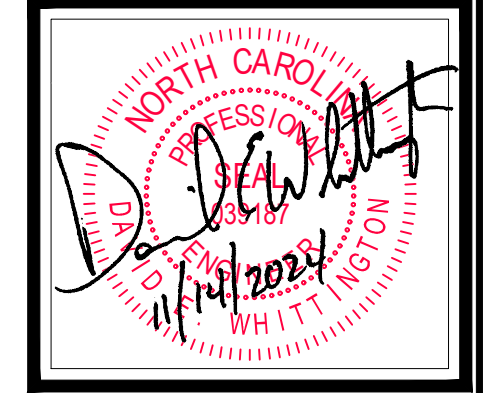
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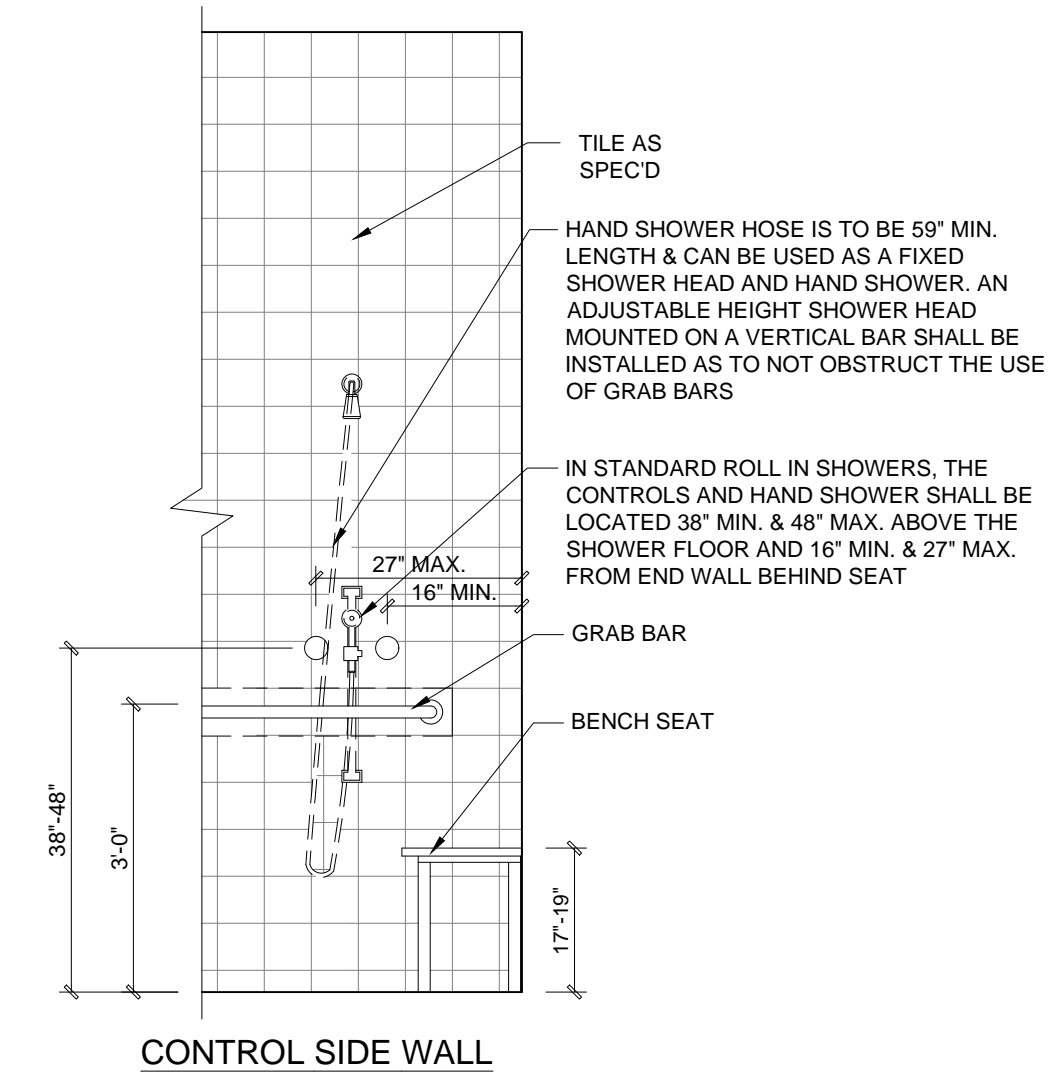
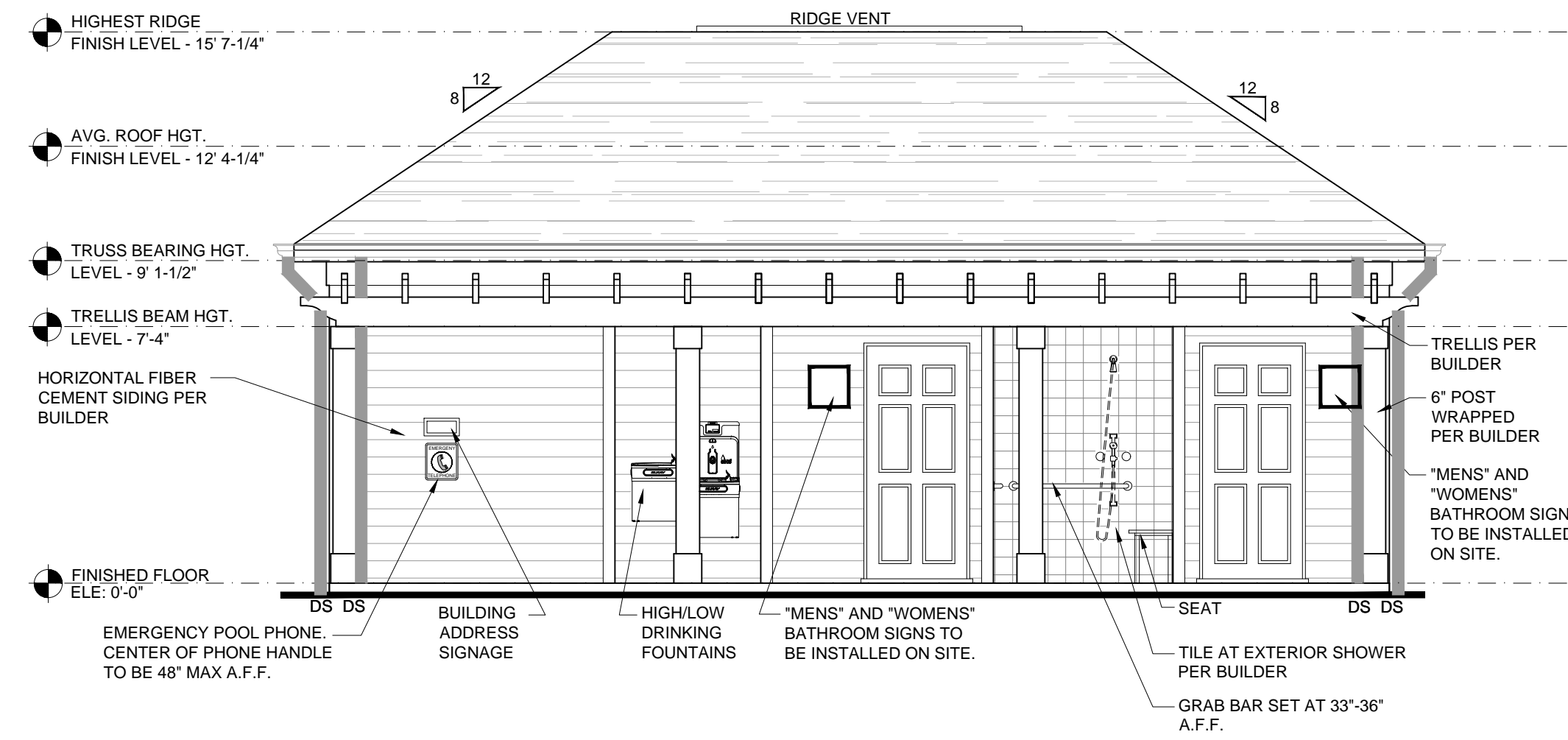
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**CAPE OVERLOOK
AMENITY CENTER
LIGHTING PLAN**

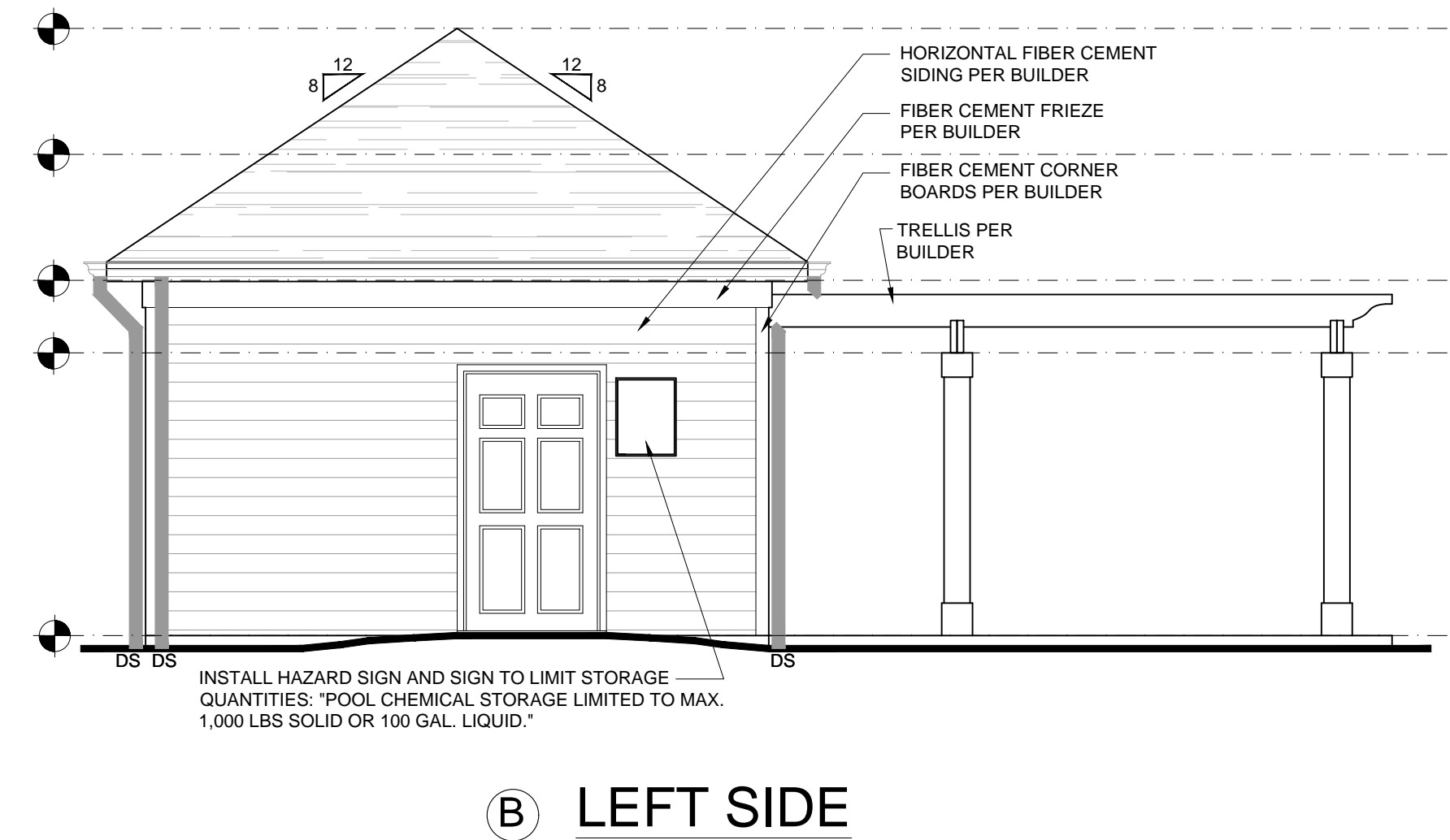
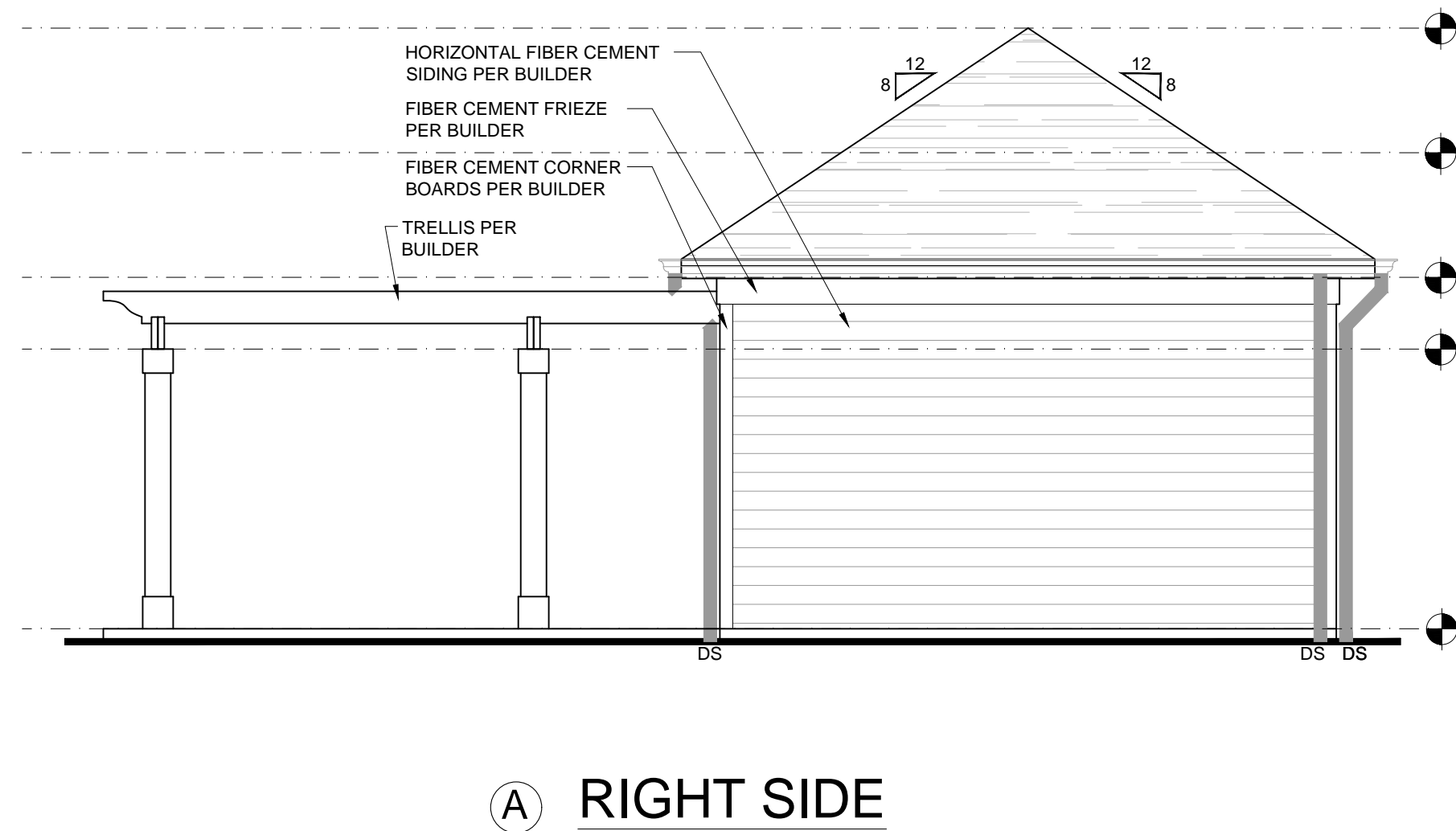
LILLINGTON, NORTH CAROLINA

Date:	NOVEMBER 14, 2024
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Drawn:	RJH
Checked:	AJF
Project No.:	147-07
Computer Dwg. Name:	147-07 lighting plan

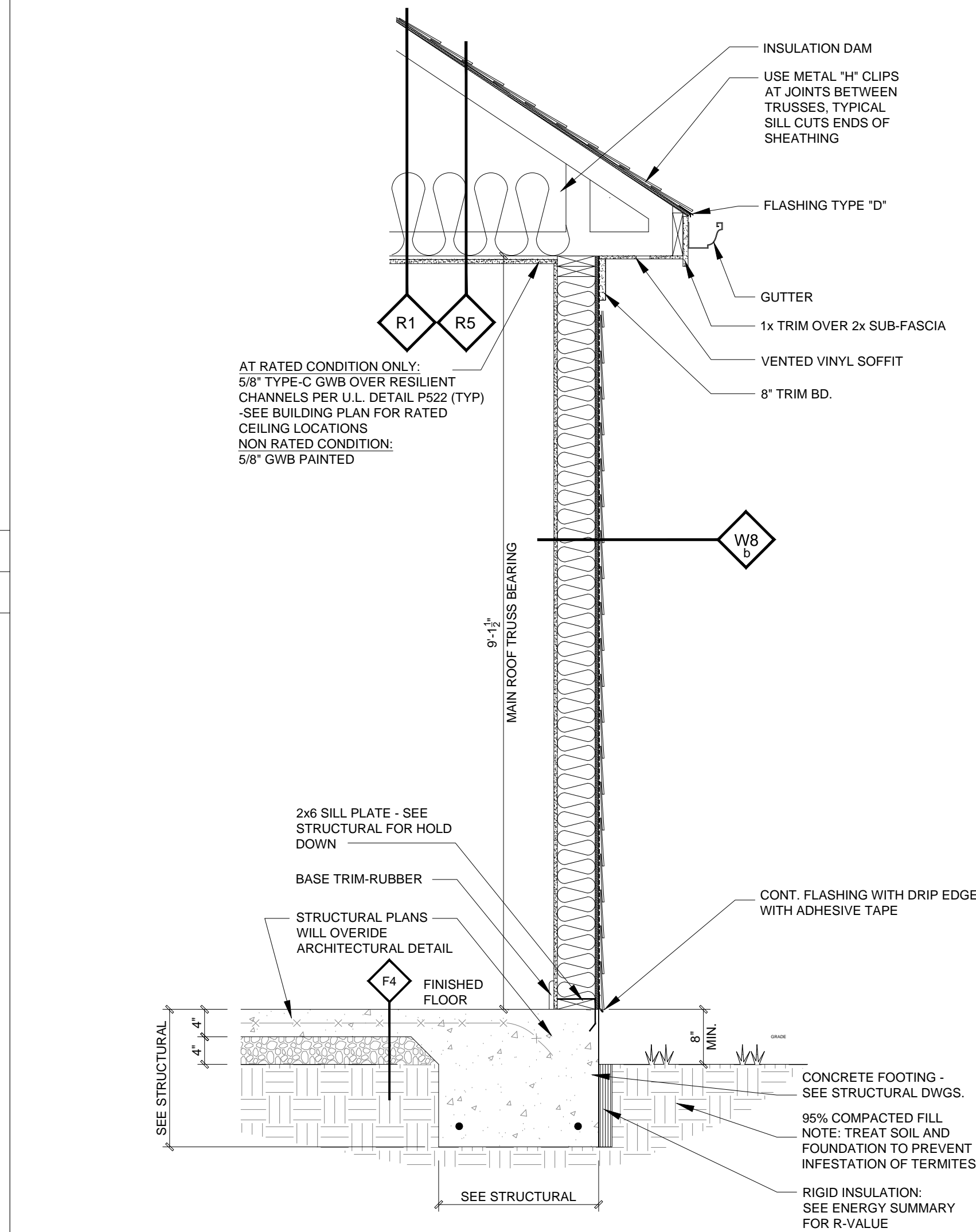


3 POOL HOUSE - FRONT ELEVATIONS
SCALE: 1/4" = 1'-0"

5 POOL HOUSE - SHOWER ELEVATION
SCALE: 1/2" = 1'-0"

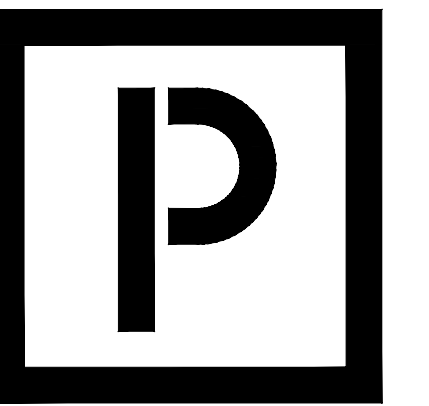


2 POOL HOUSE - SIDE ELEVATIONS
SCALE: 1/4" = 1'-0"



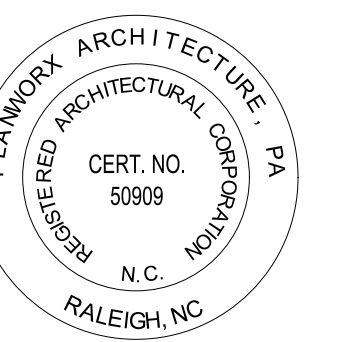
1 POOL HOUSE - REAR ELEVATION
SCALE: 1/4" = 1'-0"

4 POOL HOUSE - WALL SECTION
SCALE: 3/4" = 1'-0"



PLANWORX
ARCHITECTURE

5711 SIX FORKS ROAD, SUITE 100
RALEIGH NC 27609
website www.planworx.com



Cape Overlook Pool House

Triangle Land Partners

Lillington, NC

Issued for Permit (10-25-24)



10-25-2024

PROGRESS DATE:	ISSUE DATE:	REVISIONS:	INITIALS	DESCRIPTION
10-25-2024	10-25-2024			

PROJECT NO: 002824

DRAWN BY: BB

CHECKED BY: DS

SHEET TITLE: Pool House Elevations & Wall Sections

SHEET NUMBER: A200

1. All drawings are to be coordinated with all site information by owner and contractor, and applicable codes. 2. Contractor is to notify architect immediately of conditions or items varying from depicted information. 3. Planworx Architecture, P.A. is not responsible for constructed variations from the information depicted. 4. Planworx Architecture, P.A. will not assume any liability for expenses associated with errors and omissions on these drawings unless offset by verified construction savings as a result of Planworx Architecture, P.A. Design. 5. Planworx Architecture, P.A. retains ownership of all of designs depicted and implied herein. 6. Planworx Architecture, P.A. is not responsible for estimating, maintaining, or regulating construction costs associated with these plans. © Copyright 2024 - PLANWORX ARCHITECTURE, P.A. All rights reserved. Reproduction of this sheet, in whole or in part, is strictly prohibited. Plans may be used once by client. Unauthorized use strictly prohibited. PLANS NOT VALID FOR CONSTRUCTION W/O APPROPRIATE PROFESSIONAL SEALS.