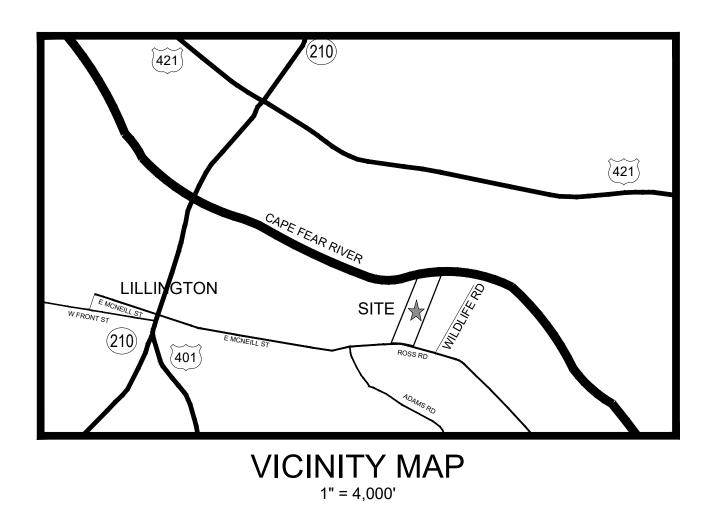
		CAPE OVERL	00K	
		OVERALL SITE DA		
SITE ADDRESS		ROSS ROAD LILLINGTON,	NC	
		LILLINGTON		
CURRENT SHE OWN	ER (AREA / PIN / DB & F			
	ROSS ROAD DEVELOP			
	0569-48-8729 - DB 4194 P	G 2536		
TOTAL PROJECT ARE	A	63.763 AC		
NATURAL OPEN SPA	CE REQ'D. (20%)	12.75 AC		
	PACE PROVIDED (27%)			
USABLE OP	EN SPACE REQ'D. (3%)	1.91 AC		
USABLE OPEN SP	ACE PROVIDED (5.18%)	3.30 AC		
	OMMON OPEN SPACE	5.08 AC		
DEVELOPER		TRIANGLE LAND PARTNER	RS	
DEVELOPER ADDRES	<u>3S</u>	PO BOX 5548 CARY, NC 27	512	
WATERSHED		CAPE FEAR RIVER BASIN		
SUBWATERSHED		CAPE FEAR RIVER		
WATERSUPPLY CLAS	SSIFICATION	WSIV-PA		
<u>FEMA MAP NO.</u>		3720056800J		
FEMA PANEL EFFEC	TIVE DATE	October 3, 2006		
PROJECT DISTURBE	DAREA	56.80 AC		
PROJECT IMPERVIO	US AREA	25.85 AC (40.54%)		
AUTHORITY HAVING	JURISDICTION	TOWN OF LILLINGTON		
CURRENT ZONING		CONDITIONAL ZONING RS	10 CLUSTER	
PROPOSED ZONING		CONDITIONAL ZONING RS	10 CLUSTER	
SETBACKS (PER ZON	NING CONDITIONS)			
		TOWNHOMES	SINGLE FAMILY	
	FRONT	20'	20'	
	SIDE	0'	5'	
	SIDE STREET	15'	15'	
	REAR	10'	20'	
PROPOSED DWELLIN	IG UNITS			
		TOWNHOMES	SINGLE FAMILY	TOTAL
	PHASE 1	12	38	50
	PHASE 2	48	0	48
	PHASE 3	0	102	102
	PHASE 4	<u>56</u>	<u>42</u>	<u>98</u>
	PROJECT TOTAL	116	182	298
PROPOSED DENSITY	-	298 DUs / 63.763 AC =	4.67 DU/AC	
PARKING				
	DESIGNATION	SINGLE-FAMILY ATTACHE	D - 2 PER UNIT (GARAGE/	DRIVEWAY)
		TOWNHOME 2 PER UNIT +	0.33 PER UNIT FOR GUE	STS
	TOTAL TOWNHOME UN	IITS	116	
	REQUIRED GUEST PAR	RKING	38 SPACES	
	PROVIDED GUEST PAR	RKING	97 SPACES	
	REQUIRED ACCESSIB	LE PARKING	2 SPACES	
	PROVIDED ACCESSIB	LE PARKING	4 SPACES	
	DESIGNATION		SINGLE FAMILY DETACH	IED
BICYCLE PARKING	3			
	_ DESIGNATION		1 PER 50 LOTS	
	TOTAL NEIGHBORHO	ODIOTS	298	
	REQUIRED BICYCLE		6 SPACES	
	PROVIDED BICYCLE		6 SPACES	
		ANNING	U SFAULS	

CAPE OVERLOOK AMENITY CENTER

LILLINGTON, NORTH CAROLINA

NOVEMBER 14, 2024



DEVELOPER / OWNER CONTACT INFORMATION:

ROSS ROAD DEVELOPERS, LLC 4201 TAYLOR HALL PL CHAPEL HILL, NC 27517-7439 ANDREWROSS@FLOYDDEVELOPMENT.COM 919-703-6203

INDEX TO DRAWINGS

COVER	1
EX. CONDITIONS PLAN	2
SITE & UTILITY PLAN	3
EROSION CONTROL & GRADING PLAN	4
LANDSCAPE PLAN	5
LIGHTING PLAN	6
EROSION CONTROL DETAILS	7
SITE DETAILS	8
SITE DETAILS	9
UTILITY DETAILS	10

POOL HOUSE FLOOR PLAN & ROOF PLAN (BY PLANWORX)

ZONING CONDITIONS

detail

- Maximum Blended Density for the project is 5 units per gross acre. Townhome lot size minimum 2,190 sf Single-family lot size minimum 4,590 sf
- Maximum Building height is 35 feet, maximum 3 stories. Minimum Building Setbacks From Buffer 10' Front Yard 20' Side Yard 5' SF and 0' TH Rear Yard 20' SF and 10' TH
- A 50' buffer and landscape berm will be constructed along Ross Road. (see master plan for - Maximum Impervious Percentage not to exceed 46%
- Perimeter 40' buffer minimum 50' average (landscape or existing vegetation)
- 5 minimum sidewalks will be provided on both sides of street.
- 30" Valley gutters can be used for Townhome lots given the minimal lot width and spacing between driveways. - (2) Roadway connections to public roads with an additional (2) road stubs to adjoining property (future connectivity).
- Block length shall not exceed 1,125 If as measured from center of intersection to center of intersection. Private parking lots can be utilized to meet the connectivity provided a minimum 20' travel lane is provided for emergency vehicle access.
- 30-inch valley curb and gutter can be used for townhome lots given the minimal lot and spacing between driveways. - All internal public roads shall be 27' B-B with 5.5' wide (SF) / 3.5 wide (TH) grass strip between back of curb and sidewalk.
- Single-Family will provide at least 2 paved parking spaces. The spaces will either be within an enclosed garage, driveway, or as designated parking pad. Townhomes will have adequate setback to park 1 car in in front of garage and 1 inside garage.
- Townhome satellite parking will be at 0.33 spaces per Townhome Unit.
- Community will have a central amenity with swimming pool, bath house, playground, open lawn area, and central mail kiosk. - Solid waste/recycling containers shall be stored within garage or outside rear/side yard within a a screened fence area (on each lot).

Architectural controls: Single Family:

- End units facing a public ROW must include a minimum of two (2) windows
- Façade Treatment: May include a mix of siding types including lap siding, board & batten, shake, stone or brick. Each unit shall include a minimum of two (2) of these elements.
- Landscaping: Each unit shall include a minimum of one (1) decorative tree, one (1) street tree, and six (6) shrubs. Street tree along each street at a maximum spacing of 40'
- Each home shall have a minimum of a two-car garage.
- Garage Doors: shall contain decorate details or carriage style adornments

Townhome:

- End units facing a public ROW must include a minimum of two (2) windows. - Façade Treatment: May include a mix of siding types including lap siding, board & batten, shake, stone or brick.
- Each unit shall include a minimum of two (2) of these elements. The use of metallic, fluorescent or neon colors shall be prohibited.
- Landscaping: Each unit shall include a minimum of one (1) decorative tree and four (4) shrubs. - Street tree along each street, driveway, and parking areas at a maximum spacing of 40'
- Garage Doors: shall contain decorate details or carriage style adornments
- Driveway widths may exceed 50% of the total property frontage and can be located within 2' of a side lot line for Townhome lots.

GENERAL DEVELOPMENT NOTES

- 1. ALL OPEN SPACE, SIGNAGE, MAIL KIOSKS, DRAINAGE EASEMENTS, LANDSCAPING & PARKING LOTS NOT IN TOWN OR NCDOT PURVIEW SHALL BE MAINTAINED BY PROPERTY OWNERS ASSOCIATION. 2. ALL GARAGES SHALL BE FRONT LOADED.
- 3. ALL DRIVEWAYS SHALL BE CONCRETE AND MEET TOWN OF LILLINGTON SPECIFICATIONS.
- 4. FOUNDATION SURVEYS SHALL BE REQUIRED FOR ALL LOTS. 5. NO PARKING WILL BE ALLOWED IN THE PUBLIC RIGHT-OF-WAY.
- 6. SANITARY SEWER SERVICES FOR ALL LOTS MUST BE INSTALLED AT TIME OF OUTFALL INSTALLATION. 7. PUBLIC WATER AND SEWER EASEMENTS TO BE SHARED BY TOWN OF LILLINGTON AND HARNETT REGIONAL
- WATER.
- 8. ALL STORM PIPE SHALL BE CLASS III REINFORCED CONCRETE PIPE UNLESS OTHERWISE NOTED. 9. THE SEWER PERMIT IS APPROVED FOR PHASES 1-3 ONLY. THE DEVELOPER SHALL MODIFY THE SEWER PERMIT TO ACCOUNT FOR PHASE 4 IN COORDINATION WITH NCDEQ, HRW & TOWN OF LILLINGTON. PERMIT MODIFICATIONS SHALL BE APPROVED BY ALL PARTIES PRIOR TO BEGINNING ANY PHASE 4 CONSTRUCTION (INCLUDING SHEET, STORMWATER, SEWER & WATER INSTALLATION). SEPARATE MATERIAL SUBMITTALS & PRECONSTRUCTION MEETING WILL BE REQUIRED FOR PHASE 4.

1. ALL PUBLIC FACILITIES, INCLUDING STORM DRAINAGE, SIDEWALKS, AND HANDICAP RAMPS ARE TO BE

TOWN OF LILLINGTON NOTES

BY THE TOWN OF LILLINGTON.

UTILITIES

2.	OWNER HEREBY CERTIFIES AND AGREES TO TAKE SUCH ACTION AS MAY BE REQUIRED BY THE TOWN OF
	LILLINGTON TO CORRECT ANY ERRORS, OMISSIONS OR NON-COMPLIANCE WITH TOWN STANDARDS AND/OR
	CONDITIONS DESCRIBED IN THIS CONSTRUCTION PLAN, INCLUDING RESUBMISSION OR RE-EXECUTION OF THIS
	CONSTRUCTION PLAN WITH THE APPROPRIATE CORRECTIONS AND/OR REVISIONS.

CONSTRUCTED ON ALL STREETS AS SPECIFIED BY TOWN AND NCDOT STANDARDS. THESE FACILITIES HAVE

BEEN APPROVED BY THE TOWN OF LILLINGTON AND SHALL BE SO INSTALLED UNLESS A CHANGE IS APPROVED

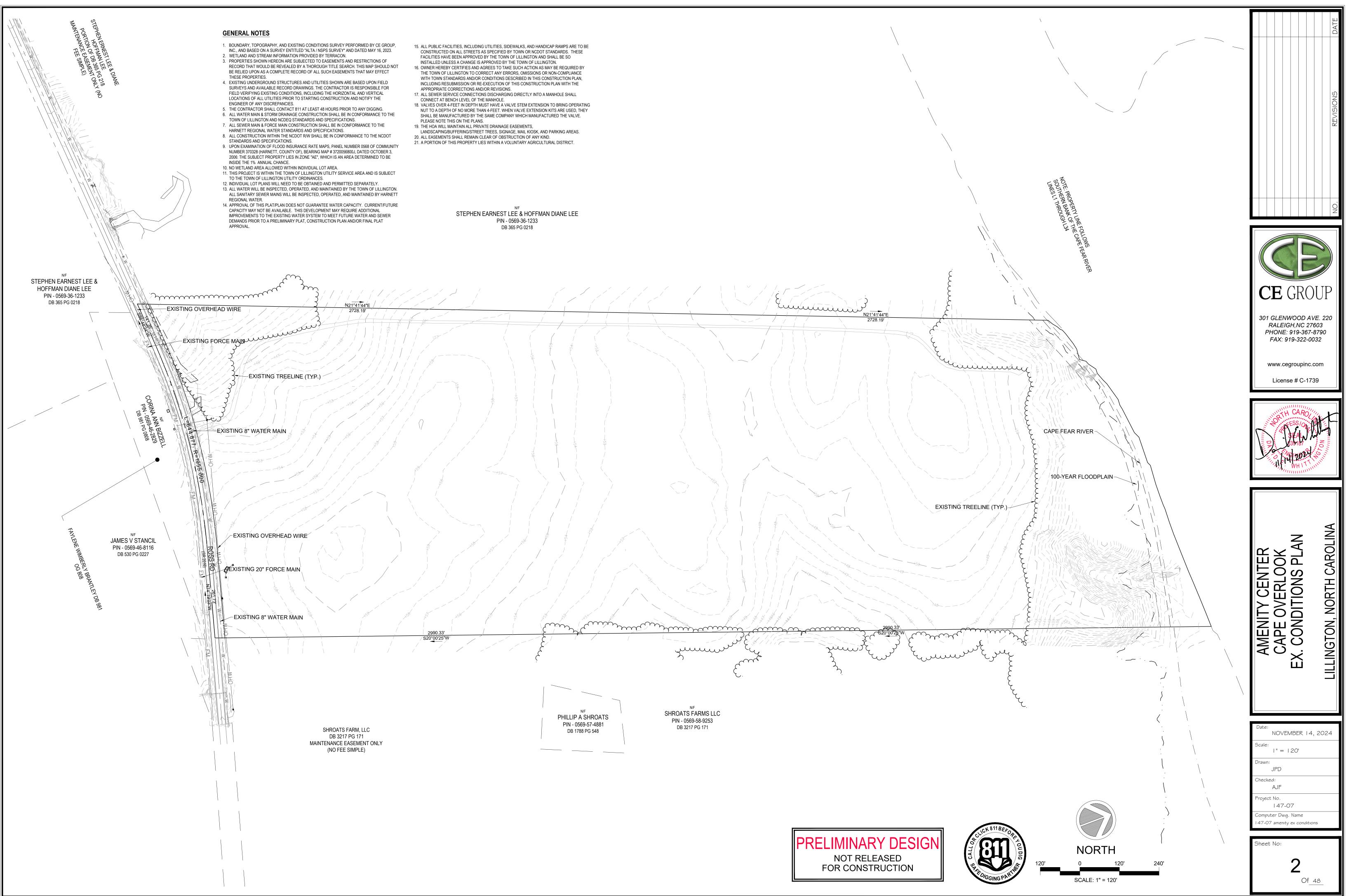
ED FOR CONSTRUCTION BY THE
DATE
DATE
DATE

DATE

	REVISIONS
	NO.
CE GRO 301 GLENWOOD AV RALEIGH,NC 276 PHONE: 919-367-8 FAX: 919-322-00 Www.cegroupinc.co License # C-173	E. 220 603 8790 32
SEAL WHIT	NOZO U
CAPE OVERLOOK AMENITY CENTER COVER	LILLINGTON, NORTH CAROLINA
Date: NOVEMBER 14, Scale: N/A Drawn:	2024
JPD Checked: AJF Project No. 147-07 Computer Dwg. Name 147-07 amenity cover	

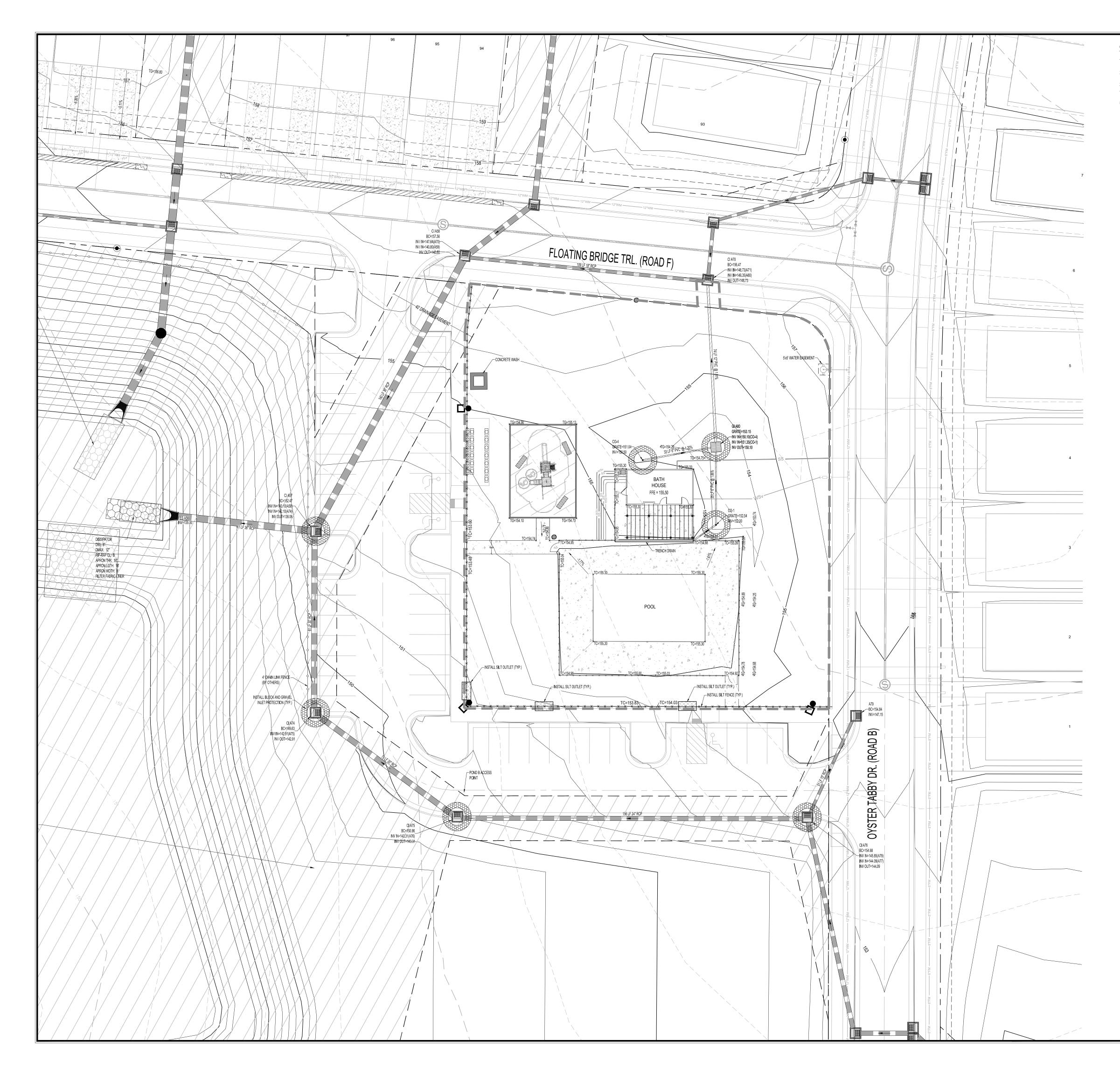
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	(CAPE OVERLOO OVERALL SITE DATA			Ц
SITE ADDRESS		ROSS ROAD LILLINGTON,			DATE
<u>TOWNSHIP</u> <u>CURRENT SITE C</u>	DWNER (AREA / PIN / DB &	LILLINGTON <u>PG)</u>			
	ROSS ROAD DEVELO	PERS, LLC			
TOTAL PROJECT	0569-48-8729 - DB 4194	PG 2536 63.763 AC			
	<u>SPACE REQ'D. (20%)</u>	12.75 AC			
NATURAL OPE	N SPACE PROVIDED (27%				ر س
	OPEN SPACE REQ'D. (3%) SPACE PROVIDED (5.18%)	•			SIONS
8	COMMON OPEN SPACE				EVIS
<u>DEVELOPER</u> DEVELOPER ADD	DRESS	TRIANGLE LAND PARTNE PO BOX 5548 CARY, NC 2			
WATERSHED		CAPE FEAR RIVER BASIN			
SUBWATERSHEE WATERSUPPLY C	-	CAPE FEAR RIVER WSIV-PA			
FEMA MAP NO.		3720056800J			
		October 3, 2006			
<u>PROJECT DISTUF</u> PROJECT IMPER		56.80 AC 25.85 AC(40.54%)			
	ING JURISDICTION	TOWN OF LILLINGTON			
<u>CURRENT ZONIN</u> PROPOSED ZONI		CONDITIONAL ZONING R			O Z
	ZONING CONDITIONS)				
	FRONT	TOWNHOMES 20'	SINGLE FAMILY 20'		
	SIDE	20 0'	5'		
	SIDE STREET	15' 10'	15' 20'		
PROPOSED DWE	REAR ELLING UNITS	10'	20'		
		TOWNHOMES	SINGLE FAMILY		
	PHASE 1	12	38	CE GI	
	PHASE 2	48	0		
	PHASE 3	0	93	301 GLENWOO	
	PHASE 4 PROJECT TOTAL	56 116	51 182	RALEIGH,N	C 27603
PROPOSED DEN		298 DUs / 63.763 AC =		PHONE: 919 FAX: 919-3	
PARKING	DESIGNATION		ED - 2 PER UNIT (GARAGE/DRIVEWAY)		
	Debiointion		+ 0.33 PER UNIT FOR GUESTS	www.cegrou	ninc com
	TOTAL TOWNHOME U		116	www.oogrou	pine.com
	REQUIRED GUEST PA PROVIDED GUEST PA		38 SPACES 97 SPACES	License #	C-1739
	REQUIRED ACCESSII		2 SPACES		
	PROVIDED ACCESSIE	BLE PARKING	4 SPACES		
	DESIGNATION		SINGLE FAMILY DETACHED	NUC TH CA	ROMAN
BICYCLE PARK	KING			C PLSS	
	DESIGNATION		1 PER 50 LOTS		
	TOTAL NEIGHBORH		298 6 SPACES		2
	PROVIDED BICYCLE		6 SPACES		TTINI
GENERAL UTILITY N	NOTES				IIII.
			APPROXIMATE. IT IS THE CONTRACTOR'S DEMOLITION OR CONSTRUCTION. NOTIFY UTILITY		
			FOR UNDERGROUND LOCATIONS AT LEAST 48 HOURS IN		
2. ALL MATERIALS & CONST	RUCTION METHODS SHALL B	E IN ACCORDANCE WITH THE T	OWN OF LILLINGTON, HARNETT REGIONAL WATER		
(HRW) AND NCDEQ.			IENDED PLAN AND/OR PROFILE BY THE TOWN OF		~
3. ANY NECESSARY FIELD F LILLINGTON AND HRW PR		LEVIEW & AFERUVAL UP AN AM	LIVED I LAN ANDION ERVEILE DI THE TOWN UP		CAROLINA
			G RESIDENCES & BUSINESSES THROUGHOUT PRECEDED BY A 24 HOUR ADVANCE NOTICE TO HRW.		
5. CONTRACTOR IS RESPON	NSIBLE FOR CONTACTING THE	E APPROPRIATE UTILITY COMP	ANY TO RELOCATE ANY EXISTING UTILITY POLES		J Å
			DN. ALL EXISTING FACILITIES WHICH CONFLICT WITH T THE EXPENSE OF THE APPLICANT UPON APPROVAL.	INE	- CA
		NTROL FOR WORK WITHIN NCD LEAST 48 HOURS PRIOR TO BE	ot Right-of-way. Before doing work within Eginning work.		.
			FOR ELECTRICAL AND TELECOMMUNICATIONS		
ROUTING AND CONNECT	ION INFORMATION.			$ \geq - \exists$	NORT
	,	I-OUTS, AND MANHOLE RIMS TO			
	IN WATER DETAIL W-12 ON SH	EET 10 FOR WATER SERVICE IN	NSTALLATION		
					s NC
10. POOL DISCHARGE SHALL			TO TOWN OF LILLINGTON STORM DRAINAGE SYSTEM.	API MEI W	
10. POOL DISCHARGE SHALL 11. MAIL KIOSKS SHALL REM	IAIN OPEN AND AVAILABLE TO		TO TOWN OF LILLINGTON STORM DRAINAGE SYSTEM. AMENITY CENTER CONSTRUCTION.	CAPI AMEI	NGTON
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GENERAL GRADING NOTES

- 1. STORM DRAINAGE SHOWN TO BE INSTALLED DURING SUBDIVISION CONSTRUCTION. ENSURE POSITIVE DRAINAGE OF ALL STRUCTURES.
 POOL HOUSE DOWNSPOUTS TO SURFACE DRAIN; ENSURE POSITIVE DRAINAGE AWAY FROM
- STRUCTURE. 3. PARKING LOT AND MAIL KIOSKS TO BE INSTALLED DURING SUBDIVISION CONSTRUCTION.
- SEE PLAYGROUND MANUFACTURER SPECIFICATIONS FOR SURFACE MATERIAL AND DRAINAGE REQUIREMENTS.
- 5. ALL DISTURBED AREA HAS BEEN ACCOUNTED FOR IN SUBDIVISION CONSTRUCTION PLANS AND EROSION CONTROL PERMIT NO. HARNE-2023-094.

EROSION CONTROL NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.

SUFFICIENT EROSION CONTROL PRACTICES MUST BE INSTALLED AND MAINTAINED TO RETAIN SEDIMENT WITHIN THE BOUNDARIES OF THE SITE. GROUND COVER STABILIZATION SHALL BE IN ACCORDANCE WITH NPDES PERMIT AND STABILIZATION CHART ABOVE. TEMPORARY GROUND COVER WILL BE INSTALLED ON ALL EXPOSED SLOPES IN 7 OR 14 DAYS.

MAINTENANCE: ALL EROSION AND SEDIMENT CONTROL PRACTICES TO BE INSPECTED WEEKLY AND AFTER EVERY RUNOFF PRODUCING RAINFALL EVENT. NEEDED REPAIRS WILL BE MADE IMMEDIATELY.

MAXIMUM GRADED SLOPE SHALL NOT EXCEED THREE (3) TO ONE (1). TOTAL DISTURBED AREA IS 0.68 ACRES.

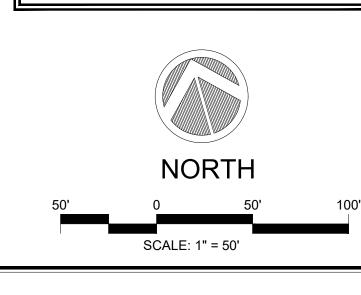
CONSTRUCTION SEQUENCE

- 1. SCHEDULE A PRE-CONSTRUCTION CONFERENCE WITH THE FAYETTEVILLE REGIONAL OFFICE INSPECTOR. OBTAIN A
- LAND-DISTURBING PERMIT. INSTALL GRAVEL CONSTRUCTION PAD, INLET PROTECTION AND
- SILT FENCE AS SHOWN ON THE APPROVED PLANS. 3. CALL FOR AN ONSITE INSPECTION BY THE FAYETTEVILLE
- REGIONAL OFFICE INSPECTOR TO OBTAIN A CERTIFICATE OF COMPLIANCE. 4. BEGIN CLEARING AND GRUBBING. BEGIN INSTALLATION OF
- SUB-SURFACE DRAINAGE SYSTEM FROM DOWNSTREAM (CONNECTION TO CI A70), MAINTAIN DEVICES AS NEEDED. BEGIN ROUGH GRADING SITE AREA. 5. STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISH GRADE
- WITH VEGETATION, PAVING, DITCH LININGS, ETC. SEED AND MULCH DENUDED AREAS PER GROUND STABILIZATION TIME FRAMES. 6. WHEN ALL DISTURBED AREAS ARE STABILIZED COMPLETELY, CONTACT FAYETTEVILLE REGIONAL OFFICE INSPECTOR FOR
- INSPECTIONS, AND IF APPROVED, PROCEED WITH CONSTRUCTION.

GROUND STABILIZATION *

SITE AREA DESCRIPTION	STABILIZATION TIME FRAME	STABILIZATION TIME FRAME EXCEPTIONS
Perimeter dikes, swales, ditches and slopes	7 days	None
High Quality Water (HQW) Zones	7 days	None
Slopes steeper than 3:1	7 days	If slopes are 10' or less in length and are not steeper than 2:1, 14 days allowed
Slopes 3:1 or flatter	14 days	7-days for slopes greater than 50-feet in length
All other areas with slopes flatter than 4:1	14 days	None (except for perimeters and HQW Zones)
* "Extensions of tim	ne may be approved b	y the permitting authority based on weather

"Extensions of time may be approved by the permitting authority based on weather or other site-specific conditions that make compliance impracticable." (Section II.B (2)(b)

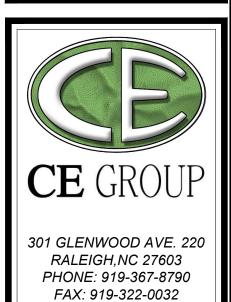


PRELIMINARY DESIGN

NOT RELEASED FOR CONSTRUCTION

	LEGEND CURB INLET (CI) GRATED INLET (GI) STORM MANHOLE (SDMH) FLARED END SECTION (FES) 30" CURB & GUTTER					
ABBR	EVIATION LEGEND					
FES PDE SSMH GV	BACK OF CURB ELEVATION TOP OF CONCRETE ELEVATION GROUND ELEVATION CURB INLET DROP INLET GRATED INLET MANHOLE FLARE END SECTION PRIVATE DRAINAGE EASEMENT SANITARY SEWER MANHOLE GATE VALVE TOWN OF LILLINGTON DRAINAGE EASEMENT CONTROL LEGEND TEMPORARY SILT FENCE REINFORCED SILT FENCE OUTLET					
\sim	TEMPORARY BLOCK & GRAVEL					
	INLET PROTECTION CONCRETE WASHOUT					

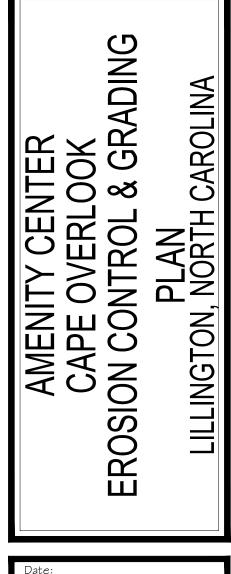
EROSION CONTROL

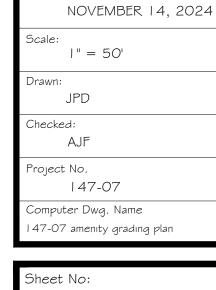


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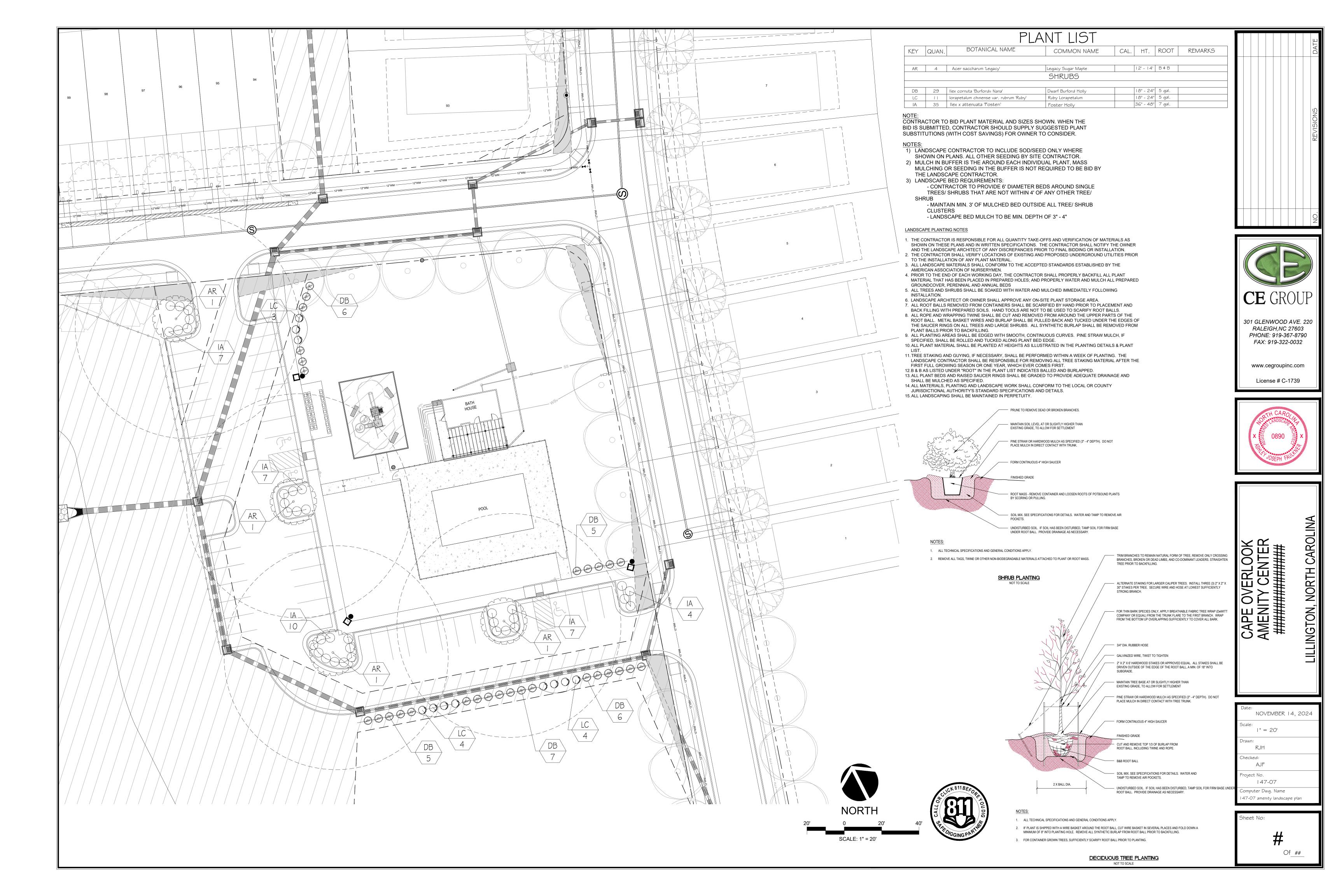
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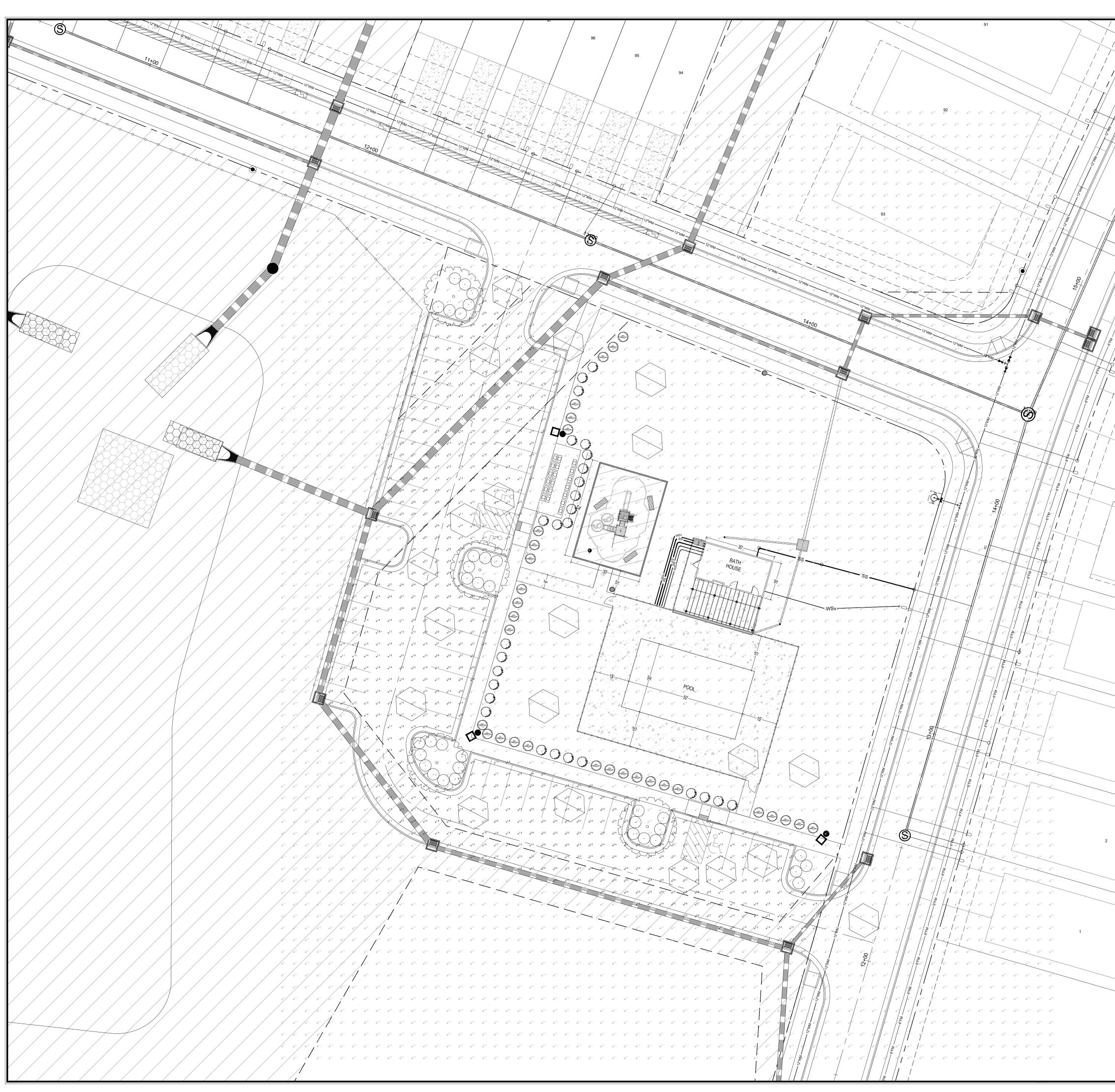






Of 48





LIGHTING DATA				
EAST SIDE PARKING LOT				
AVERAGE 1.6 fc				
0.4 fc				
3.7 fc				
4.0:1				

NOTES:

- POLE CAP INCLUDED

-SHOEBOX LUMINAIRE W/ARM

FULL CUTOFF 205W LED SITELIGHTER (TYPE III)

-SQUARE METAL POLE

-HANDHOLE

- 2 PIECE BASE COVER

FINISHED GRADE

HOUSING $^{-}$

1. FINAL LEVELING OF POLE IS TO BE MADE THROUGH USE OF DOUBLE NUTS.

3. SPECIAL HANDLING OF THESE SQUARE POLES IS

4. FOLLOW MANUFACTURER'S INSTRUCTIONS FOR ASSEMBLY AND ATTACHMENT OF FIXTURE(S) AND

5. WHEN APPLICABLE, NEW POLE SHALL BE POSITIONED SUCH THAT THE HANDHOLE IS FACING AWAY FROM

6. FOR MULTIPLE LIGHTING CIRCUITS, CONNECT THE

SOURCE AND LOAD CONDUCTORS INTO THE HANDHOLE AND CONNECT USING WIRE NUTS FOR ALL

#10 CONDUCTORS OR THE STREETLIGHT CONNECTION BLOCK FOR LARGER (1/0 MAX.) SOURCE AND LOAD

UNITS ARE INSTALLED.

ARM(S) TO POLE.

THE STREET.

CONDUCTORS.

SHOEBOX LUMINAIRES AND SQUARE POLES

N.T.S.

ALL FOUR SIDES OF POLE ARE DRILLED WITH 3 HOLES

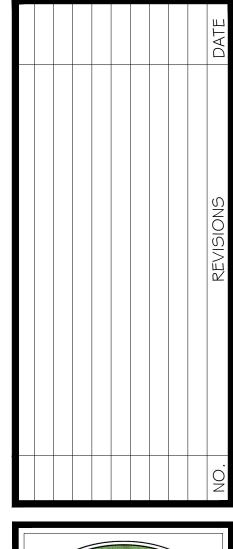
AS SHOWN IN INSERT AND WASHERS PROVIDED WITH

NECESSARY TO MINIMIZE DAMAGE TO FINISH OF POLE.

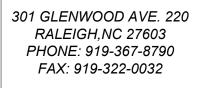
A NYLON SLING SHOULD BE USED TO LIFT POLE AT ALL TIMES. CHAINS, CABLES, OR ROPES MUST NOT BE

USED. A CAN OF TOUCH-UP PAINT IS INCLUDED WITH ACCESSORIES FOR EACH POLE.

ANCHOR BOLTS OR GALVINIZED SHIMS. ABOVE TO ACCOMMODATE A MAXIMUM OF FOUR LUMINAIRES. STEEL PLATES OR PLUG COVER EACH SIDE UNTIL

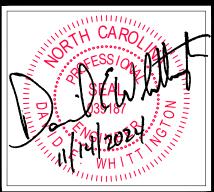


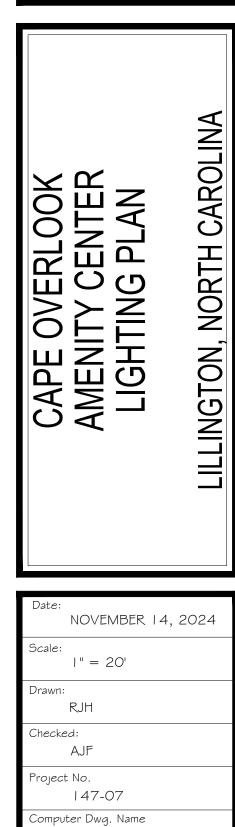




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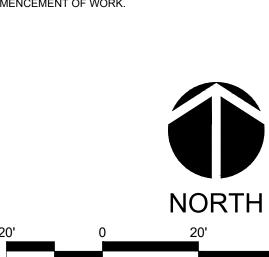
47-07 lighting plan

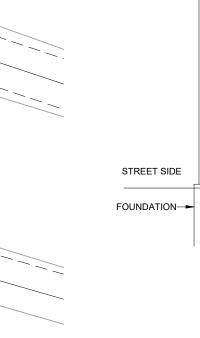


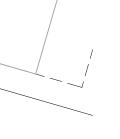
6

Of 10







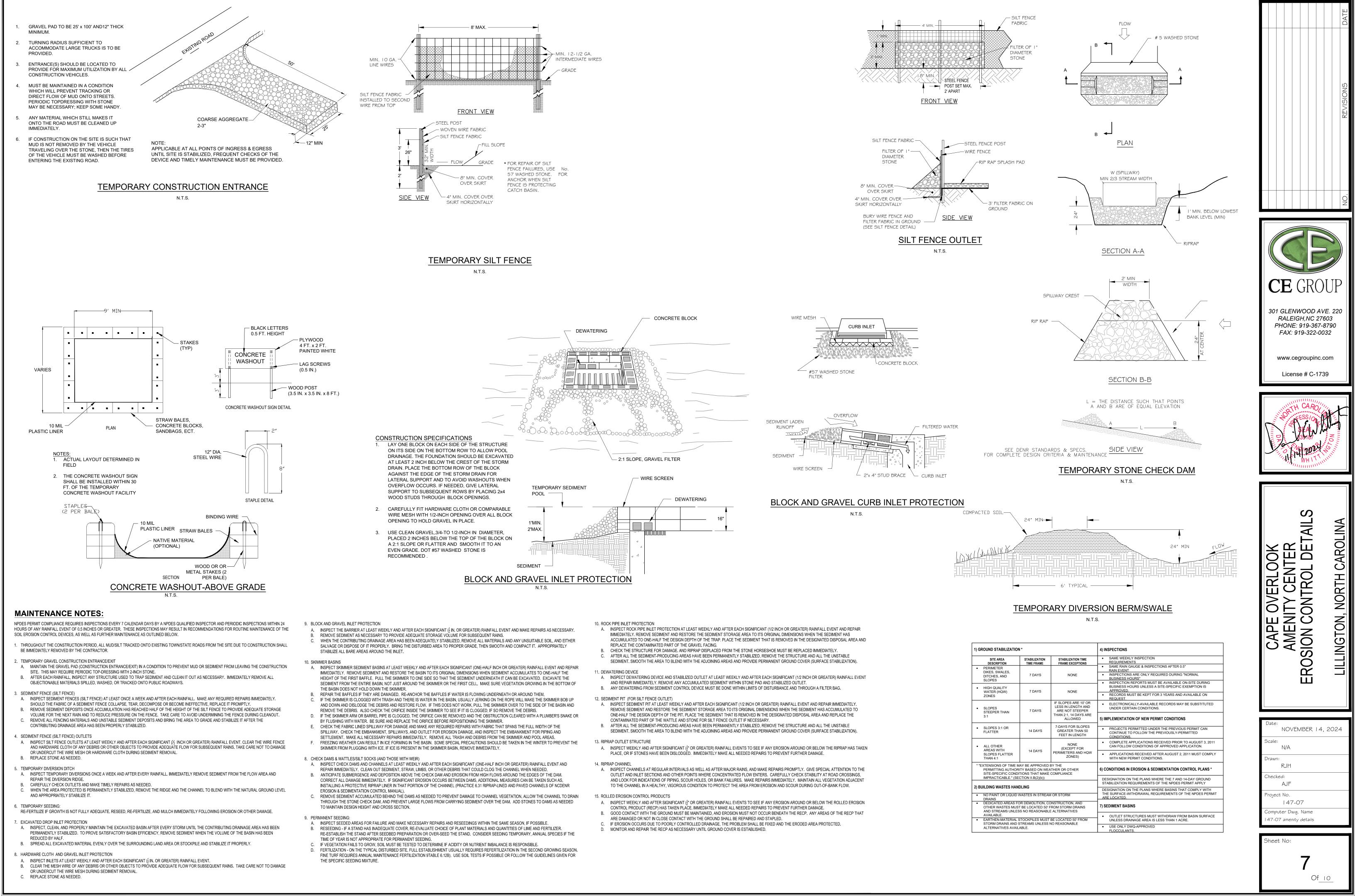


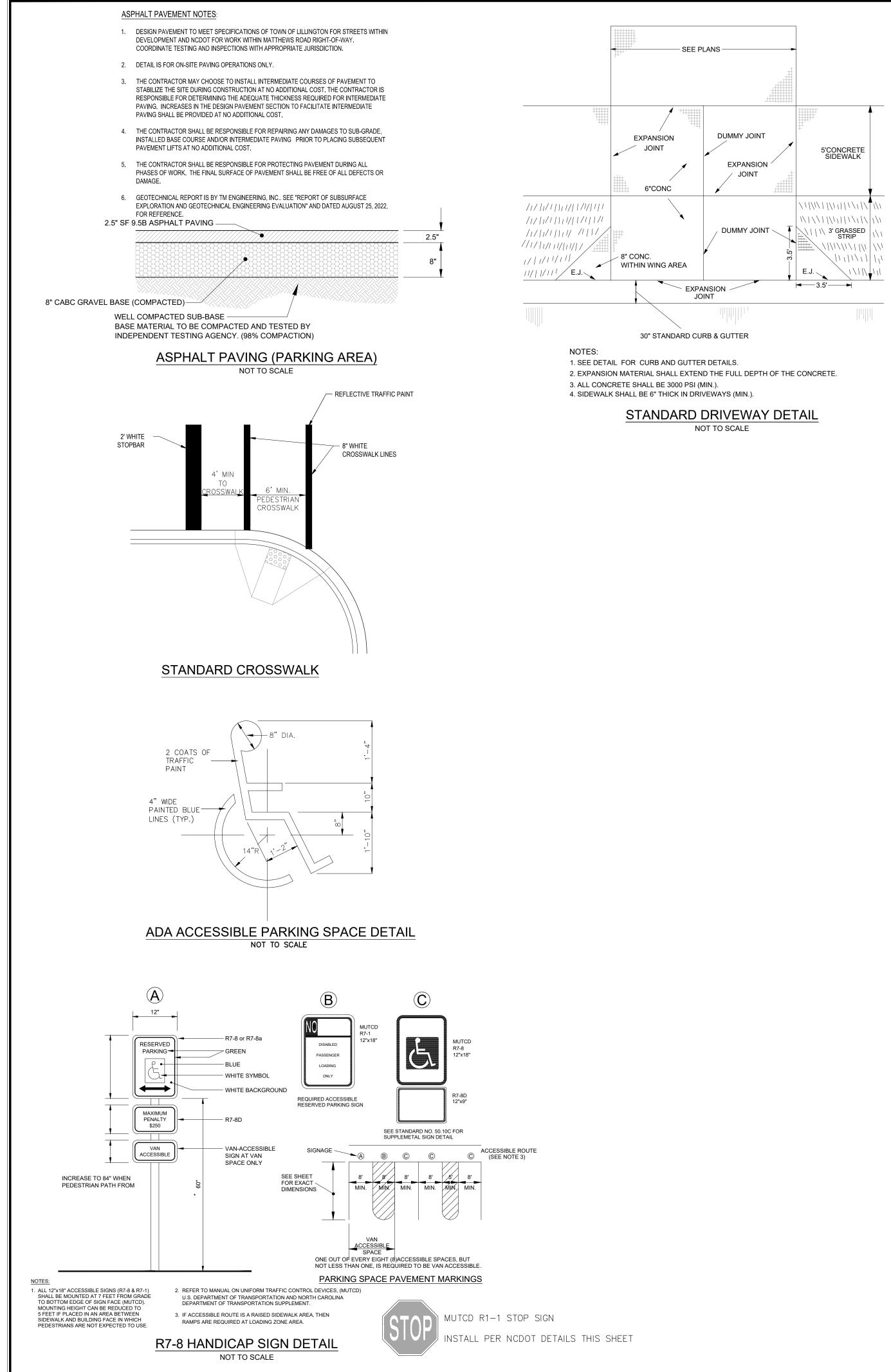
- CONTRACTOR TO VERIFY THE HORIZONTAL AND

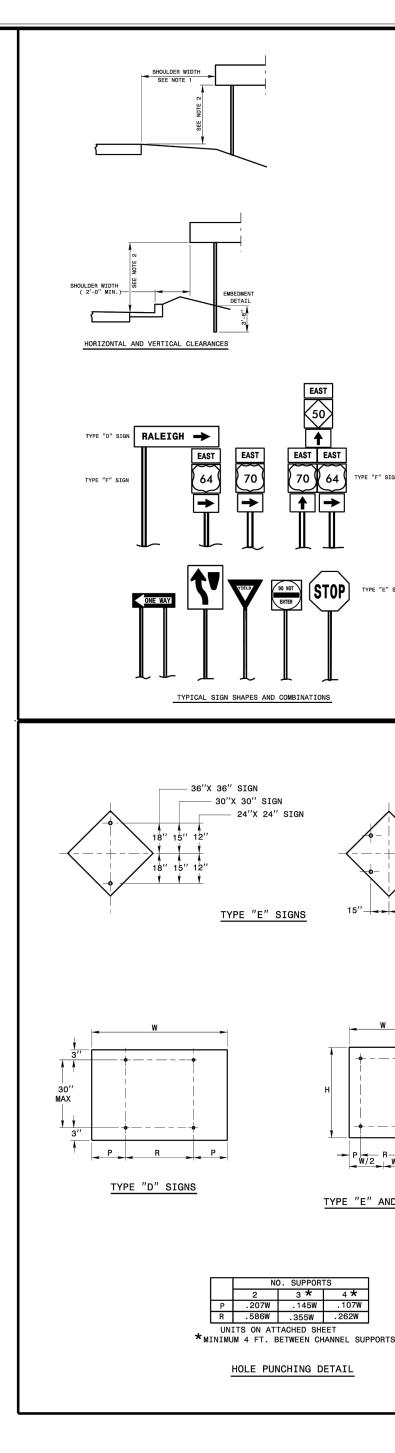
LEGEND

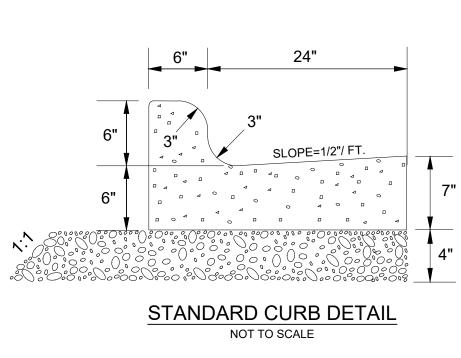
LED POLE TOP LIGHTS 3 EACH - 205W SITELIGHTER - DUKE ENERGY PROGRESS - 4000K LED FIXTURE W/ TYPE III THROW PATTERN - 205W - 30' MOUNTING HEIGHT - 15° TILT

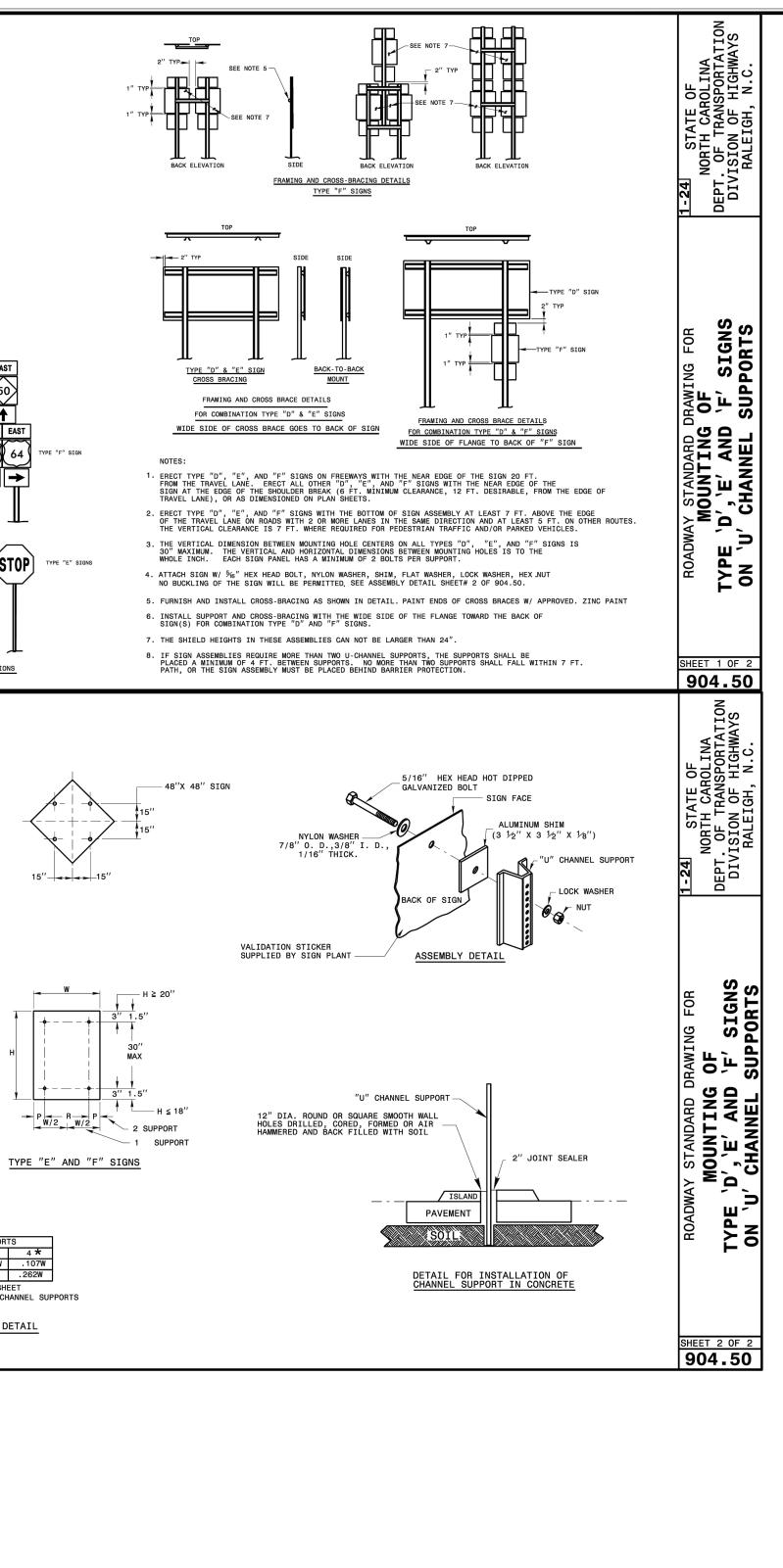
- THE CE GROUP, INC. IS NOT RESPONSIBLE FOR SAFETY AND SECURITY RISKS DUE INADEQUATE LIGHTING LEVELS.
- 2. ALL FIXTURES TO MEET IESNA FULL CUTOFF CLASSIFICATION.
- UNDERGROUND UTILITIES (EXISTING AND PROPOSED) ARE FOR INFORMATIONAL PURPOSES ONLY. SEE APPROPRIATE SHEET IN THIS SET FOR DETAILS. VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION, AND NOTIFY THE OWNER AND/OR ENGINEER OF ANY DISCREPANCIES PRIOR TO THE COMMENCEMENT OF WORK.
- LIGHTING NOTES







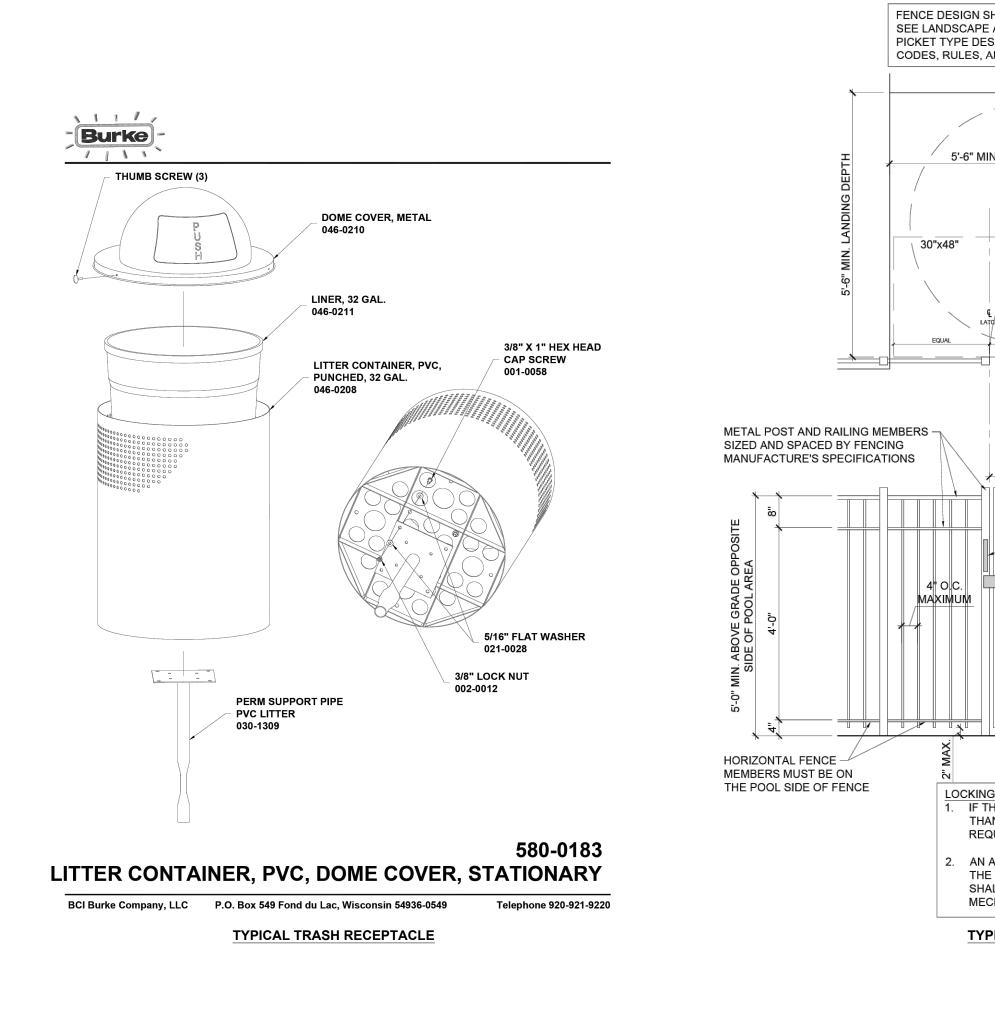




- NOTES: 1. 10' MAXIMUM BETWEEN DUMMY JOINTS. 15' MAXIMUM BETWEEN DUMMY JOINTS ON MACHINE POURS.
- 2. 1/2" EXPANSION JOINT EVERY 50'.
- 3000 PSI CONCRETE MINIMUM, 4" SLUMP MAXIMUM. LIQUID MEMBRANE CURING COMPOUND SHALL MEET THE REQUIREMENTS OF SECTION 1026-2 OF NCDOT STANDARDS & SPECIFICATIONS FOR ROADS AND STRUCTURES.
- ALL CONSTRUCTION JOINTS SHALL BE FILLED WITH JOINT FILLER AND SEALER IN ACCORDANCE WITH NCDOT ROADWAY STANDARD DETAIL 846.01 THE JOINT MATERIAL SHALL CONFORM TO SECTION 1028-2 OF NCDOT STANDARD & SPECIFICATIONS FOR ROADS AND STRUCTURES.
- 6. REFER TO NCDOT DETAIL 846.01 FOR CURB AND GUTTER SUPERELEVATION RATES.

	DATE
	REVISIONS
	NO.
CE GRO 301 GLENWOOD AV RALEIGH,NC 276 PHONE: 919-367-8 FAX: 919-322-00 Www.cegroupinc.co License # C-173	E. 220 03 8790 32 om
TH CARO	
SEAL WHIT	NOZO
CAPE OVERLOOK AMENITY CENTER SITE DETAILS	LILLINGTON, NORTH CAROLINA
Date: NOVEMBER 14, Scale: N/A	2024
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Drawn: RJH Checked:	
RJH Checked: AJF Project No. I 47-07 Computer Dwg. Name	
RJH Checked: AJF Project No. I 47-07	

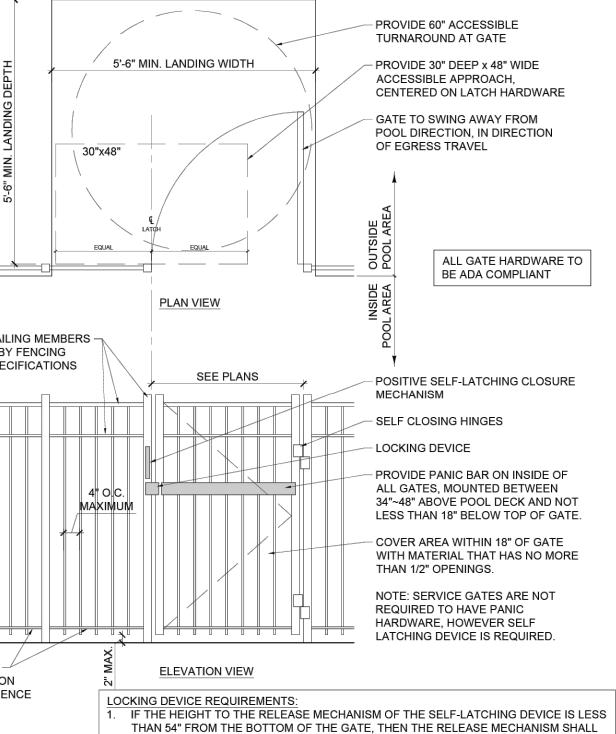






TYPICAL DOG WASTE STATION (OR APPROVED EQUAL)

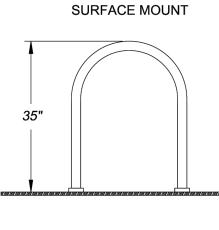
FENCE DESIGN SHOWN MAY VARY FROM ACTUAL FENCE INSTALLED. SEE LANDSCAPE ARCHITECTURAL DRAWINGS. THIS DETAIL SHOWS A TYPICAL PICKET TYPE DESIGN WITH THE MINIMUM REQUIREMENTS TO SATISFY LAWS, CODES, RULES, AND REGULATIONS GOVERNING N.C. PUBLIC SWIMMING POOLS.

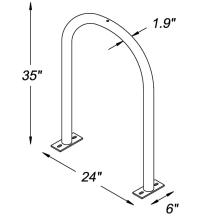


REQUIRE THE USE OF A KEY, COMBINATION, OR CARD READER TO OPEN THE GATE. AN ALTERNATE LOCATION FOR THE RELEASE MECHANISM IS ON THE POOL SIDE OF THE GATE AT LEAST 3" BELOW THE TOP OF THE GATE AND THE GATE AND FENCE SHALL HAVE NO OPENINGS GREATER THAN 1/2" WITHIN 18" OF THE RELEASE MECHANISM.

TYPICAL POOL PERIMETER FENCING

IN-GROUND MOUNT 33-36"



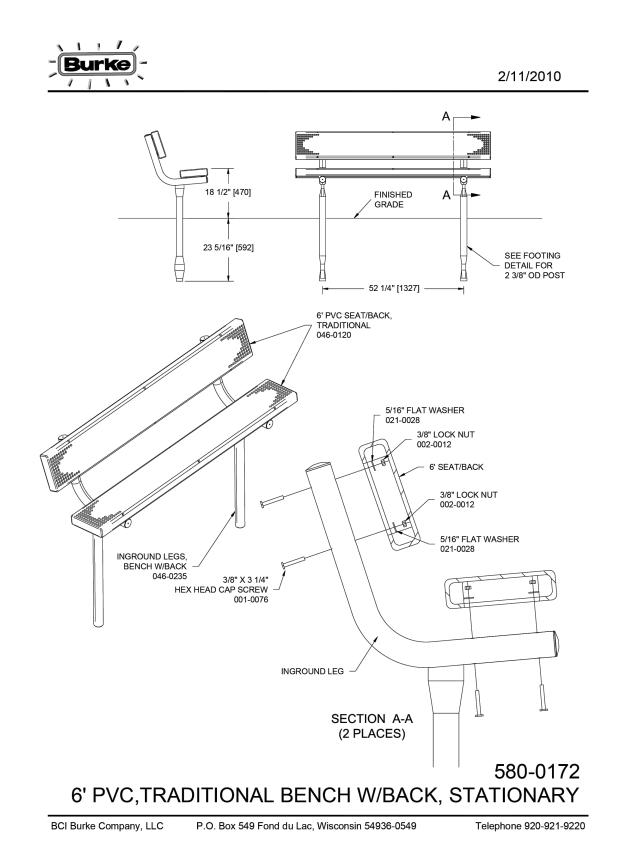


BIKE RACK INSTALLATION: SURFACE MOUNT - WHEN INSTALLED ON CONCRETE SURFACE, USE 3/8" ANCHORS TO PLATE MOUNT. SHIM AS NECESSARY TO ENSURE VERTICAL PLACEMENT.

IN-GROUND MOUNT - WHEN INSTALLED ON PAVERS OR OTHER NON-STABLE SURFACES, EMBED INTO BASE. CORE HOLES NO LESS THAN 3" IN DIAMETER AND 10" DEEP.

STANDARD BIKE RACK

TYPICAL BIKE RACK (OR APPROVED EQUAL)



TYPICAL PARK BENCH (OR APPROVED EQUAL)

