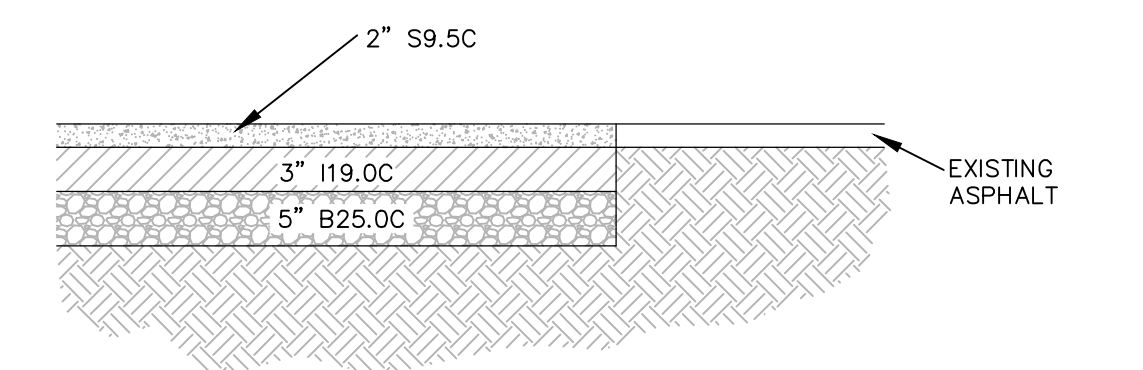




REVISIONS

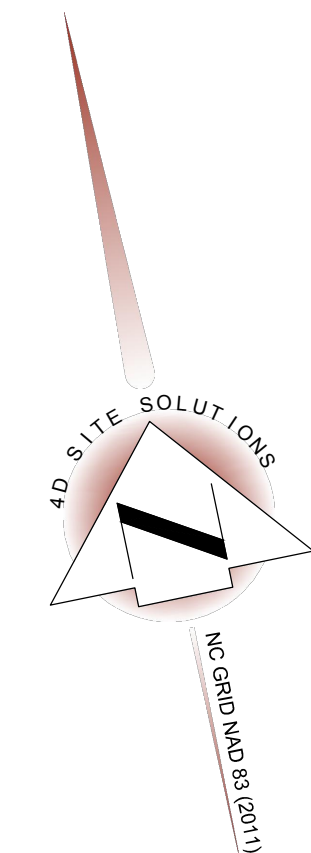
- ROAD WIDENING NOTES:
1. ALL PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH POLICY ON STREET AND DRIVEWAY ACCESS TO NORTH CAROLINA HIGHWAY MANUAL AND NCDOT STANDARD DRAWING 1205.04 AND 1205.05.
 2. CONTRACTOR SHALL COORDINATE ALL ROAD WIDENING AND PAVEMENT MARKINGS WITH THE NCDOT DISTRICT OFFICE PRIOR TO CONSTRUCTION. CONTACT INFORMATION: FRANK WEST (910) 364-0606
 3. CONTRACTOR IS RESPONSIBLE FOR ALL TRAFFIC CONTROL DURING THE ROAD WIDENING OPERATIONS.
 4. CONTRACTOR SHALL NOTIFY ALL PROPERTY OWNERS THAT ARE AFFECTED BY THE ROAD WIDENING INCLUDING BUT NOT LIMITED TO DRIVEWAY REPAIR.
 5. CONTRACTOR IS RESPONSIBLE FOR RELOCATING ALL UTILITIES AND INFRASTRUCTURE AFFECTED BY THE WIDENING TO INCLUDE BUT NOT LIMITED TO SIGNS, MAILBOXES, POWER POLES, ETC. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING PROPERTY RESULTING FROM CONSTRUCTION OF THE IMPROVEMENTS.

PAVEMENT WIDENING SECTION

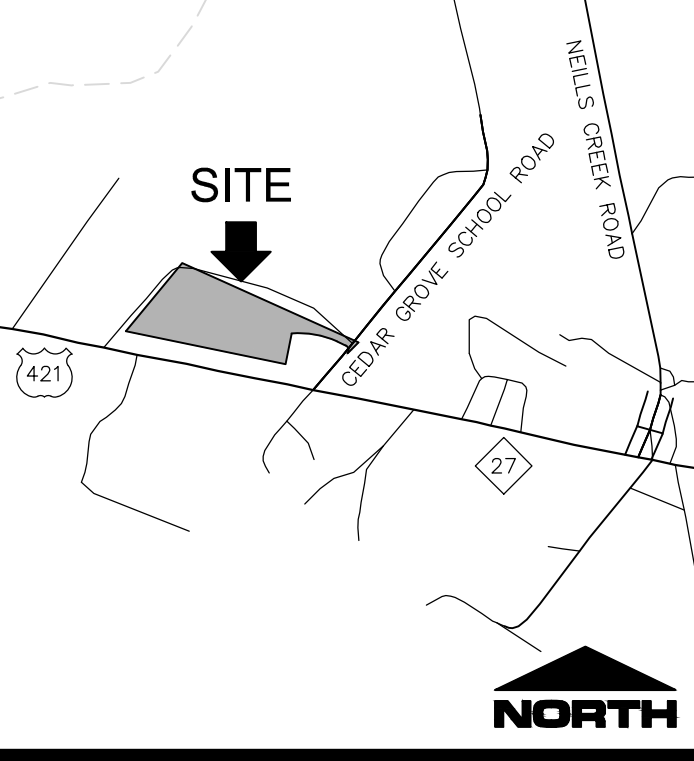


NTS

- SITE NOTES
1. EXISTING UNDERGROUND UTILITIES ARE SHOWN ONLY WHERE EVIDENCE COULD BE FOUND TO VERIFY LOCATION. PRIOR TO CONSTRUCTION OR EXCAVATION OF THE SITE, THE GENERAL CONTRACTOR SHALL VERIFY ALL UTILITY COMPANIES TO VERIFY THE LOCATION OF THEIR RESPECTIVE UTILITIES. ALL DAMAGE INCURRED TO EXISTING UTILITIES DURING CONSTRUCTION SHALL BE REPAIRED AT THE GENERAL CONTRACTOR'S EXPENSE.
 2. ASPHALT AND BASE TYPE SHALL BE PER THE DETAILS.
 3. HANDICAP RAMP, SIGNAGE AND PARKING SPACES SHALL BE PROVIDED BY THE CONTRACTOR AND INSTALLED PER FEDERAL ADA AND LOCAL REQUIREMENTS.
 4. ALL DIMENSIONS ARE TO THE BACK OF CURB OR TO THE FACE OF SIDEWALK UNLESS OTHERWISE NOTED.
 5. ALL RADII ARE 5' UNLESS OTHERWISE NOTED.
 6. PARKING STALLS MUST BE STRIPED WITH A 4 INCH CONTRASTING STRIPE (YELLOW ON CONCRETE AND YELLOW OR WHITE ON ASPHALT PARKING LOT).
 7. HANDICAP PARKING SPACES ARE TO BE DESIGNATED BY BLUE STRIPING AND EITHER A BLUE SYMBOL ON A WHITE BACKGROUND OR A WHITE SYMBOL ON A BLUE BACKGROUND. ALL HANDICAP PARKING STALLS REQUIRE THE INSTALLATION OF THE PROPER SIGNAGE.
 8. ALL PARKING SPACES ARE TO BE LAID OUT IN ACCORDANCE WITH THE SITE PLAN DIMENSIONS.
 9. ALL WASTE MATERIAL SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH STATE AND LOCAL LAWS AND REGULATIONS.
 10. ALL SITE IMPROVEMENTS SHALL BE INSTALLED PER TOWN OF LILLINGTON AND STATE REGULATIONS.
 11. ALL MECHANICAL EQUIPMENT ON THE OUTSIDE OF THE BUILDINGS SHALL BE SCREENED WITH SHRUBBERY.
 12. SIDEWALKS AND CROSSWALKS SHALL BE STAMPED CONCRETE.



VICINITY MAP
NOT TO SCALE



- LEGEND:
- △ NCDOT DISK
 - EP EIP-EXISTING IRON PIPE
 - EIS EIS-EXISTING IRON STAKE
 - ENL ENL-EXISTING NAIL
 - ERB ERB-EXISTING REBAR
 - COMPUTED POINT
 - N/F - NOW OR FORMERLY
 - R/W - RIGHT OF WAY
 - PROPERTY LINE
 - - - ADJACENT PROPERTY LINE
 - - - RIGHT-OF-WAY
 - - - SETBACK LINE
 - SS SANITARY SEWER LINE
 - SD STORM DRAINAGE
 - W WATER LINE
 - /// OVERHEAD UTILITY
 - PERMANENT EASEMENT
 - TREE LINE
 - 205 MAJOR CONTOUR
 - 207 MINOR CONTOUR
 - x 2022.92 SPOT ELEVATION
 - BENCHMARK
 - PP SIGN
 - UTILITY POLE
 - GUY WIRE
 - TELEPHONE PEDESTAL
 - WATER VALVE
 - FIRE HYDRANT
 - DROP INLET
 - SANITARY SEWER MANHOLE
 - PINE TREE
 - ASPHALT
 - CONCRETE
 - BUILDING

N/F
421 HARNETT PROPERTY, LLC
DB 3128, PG 582
PC D, SLIDE 161-B

N/F
PINDA M. MCKOY
DB 2984, PG 667

N/F
G&R PROPERTIES, LLC
TRACT FOUR OF
DB 3426, PG 220

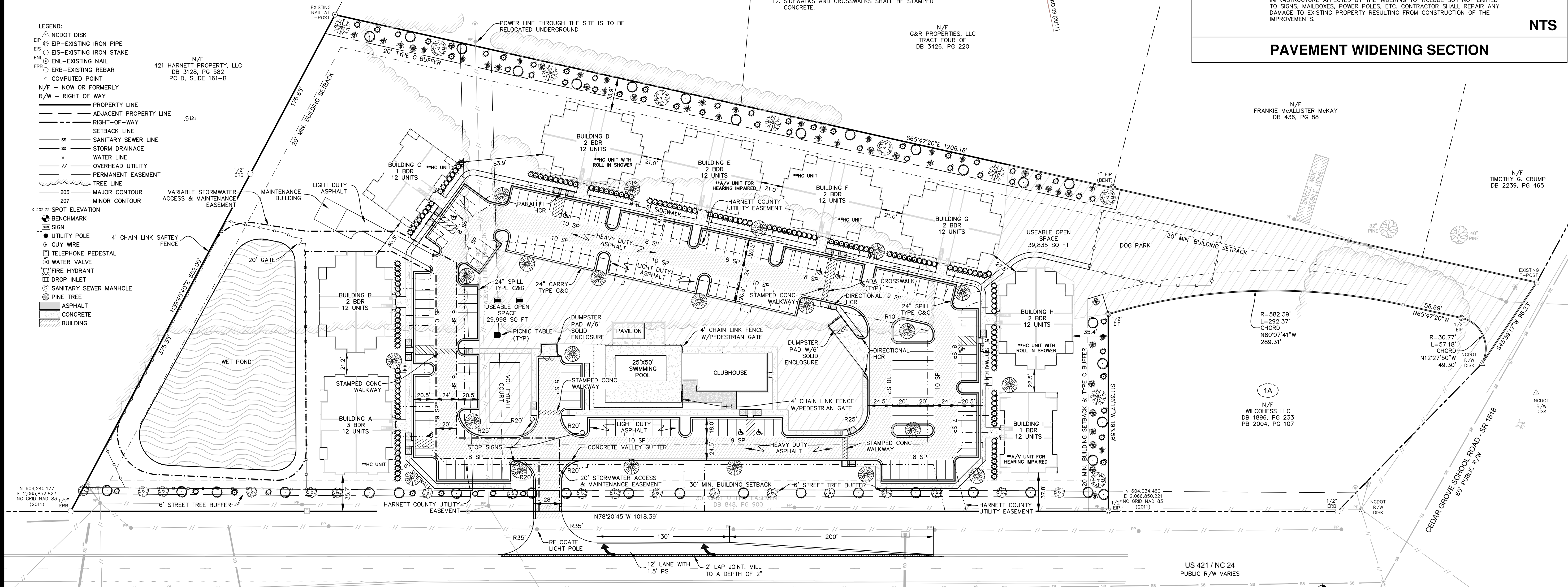
N/F
FRANKIE McALLISTER McKAY
DB 436, PG 88

N/F
TIMOTHY G. CRUMP
DB 2239, PG 465

N/F
WILCOHNESS, LLC
DB 1886, PG 233
PB 2004, PG 107

N 604,034,460
E 2,066,850,221
ELEV 197.29
NC GRID NAD 83
(2011)

TBM
4D DISK #1
N 603,916,229
E 2,067,040,066
ELEV 197.29
NC GRID NAD 83
(2011)
NAVD 86



PROJECT NAME

THE GROVE

SITE & LANDSCAPE PLAN

CLIENT

HATCHER CREEK, LLC

126 Brandon Drive
Lillington, North Carolina 27546
Phone: (919) 422-7065

PROJECT INFORMATION

DESIGNED BY:	SP100
DRAWN BY:	SCOTT
CHECKED BY:	CHRIS
PROJECT NUMBER:	1622

DRAWING SCALE

HORIZONTAL: 1"=50'

DATE RELEASED

JUNE 16, 2021

SHEET NUMBER

C-2.0

SITE DATA

DEVELOPER	HATCHER CREEK, LLC
MAILING ADDRESS	126 BRANDON DRIVE
CITY, STATE	LILLINGTON, NORTH CAROLINA 27546
PIN NUMBER	0660-64-6241.000
TOTAL SITE AREA	397,177 SF (9.12 AC)
AREA TO BE DEVELOPED	397,177 SF (9.12 AC)
PROPOSED ZONING	CD-RMF
EXISTING USE	VACANT
PROPOSED USE	APARTMENTS
DISTURBED/DENUEDED AREA	8.4 AC

OPEN SPACE	
REQUIRED TOTAL (15% OF SITE)	59,577 SF (1.37 AC)
USEABLE (5% OF TOTAL)	19,859 SF (0.46 AC)
25% REDUCTION IN OPEN SPACE FOR CLUBHOUSE AND POOL:	
REQUIRED TOTAL (15% OF SITE)	44,682 SF (1.03 AC)
USEABLE (5% OF TOTAL)	14,894 SF (0.34 AC)
PROVIDED TOTAL	69,833 SF (1.60 AC)
USEABLE	69,833 SF (1.60 AC)

CD-RMF SETBACKS REQUIRED:	
FRONT & CORNER SIDE	30 FT
SIDE	20 FT OR 15' ADJACENT RESIDENTIAL
REAR	30 FT

IMPERVIOUS:	
PROPOSED BUILDING	56,836 SF
PROPOSED PAVEMENT	92,595 SF
TOTAL	149,431 SF

PARKING:	
REQUIRED TOTAL (INCLUDING HANDICAP)	149
PROPOSED TOTAL (INCLUDING HANDICAP)	183
BICYCLE PARKING SPACES PROVIDED	16

QTY.	TYPE	PLANTING SIZE	MIN. HEIGHT	SCIENTIFIC NAME
CANOPY TREES				
5	WILLOW OAK	3" CALIPER	6'	QUERCUS PHellos
5	TULIP POPLAR	3" CALIPER	6'	LIRIODENDRON TULIPIFERA
22	AMERICAN BEECH	3" CALIPER	6'	FAGUS GRANDIFOLIA
UNDERSTORY TREES				
18	FLOWERING DOGWOOD	1.5" CALIPER	6'	CORNUS FLORIDA
37	CRAPE MYRTLE	1.5" CALIPER	6'	LAGERSTROEMIA INDICA
SHRUBS				
205	JAPANESE HOLLY	5 GAL.	18"	ILEX ORENATA
18	NANDINA	2 GAL.	18"	NANDINA DOMESTICA
28	BRIGHT BRILLIANT CHOKEBERRY	5 GAL.	24"	ARONIA ARBUTIFOLIA 'BRILLANTISSIMA'

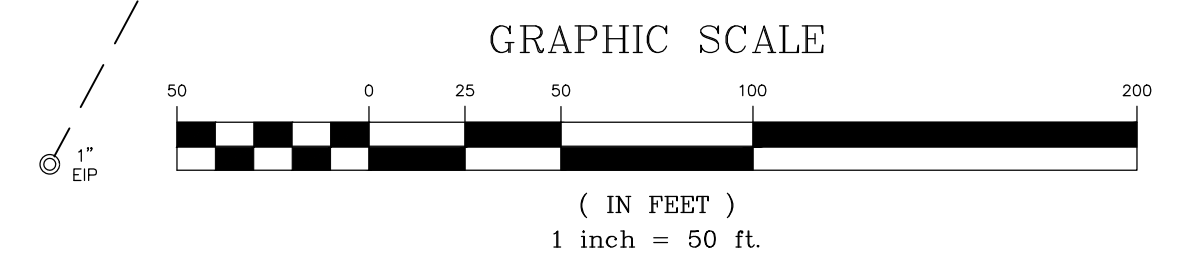
STREETSCAPE FRONTAGE: 1,114 LF
 1/4" = 38 SHADE TREES
 STREETSCAPE IS WITHIN POWER EASEMENT
 UNDERSTORY TREES USED

BUFFER YARD LENGTH: 1809 FT
 1/4" X 1 = 18 CANOPY TREES
 1/4" X 2 = 36 UNDERSTORY TREES
 1/4" X 8 = 145 SHRUBS

PARKING LANDSCAPING: 188 PARKING SPACES
 CANOPY TREE WITHIN 60' OF ALL SPACES

LANDSCAPING NOTES

1. LARGE TREES MUST BE A MINIMUM SIZE OF 3" CALIPER, MEASURED 6" ABOVE THE PROPER PLANTING LEVEL.
2. SHRUBS SHALL BE A MINIMUM OF 2" IN HEIGHT AT THE TIME OF PLANTING
3. THE PARKING AREA TO THE WEST OF THE ENTRANCE HAS BEEN SCREENED WITH THE REQUIRED SHRUBS PLACED BETWEEN THE STREET TREES. SHRUBS WERE NOT ADDED TO THE EAST OF THE ENTRANCE AS THE PARKING AREA IS 5-8' HIGHER THAN THE ROADWAY IN FRONT OF THE SITE CREATING A TOPOGRAPHIC BARRIER FOR SCREENING.



I:\Projects\1622\1622.dwg (1622) 4/16/21 10:47:37 AM
 4D SITE SOLUTIONS
 409 CHICAGO DRIVE, SUITE 112, FAYETTEVILLE, NC 28404
 TEL: 910-426-6777 FAX: 910-426-5777
 WWW.4DSITE.COM



REVISIONS

1. ALL ROOF DRAINS ARE 8" HOPE AT 1% UNLESS OTHERWISE LABELED.
2. FINISHED GROUND ON THE OUTSIDE OF THE BUILDING PERIMETER IS 0.5' BELOW FINISHED FLOOR ELEVATION EXCEPT AT ENTRANCES WHERE THE FINISHED GRADE IS FLUSH WITH THE CONCRETE WALK.
3. ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR. ALL SPOT ELEVATIONS ARE TO THE FINISHED GRADE OF THE CURB UNLESS OTHERWISE NOTED.
4. ALL SIDEWALKS AND PEDESTRIAN WALKING SURFACES SHALL HAVE A CROSS SLOPE NO STEEPER THAN 2% AND LONGITUDINAL SLOPE NO STEEPER THAN 0.5%.
5. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ALL LAND DISTURBING ACTIVITIES AND ENSURE COMPLIANCE WITH THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN. THE CONTRACTOR SHALL INSPECT AND MAINTAIN ALL EROSION CONTROL DEVICES AND CLEAR ANY DEBRIS LEAVING THE SITE ON NEIGHBORING ROADS.
6. EXISTING GROUND UPON WHICH FILL OR BASE IS TO BE PLACED SHALL BE CLEARED OF WEEDS, DEBRIS, TOPSOIL, AND ALL OTHER DELETERIOUS MATERIALS. NO FILL SHALL BE PLACED UNTIL PREPARATION OF THE EXISTING GROUND HAS BEEN COMPLETED.
7. PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR AND THE OWNER TO PROTECT ADJACENT PROPERTY, THE PUBLIC AND UTILITIES DURING GRADING OPERATIONS. THE CONTRACTOR ASSUMES ALL LIABILITY FOR THE UNDERGROUND UTILITY PIPES, CONDUITS, OR STRUCTURES, WHETHER SHOWN OR NOT ON THE PLAN.
8. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITIES OR STRUCTURES ABOVE AND BELOW GROUND, SHOWN OR NOT SHOWN ON THESE PLANS. THEY WILL BE HELD RESPONSIBLE FOR ALL DAMAGE TO ANY UTILITIES OR STRUCTURES CAUSED BY HIS OPERATION.
9. ALL CUT AND FILL SLOPES SHOULD BE INVESTIGATED BOTH DURING AND AFTER GRADING BY THE CONTRACTOR TO DETERMINE IF ANY SLOPE STABILITY PROBLEMS EXIST. IF IT IS DETERMINED THAT THERE IS A SLOPE STABILITY PROBLEM THE ENGINEER OF RECORD SHOULD BE NOTIFIED.
10. STOCKPILE AREAS THAT WILL EXCEED 10' IN HEIGHT SHOULD BE GRADED WITH 3:1 SLOPES AND SURROUNDED BY SILT FENCE.
11. APPROVED COPIES OF THE GRADING AND EROSION CONTROL PLANS SHALL BE ON THE PERMITTED SITE WHILE WORK IS IN PROGRESS.
12. ALL EXISTING DRAINAGE COURSES THROUGH THIS SITE SHALL REMAIN IN A CONDITION SUCH THAT THEY CAN TRANSPORT THE NATURAL DRAINAGE UNTIL FACILITIES TO HANDLE THE STORM WATER ARE CONSTRUCTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DUE TO OBSTRUCTING NATURAL DRAINAGE PATTERNS.
13. ANY DEVIATION FROM THE APPROVED GRADING PLAN SHOULD BE REPORTED TO THE ENGINEER OF RECORD PRIOR TO IMPLEMENTATION OF THE CHANGE.
14. ALL SLOPES 3:1 OR STEEPER THAT EXTEND TEN FEET OR MORE SHALL BE LINED WITH NORTH AMERICAN GREEN C125 TEMPORARY EROSION CONTROL BLANKET OR EQUAL SUBSTITUTE.
15. STORM PIPE DISTANCES SHOWN ARE TO THE CENTER OF THE BOX FOR ALL STRUCTURES UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY LOCATIONS OF DOWNSPOUTS USING THE ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION. A TEE SHALL BE PLACED IN THE ROOF DRAIN SYSTEM AT EACH DOWNSPOUT LOCATION.
17. ALL SIDEWALKS HAVE A CROSS SLOPE OF 1.5%.
18. ALL ROOF DRAINS ARE 8" HOPE UNLESS OTHERWISE LABELED.
19. FINISHED GRADE AT ALL BUILDINGS IS 0.5' BELOW FFE EXCEPT AT ENTRANCES OR HARDSCAPE AT WALLS.
20. TOPSOIL IS TO BE PLACED 0.8' DEEP IN ALL GRASSED AREAS OF THE SITE WITHIN THE LIMITS OF CONSTRUCTION. A PUMP WILL BE REQUIRED TO DRY THE POND FOR MAINTENANCE WORK THAT MAY BE REQUIRED IN THE FUTURE.

PROJECT NAME

THE GROVE

GRADING AND EROSION CONTROL PLAN

CLIENT

HATCHER CREEK, LLC

126 Brandon Drive
Lillington, North Carolina 27546
Phone: (919) 422-7065

PROJECT INFORMATION

DESIGNED BY:	SP100
DRAWN BY:	SCOTT
CHECKED BY:	CHRIS
PROJECT NUMBER:	1622

DRAWING SCALE

HORIZONTAL: 1"=50'

DATE RELEASED

JUNE 16, 2021

SHEET NUMBER

C-3.0

GROUND STABILIZATION CHART

SITE AREA DESCRIPTION	STABILIZATION TIME FRAME	STABILIZATION TIME FRAME EXCEPTIONS
PERMETER DIKES, SWALES, DITCHES AND SLOPES	7 DAYS	NONE
HIGH QUALITY WATER (HOW) ZONES	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED
SLOPES 3:1 OR FLATTER	14 DAYS	7-DAYS FOR SLOPES GREATER THAN 50 FEET IN LENGTH
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE (EXCEPT FOR PERIMETERS AND HOW ZONES)

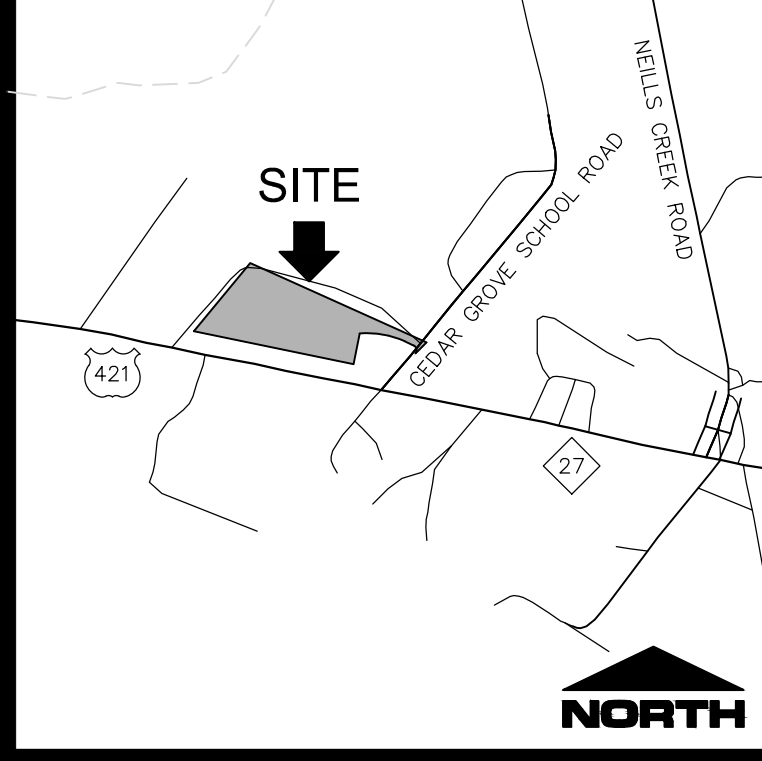
NOTIFICATION OF COMBINED SELF-MONITORING AND SELF-INSPECTION FORM:

THE SEDIMENTATION POLLUTION CONTROL ACT WAS AMENDED IN 2006 TO REQUIRE THAT PERSONS RESPONSIBLE FOR LAND-DISTURBING ACTIVITIES INSPECT A PROJECT AFTER EACH PHASE OF THE PROJECT TO MAKE SURE THAT THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN IS BEING FOLLOWED. RULES DETAILING THE DOCUMENTATION OF THESE INSPECTIONS TOOK EFFECT OCTOBER 1, 2010.

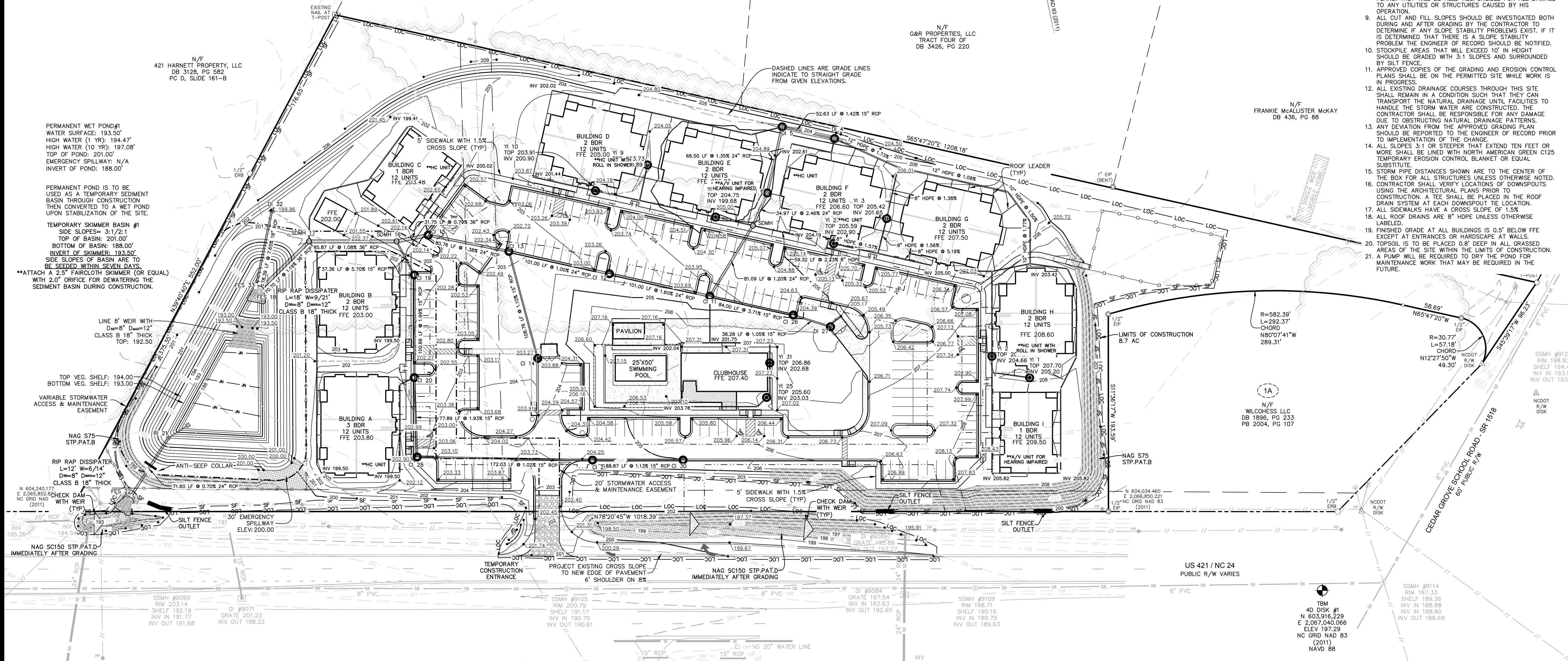
TO SIMPLIFY DOCUMENTATION OF SELF-INSPECTION REPORTS AND NPDES SELF-MONITORING REPORTS, DWO AND DEMLR DEVELOPED A COMBINED FORM. THE SELF-INSPECTION PROGRAM IS SEPARATE FROM THE WEEKLY SELF-MONITORING PROGRAM OF THE NPDES STORMWATER PERMIT FOR CONSTRUCTION ACTIVITIES. THE FOCUS OF THE SELF-INSPECTION REPORT IS THE INSTALLATION AND MAINTENANCE OF EROSION AND SEDIMENTATION CONTROL MEASURES ACCORDING TO THE APPROVED PLAN. THE INSPECTIONS SHOULD BE CONDUCTED AFTER EACH PHASE OF THE PROJECT, AND CONTINUED UNTIL PERMANENT GROUND COVER IS ESTABLISHED. THE FORM CAN BE ACCESSED AT: [HTTP://PORTAL.NC DENR.ORG/WEB/1/R/EROSION](http://portal.ncdenr.org/web/1/r/erosion)

IF YOU HAVE QUESTIONS OR CANNOT ACCESS THE FORM, PLEASE CONTACT THE FAYETTEVILLE REGIONAL OFFICE AT (910) 433-3300.

- CONSTRUCTION SEQUENCE:**
1. OBTAIN ALL NECESSARY PERMITS AND APPROVALS AND HOLD PRE-CONSTRUCTION CONFERENCE.
 2. INSTALL STONE CONSTRUCTION ENTRANCE, TEMPORARY SEDIMENT FENCE WHERE SPECIFIED.
 3. CONSTRUCT TEMPORARY SEDIMENT BASIN.
 4. CLEAR AND GRUB THE SITE AS NEEDED.
 5. ROUGH GRADE THE SITE AND APPLY TEMPORARY SEEDING TO AREAS REMAIN GRASSED.
 6. INSTALL UTILITIES.
 7. INSTALL INLET PROTECTION ON ALL NEW STORM WATER INLETS.
 8. PERFORM FINE GRADING.
 9. INSTALL AND PREPARE BASE COURSE.
 10. PAVE THE PARKING LOTS.
 11. FERTILIZE, SEED AND MULCH ALL REMAINING DISTURBED AREAS.
 12. UPON SITE STABILIZATION, SEEK NCEOE APPROVAL TO REMOVE ALL TEMPORARY MEASURES.
 13. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED AS OUTLINED IN THE DETAILS WITHIN THE PLANS AND ACCORDING TO THE NCEOE EROSION CONTROL MANUAL.



VICINITY MAP
NOT TO SCALE



PERMANENT WET POND#1
WATER SURFACE: 193.50'
HIGH WATER (1 YR): 194.47'
HIGH WATER (10 YR): 197.08'
TOP OF POND: 201.00'
EMERGENCY SPILLWAY: N/A
INVERT OF POND: 188.00'

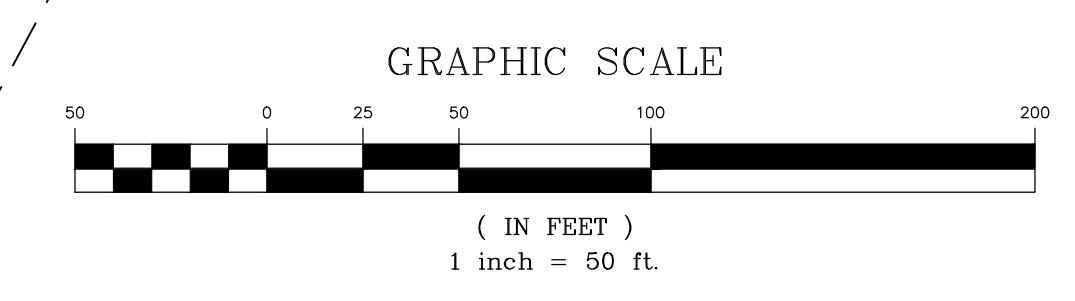
PERMANENT POND IS TO BE USED AS A TEMPORARY SEDIMENT BASIN THROUGH CONSTRUCTION THEN CONVERTED TO A WET POND UPON STABILIZATION OF THE SITE.

TEMPORARY SKIMMER BASIN #1
SIDE SLOPES= 3:1/2:1
TOP OF BASIN: 201.00'
BOTTOM OF BASIN: 188.00'
INVERT OF SKIMMER: 193.50'
SIDE SLOPES OF BASIN ARE TO BE SEDED WITHIN SEVEN DAYS

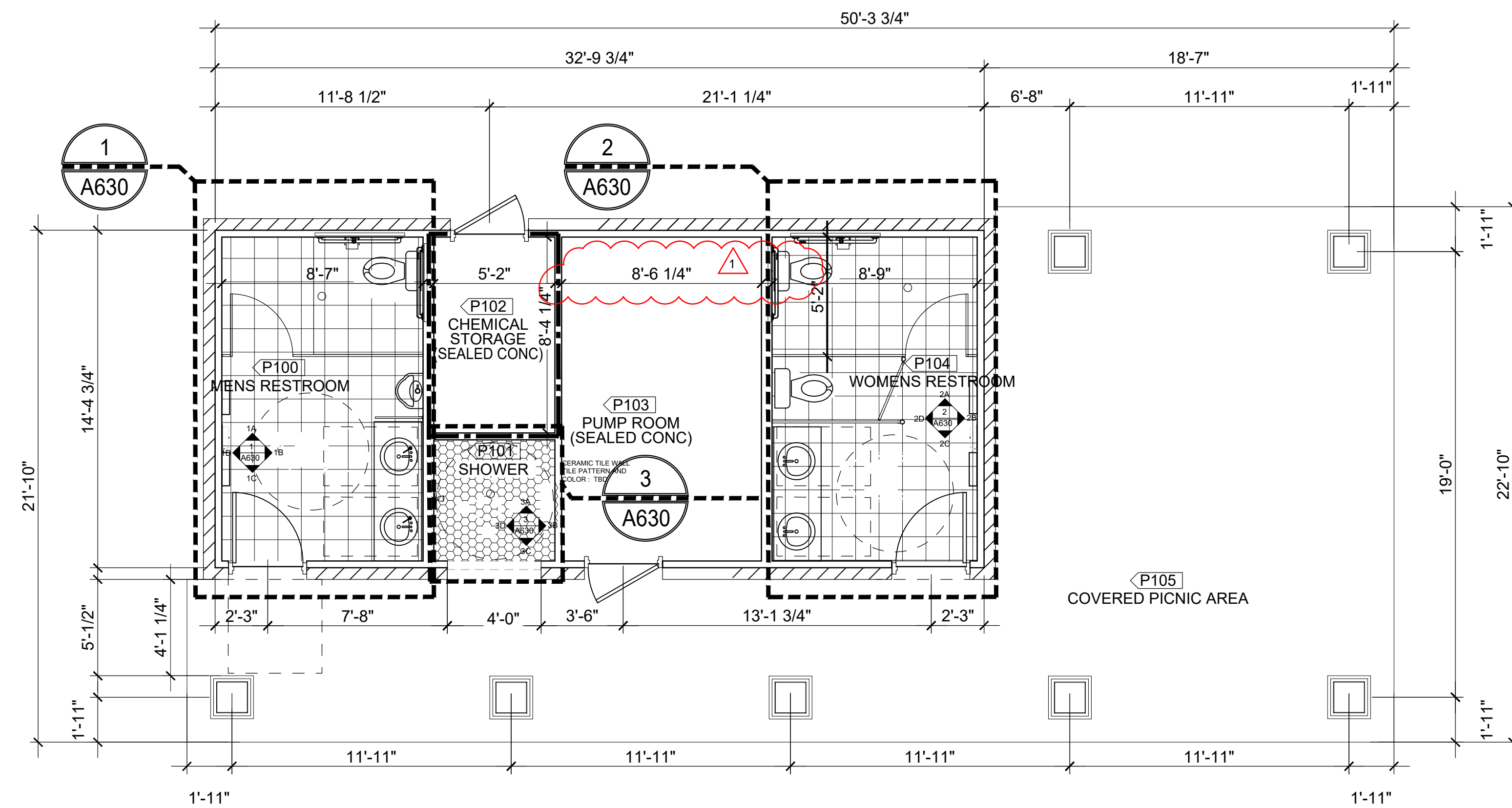
**ATTACH A 2.5" FAIRCLOTH SKIMMER (OR EQUAL) WITH 2.0" ORIFICE FOR DEWATERING THE SEDIMENT BASIN DURING CONSTRUCTION.

- EROSION CONTROL NOTES**
1. ALL INLET/OUTLET PROTECTION WILL BE CHECKED FOR MAINTENANCE AND FAILURE EACH ACTIVE DAY ON SITE. SEDIMENT WILL BE REMOVED FROM THE SEDIMENT TRAP AND INLET PROTECTION DEVICES WHEN THE STORAGE CAPACITY HAS BEEN APPROXIMATELY 50% FILLED. GRAVEL WILL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS PROPERLY. SEDIMENT WILL BE REMOVED FROM BEHIND THE SEDIMENT FENCE WHEN IT BECOMES ABOUT 0.5' DEEP AT THE FENCE. THE SEDIMENT FENCE WILL BE REPAIRED AS NEEDED TO MAINTAIN A PROPER BARRIER.
 2. TEMPORARY EROSION CONTROL FACILITIES AND/OR PERMANENT FACILITIES INTENDED TO CONTROL EROSION OF AND EARTH DISTURBANCE OPERATION SHALL BE INSTALLED BEFORE ANY EARTH DISTURBANCE OPERATIONS TAKE PLACE OR AT THE EARLIEST POSSIBLE POINT DURING CONSTRUCTION.
 3. TEMPORARY & PERMANENT EROSION CONTROL MEASURES SHALL BE CONSTRUCTED PER THE DETAILS HEREIN, OR SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE NORTH CAROLINA EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL. THE CONTRACTOR MUST NOTIFY THE APPROPRIATE NCEOE OFFICE A MINIMUM OF 48 HOURS PRIOR TO BEGINNING ANY LAND DISTURBING ACTIVITIES. 910-433-3300
 4. REMOVE ALL SOILS AND SEDIMENTS TRACKED OR OTHERWISE DEPOSITED ON PUBLIC AND PRIVATE PAVEMENT AREAS. REMOVAL SHALL BE ON A DAILY BASIS WHEN TRACKING OCCURS. LOCATE SOIL STOCKPILES NO LESS THAN FIFTY (50) FEET FROM ANY PUBLIC OR PRIVATE ROADWAY OR DRAINAGE CHANNEL. IF REMAINING FOR MORE THAN SEVEN DAYS, STABILIZE THE STOCKPILES BY VEGETATION COVER, TARPING, OR OTHER MEANS. CONTROL EROSION FROM ALL STOCKPILES BY PLACING SILT BARRIERS AROUND THE PILES. TEMPORARY STOCKPILES LOCATED ON PAVED SURFACES MUST BE NO LESS THAN FIVE FEET FROM THE DRAINAGE/GUTTER LINE AND SHALL BE COVERED IF LEFT MORE THAN 24 HOURS.
 5. MAINTAIN ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES IN PLACE UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED. INSPECT TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES ON A DAILY BASIS AND REPLACE DETEIORATED, DAMAGED, OR ROTTED EROSION CONTROL DEVICES IMMEDIATELY.
 6. TEMPORARILY OR PERMANENTLY STABILIZE ALL DENUDED AREAS WHICH HAVE BEEN FINISH GRADED, AND ALL DENUDED AREAS IN WHICH GRADING OR SITE BUILDING CONSTRUCTION OPERATIONS ARE NOT ACTIVELY UNDERWAY AGAINST EROSION DUE TO RAIN, WIND AND RUNNING WATER WITHIN 14 DAYS. USE SEEDING AND MULCHING, EROSION CONTROL MATTING, AND/OR SOODING AND STAKING IN GREEN SPACE AREAS AND OTHERWISE APPROPRIATE MEASURES. USE EARLY APPLICATION OF GRAVEL BASE ON AREAS TO BE PAVED.
 7. DO NOT REMOVE ANY EROSION AND SEDIMENT CONTROL DEVICES AFTER THE PROTECTED AREA HAS UNDERGONE FINAL STABILIZATION AND PERMANENT VEGETATION HAS BEEN ESTABLISHED. IT IS RECOMMENDED THAT NCEOE APPROVE THE ACTION PRIOR TO REMOVAL.
 8. THE CONSTRUCTION ENTRANCE SHALL BE INSTALLED CONCURRENTLY WITH THE INITIATION OF CONSTRUCTION ACTIVITY. THE INSTALLATION OF EROSION CONTROL MEASURES SHALL TAKE PRECEDENCE OVER ALL OTHER CONSTRUCTION ACTIVITIES.
 9. THE PERMITEE SHALL BE HELD RESPONSIBLE FOR THE ACTIONS AND PERFORMANCE OF ANY OTHER PARTIES PERFORMING WORK ON THIS PROJECT.
 10. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
 11. PURSUANT TO G.S. 113A-57(2), THE ANGLE FOR GRADED SLOPES AND FILLS SHALL BE NO GREATER THAN THE ANGLE THAT CAN BE RETAINED BY VEGETATIVE COVER OR OTHER ADAPTE EROSION CONTROL DEVICES OR STRUCTURES. IN ANY EVENT, SLOPES LEFT EXPOSED WILL, WITHIN 7 OR 14 CALENDAR DAYS OF COMPLETION OF ANY PHASE OF GRADING, BE PLANTED OR OTHERWISE PROVIDED WITH TEMPORARY OR PERMANENT GROUND COVER, DEVICES OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION. PURSUANT TO G.S. 113A-57(3), PROVISIONS FOR PERMANENT GROUND COVER SUFFICIENT TO RETAIN EROSION MUST BE ACCOMPLISHED FOR ALL DISTURBED AREAS WITHIN 14 WORKING DAYS OR 90 CALENDAR DAYS (WHICHEVER IS SHORTER) FOLLOWING COMPLETION OF CONSTRUCTION DEVELOPMENT.
 12. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL EROSION CONTROL MEASURES SHOWN AND ANY ADDITIONAL MEASURES REQUIRED TO CONTROL THE SEDIMENT DURING THE COURSE OF CONSTRUCTION.
 13. ALL SEDED AREAS WILL BE FERTILIZED, RESEDED AS NECESSARY, AND MULCHED ACCORDING TO THE DETAILS HEREIN.
 14. THE CONTACT PERSON FOR EROSION CONTROL ISSUES THAT ARISE ON SITE IS HUGH SURREL. CONTACT 919-422-7065.

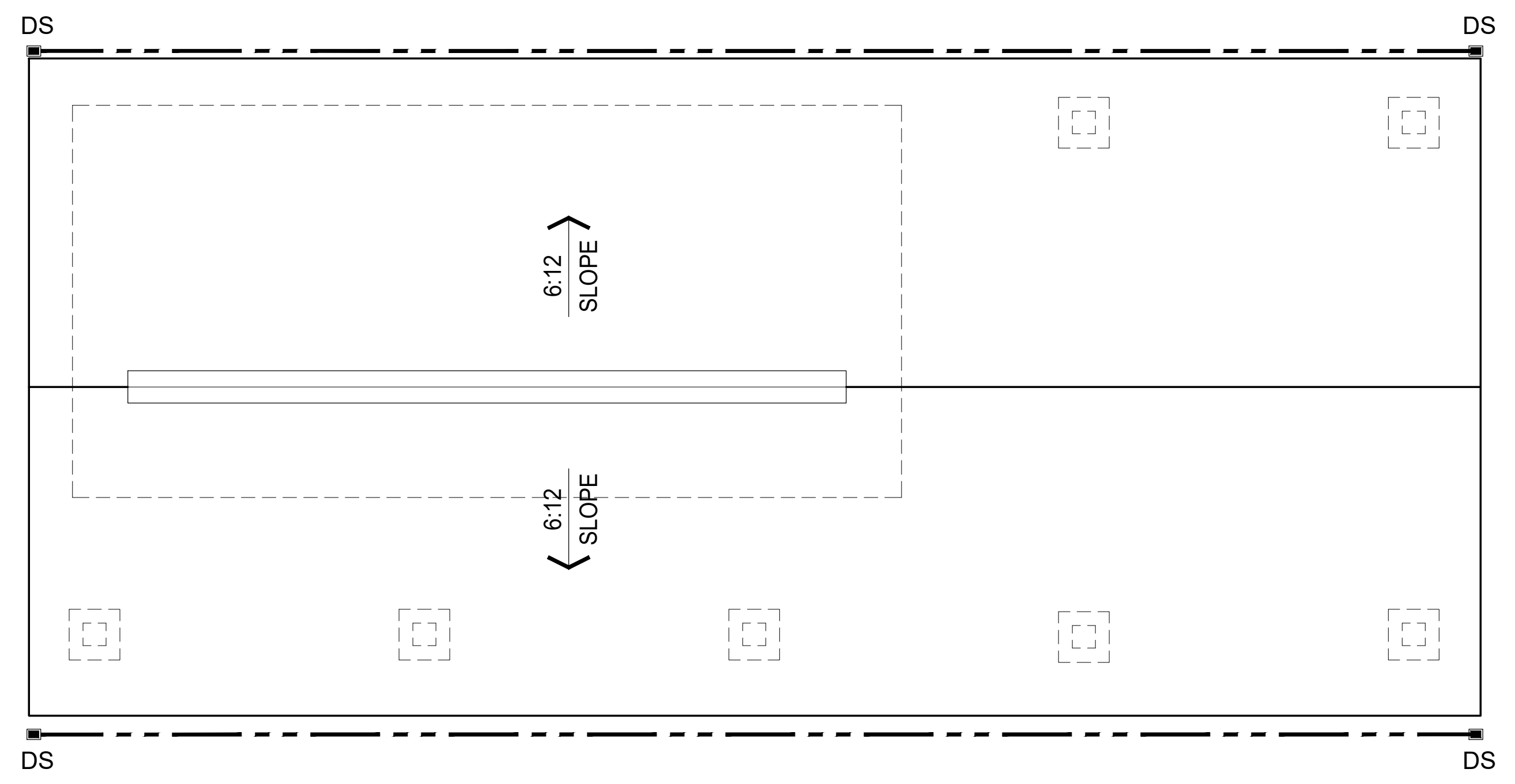
- LEGEND:**
- △ NODOT DISK
 - EP - EXISTING IRON PIPE
 - ES - EXISTING IRON STAKE
 - EN - EXISTING NAIL
 - ERB - EXISTING REBAR
 - COMPUTED POINT
 - N/F - NOW OR FORMERLY
 - R/W - RIGHT OF WAY
 - PROPERTY LINE
 - - - ADJACENT PROPERTY LINE
 - - - RIGHT-OF-WAY
 - 55 - SANITARY SEWER LINE
 - 50 - STORM DRAINAGE
 - W - WATER LINE
 - /// OVERHEAD UTILITY
 - PERMANENT EASEMENT
 - TREE LINE
 - MAJOR CONTOUR
 - MINOR CONTOUR
 - × SPOT ELEVATION
 - BENCHMARK
 - SIGN
 - UTILITY POLE
 - GUY WIRE
 - TELEPHONE PEDESTAL
 - WATER VALVE
 - FIRE HYDRANT
 - DROP INLET
 - SANITARY SEWER MANHOLE
 - PINE TREE
 - ASPHALT
 - CONCRETE
 - BUILDING



THE CONTRACTOR MUST CONTACT NORTH CAROLINA ONE CALL CENTER AT 1-800-632-4949 A MINIMUM OF 72 HOURS PRIOR TO DIGGING IN ORDER TO HAVE THE EXISTING UTILITIES LOCATED



1 FLOOR PLAN- POOL HOUSE
SCALE: 1/4"=1'-0"



2 ROOF PLAN- POOL HOUSE
SCALE: 1/4"=1'-0"

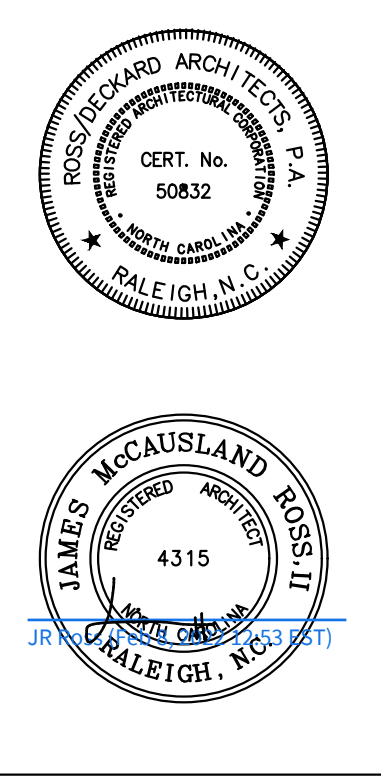
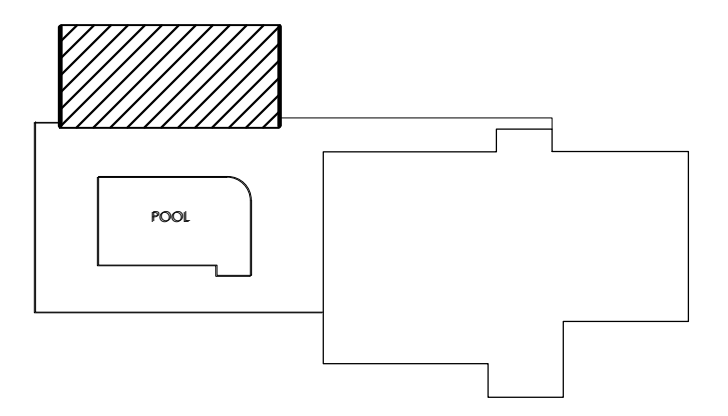
WALL TYPE LEGEND

- 1 MARK EXTERIOR WALL
- 5/8" GWB (MOISTURE AND MOLD RESISTANT ON BATHROOM SIDE)
- 2x6 STUDS WITH BATT INSULATION AND INSULATION AT FOOTING
- 7/16" EXTERIOR SHEATHING
- CEMENTITIOUS SIDING
- BRICK VENEER
- 2 MARK EXTERIOR WALL
- 5/8" GWB (MOISTURE AND MOLD RESISTANT ON BATHROOM SIDE)
- 2x6 STUDS WITH BATT INSULATION AND INSULATION AT FOUNDATION
- 7/16" EXTERIOR SHEATHING
- FIBER CEMENT SIDING
- 3 MARK INTERIOR PARTITION TO CEILING ABOVE
- 5/8" GYPSUM WALL BOARD ON BOTH SIDES (MOISTURE AND MOLD RESISTANT IN TOILET AND LAUNDRY ROOM SIDE AND WET WALL IN KITCHEN)
- 2x6 STUDS
- 4 MARK INTERIOR PARTITION TO CEILING ABOVE
- 5/8" GYPSUM WALL BOARD ON BOTH SIDES (MOISTURE AND MOLD RESISTANT ON BATHROOM/KITCHEN SIDE)
- 2x6 STUDS

POOL HOUSE NOTES

- 1 ALUMINUM GUTTER/DOWNSPOUT SYSTEM. REFER TO ROOF PLAN FOR LOCATIONS.
- 2 ROOF RIDGE VENT TYPICAL. REFER TO ROOF PLAN FOR LOCATIONS.
- 3 FIBERGLASS EXTERIOR ENTRY DOORS 3 VIEW 2-PANEL NC ENERGY CODE COMPLIANCE REQUIRED. SIZE: 9'6" H x 7'2" (PAIR) x 1/3/4" T. PRIMED. COLOR: SHERWIN WILLIAMS SW7703 EARHEN JUC (TBD). ACCESSIBLE HARDWARE. FINISH: AGED BRONZE (TBD).
- 4 EACH EXTERIOR ENTRANCE SHALL BE FULLY ACCESSIBLE PER APPLICABLE CODES. 1/2" MAX. THRESHOLD HEIGHT OF THE ENTRANCE DOOR.
- 5 TRIM BOARDS TO BE WRAPPED WITH PVC COATED ALUMINUM (TYPICAL)
- 6 DECORATIVE GABLE VENT.
- 7 PROVIDE A SURFACE MOUNTED 5 LB. ABC TYPE FIRE EXTINGUISHER. REVIEW LOCATION W/FIRE MARSHALL PRIOR TO INSTALLATION.

KEYPLAN



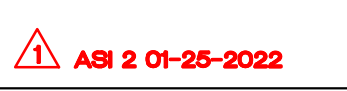
CONSULTANTS

HATCHER CREEK, LLC

PROJECT
COMM BLDG & POOL HOUSE @ THE GROVES AT 421
LILLINGTON, NORTH CAROLINA

20-530.01

REVISIONS



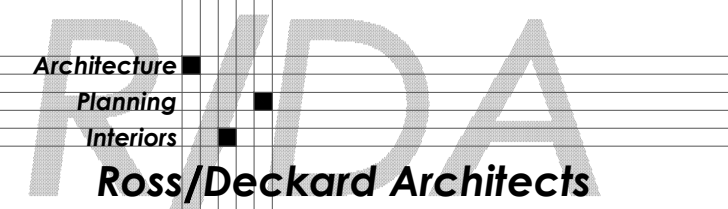
DATE
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ISSUED FOR: Construction Permit

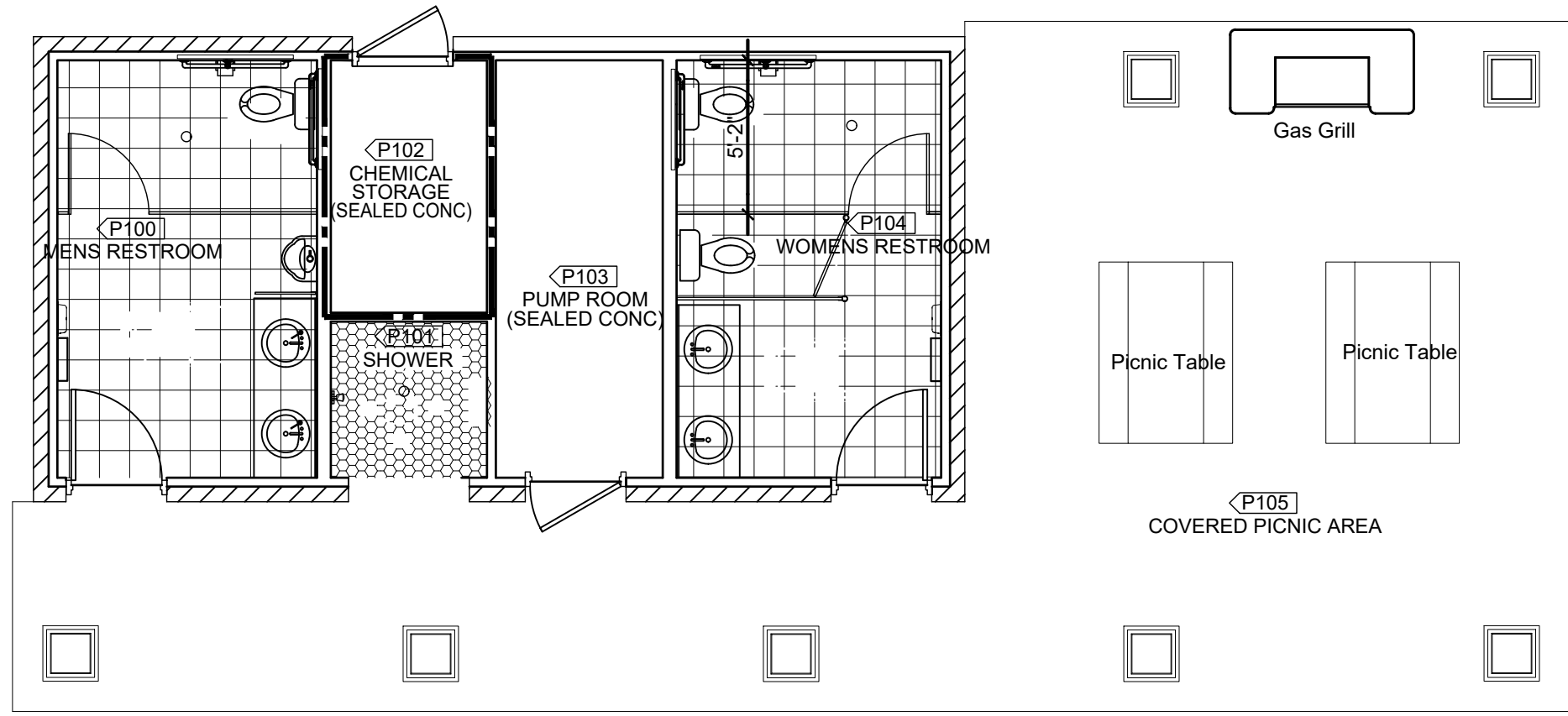
SET#
SP100

SHEET
FLOOR PLAN- POOL HOUSE

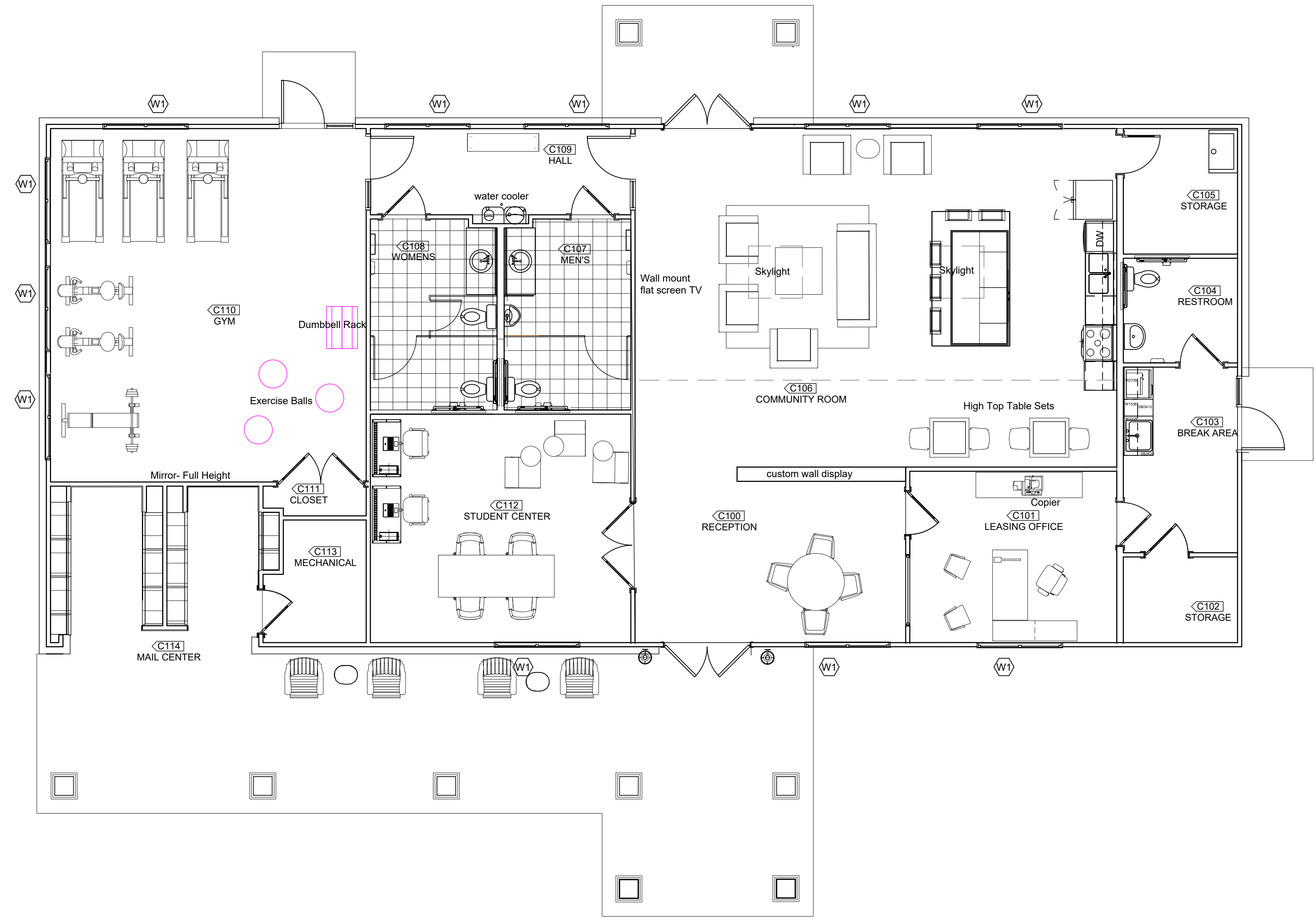
A120

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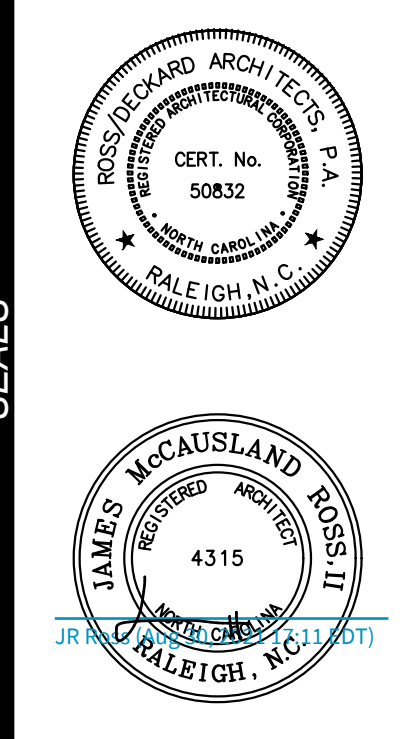




2 FURNITURE/EQUIPMENT PLAN- POOL HOUSE
SCALE: 3/16"=1'-0"



1 FURNITURE/EQUIPMENT PLAN- COMMUNITY BUILDING
SCALE: 3/16"=1'-0"



CONSULTANTS

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COMM BLDG & POOL HOUSE
@ THE GROVES
AT 421
LILLINGTON,
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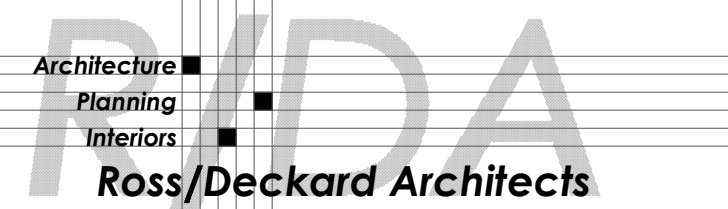
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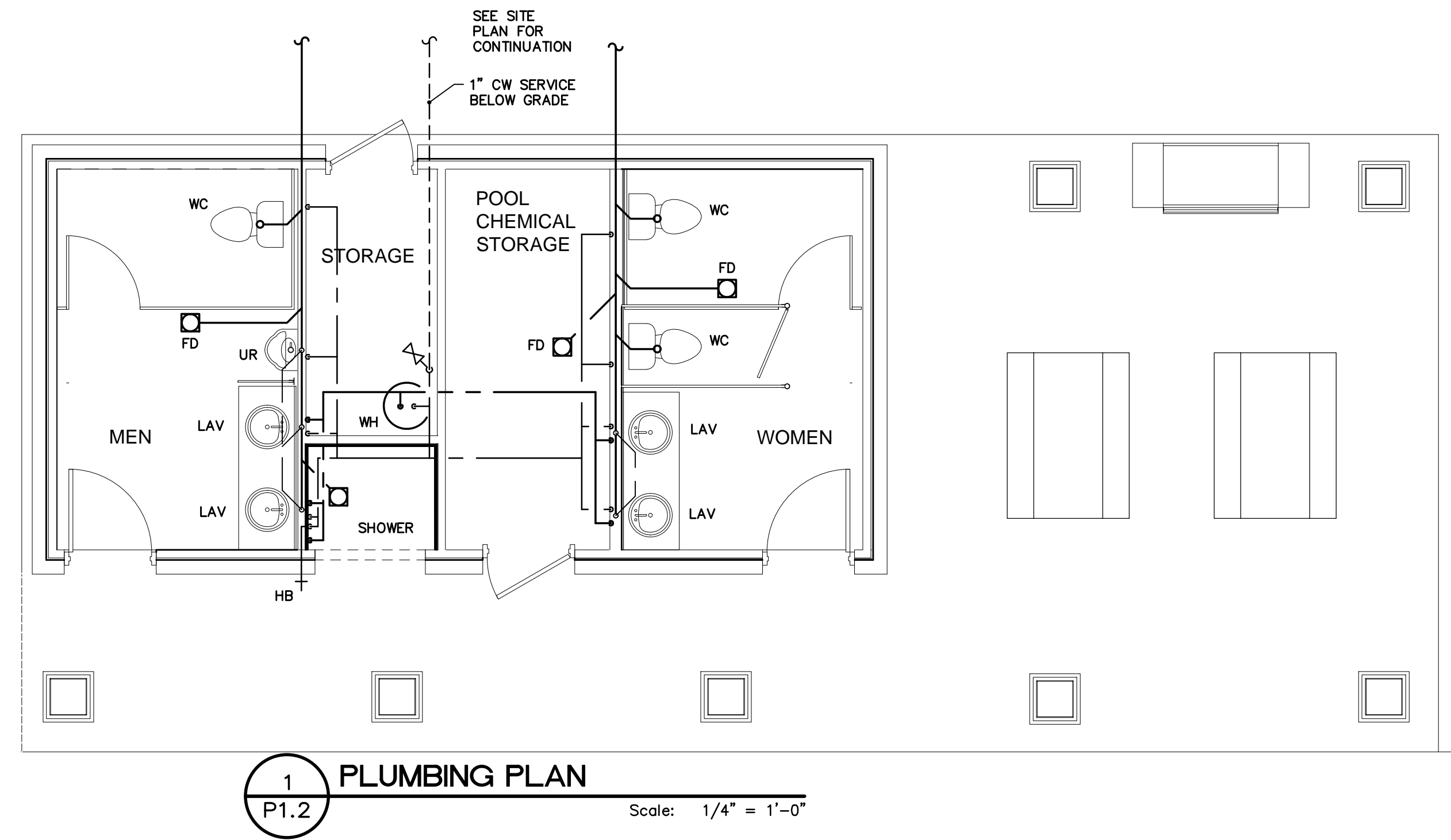
SET# **SP100**

FURNITURE PLAN

A400

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1
P1.2 PLUMBING PLAN
Scale: 1/4" = 1'-0"

COMMUNITY BUILDING PLUMBING FIXTURE SCHEDULE

SYMBOL	FIXTURE — PROVIDE THESE FIXTURES OR EQUAL APPROVED BY ENGINEER AND OWNER	WASTE	COLD WATER	HOT WATER	REMARKS
WC	AMERICAN STANDARD CADET 3 RIGHT HEIGHT ADA 16 1/2" ELONGATED TOILET, WATERSENSE RATED, 1.28 GPF, SIPHON ACTION, WHITE, WITH CHURCH #130IT CLOSED FRONT PLASTIC SEAT AND COVER.	3"	1/2"	—	PROVIDE STOP VALVE
UR	AMERICAN STANDARD WASHBROOK 6590.001, 0.125 GPF URINAL WITH CONCEALED ARM SUPPORT CARRIER. SLOAN 186-0.125 MANUAL FLUSH VALVE.	2"	3/4"	—	
LAV	AMERICAN STANDARD LUCERNE 0355.012, WALL MOUNTED CHINA LAVATORY WITH WALL HANGER, WHITE. MOEN ADLER WS84503, 1.2 GPM, WATERSENSE RATED, SINGLE HANDLE FAUCET WITH POP-UP DRAIN FITTING.	2"	1/2"	1/2"	PROVIDE PRE-MOLDED INSULATION PIPE PROTECTION COVER FOR HW/CW/WASTE PIPING.
KSINK	ELKAY GEOR3321, 33"x21"x5-3/8 DEEP, 20 GAUGE STAINLESS STEEL, DOUBLE BOWL SINK WITH SOUND DEADENING PAD. SINK DRAINS SHALL BE OFFSET TOWARD THE BACK OF THE SINK. MOEN CHATEAU 7430 SINGLE HANDLE, 1.5 GPM FAUCET WITH SPRAYER, CHROME FINISH.	2"	1/2"	1/2"	MOUNT IN CABINET W/ COUNTERTOP FURNISHED BY OTHERS. PROVIDE PRE-MOLDED INSULATION PIPE PROTECTION COVER FOR HW/CW/WASTE PIPING.
SINK	ELKAY GEOR2521, 25"x21"x5-3/8 DEEP, 20 GAUGE STAINLESS STEEL, SINGLE BOWL SINK WITH SOUND DEADENING PAD. SINK DRAIN SHALL BE OFFSET TOWARD THE BACK OF THE SINK. MOEN CHATEAU 7430 SINGLE HANDLE, 1.5 GPM FAUCET WITH SPRAYER, CHROME FINISH.	2"	1/2"	1/2"	MOUNT IN CABINET W/ COUNTERTOP FURNISHED BY OTHERS. PROVIDE PRE-MOLDED INSULATION PIPE PROTECTION COVER FOR HW/CW/WASTE PIPING.
SHOWER (AT POOL)	SHOWER BUILT AND TILED IN THE FIELD, WITH CENTER DRAIN. CFG MODEL 45312 PRESSURE BALANCED MIXING VALVE WITH STOPS AND CFG MODEL 40311 SINGLE HANDLE CONTROL WITH WATERSENSE RATED 1.75 GPM SHOWER HEAD.	2"	1/2"	1/2"	
MS	MOP SINK, FIAT MSB-2424 MOLDED STONE MOP BASIN. FIAT 830-AA WALL MOUNTED UTILITY FAUCET WITH WALL BRACE, PAIL HOOK, AND VACUUM BREAKER.	2"	1/2"	1/2"	
WH (2 REQD.)	WATER HEATER, A.O. SMITH MODEL EJCS-20, 20 GALLON CAPACITY, 2500W, 120V.	—	3/4"	3/4"	PROVIDE T&P VALVE, ROUTE DRAIN TO LOCAL FLOOR DRAIN.
WH (POOL)	WATER HEATER, A.O. SMITH MODEL ENT-40, 40 GALLON CAPACITY, 4500W, 240V, 0.92 UEF.	—	3/4"	3/4"	PROVIDE T&P VALVE, ROUTE DRAIN TO LOCAL FLOOR DRAIN.
MV	WATTS LFMMVM ASSE 1070 POINT OF USE MIXING VALVE, SET AT 110 DEGREES FOR PUBLIC LAVATORY.	—	1/2"	1/2"	
HB	WOODFORD MODEL 17, FREEZEPROOF ANTI-SIPHON WALL HYDRANT, BRASS FINISH, PROVIDE "TEE" KEY HANDLE.	—	3/4"	—	MOUNT IN EXTERIOR WALL 24" A.F.F.
FD/TP	FLOOR DRAIN — ZURN MODEL Z453B, WITH DEEP SEAL TRAP AND 5" STRAINER, AND TRAP PRIMER.	3"	—	—	
EWC	ELECTRIC WATER COOLER — ELKAY MODEL EZTLBC (ADA COMPLIANT) STAINLESS STEEL TOP, FRONT PUSH HANDLES, 120V, 370W	1 1/2"	1/2"	—	PROVIDE STANDARD DRAIN CONNECTION W/ P-TRAP



4/19/21

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PROJECT
The Grove
 Lillington,
 North Carolina
 # 20-530.00

REVISIONS

DATE: April 21, 2021
 ISSUE FOR: Permit/Construction

SET# **SP100**

SHEET **Pool Building Plumbing Plan**

P1.2





4/19/21

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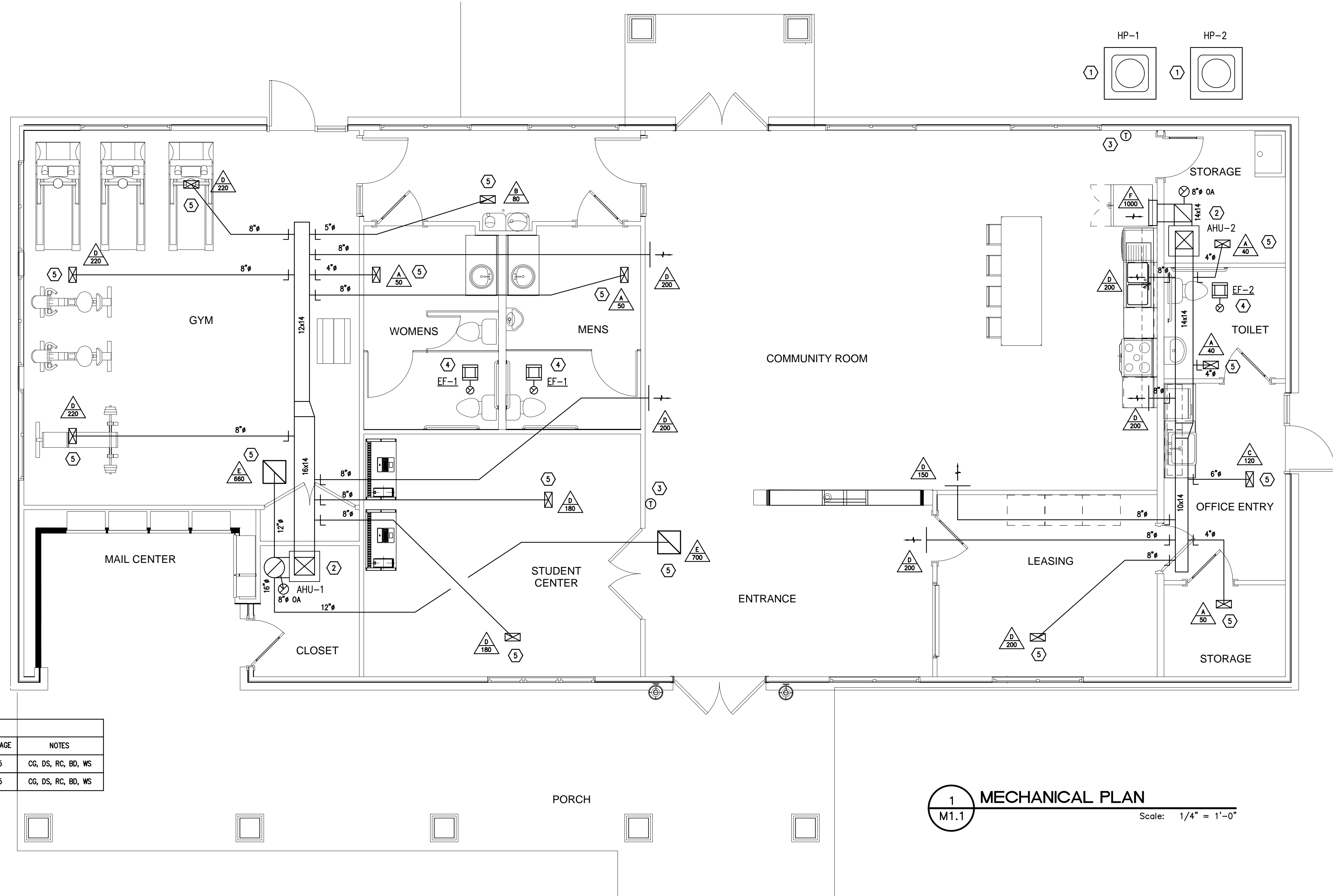
SET#
SP100

SHEET
 Community Building
 and Pool Building
 Mechanical Plans

M1.1

MECHANICAL SYMBOLS

- A.F.F. ABOVE FINISHED FLOOR
- BRANCH DUCT WITH DAMPER
- THERMOSTAT
- SUPPLY DUCT SECTION
- RETURN OR EXHAUST DUCT SECTION
- REFRIGERANT LIQUID LINE
- REFRIGERANT SUCTION LINE
- CONDENSATE DRAIN
- PIPE TURN DOWN
- PIPE TURN UP
- AIR DEVICE
- AIR DEVICE DESIGNATION

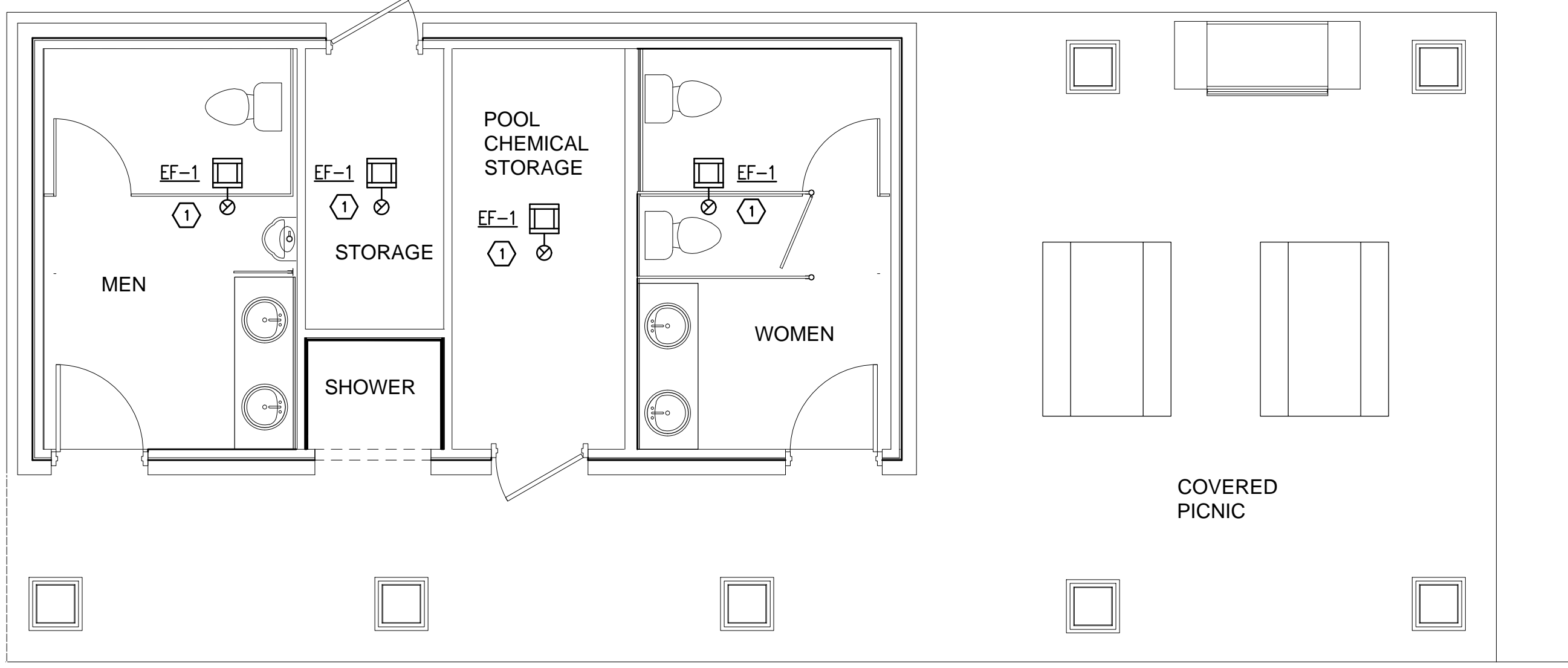


1 MECHANICAL PLAN
 Scale: 1/4" = 1'-0"

FAN SCHEDULE

MARK	SERVICE	TYPE	TYP. MFG. & CAT. NO.	CFM	S.P.	DRIVE	MOTOR	VOLTAGE	NOTES
EF-1	BATHROOMS, POOL MACHINE ROOM	CEILING CABINET	BROAN QT1E150	150	.25	DIRECT	135W	115	CG, DS, RC, BD, WS
EF-2	TOILET	CEILING CABINET	BROAN QT1E80	80	.125	DIRECT	60W	115	CG, DS, RC, BD, WS

CG CEILING GRILLE	RC PITCHED ROOF CAP	WS WALL SWITCH
WC WALL CAP	BD BACKDRAFT DAMPER	BS BIRD SCREEN
DS DISCONNECT SWITCH	LS INTERCONNECT W/LIGHT	TSTAT THERMOSTAT



2 MECHANICAL PLAN
 Scale: 1/4" = 1'-0"

SPLIT SYSTEM HEAT PUMP SCHEDULE

HEAT PUMP								AIR HANDLING UNIT									
MARK	MODEL NO. (GOODMAN)	VOLT/PH	MCA	MOCP	TOTAL COOLING CAPACITY	SEER	TOTAL HEATING CAPACITY	HSPF	MARK	MODEL NO. (GOODMAN)	FAN S.A.	FAN O.A.	SUPP. HEAT @ 240V	S.P.	VOLT/PH	MCA	MOCP
HP-1	GSZ140481K	240V/1#	24.6	40	48,000	15	44,000	8.5	AHU-1	ASPT49D14A	1600	300	0.5	10 KW	240V/1#	56	60
HP-2	GSZ140361K	240V/1#	20.2	35	36,000	15	34,000	8.5	AHU-2	ASPT36D14A	1200	200	0.5	8 KW	240V/1#	42	50

NOTE: PROVIDE CONTROLS TO PREVENT AUXILIARY HEATING FROM RUNNING WHEN EXTERIOR TEMP IS ABOVE 40 DEGREES.

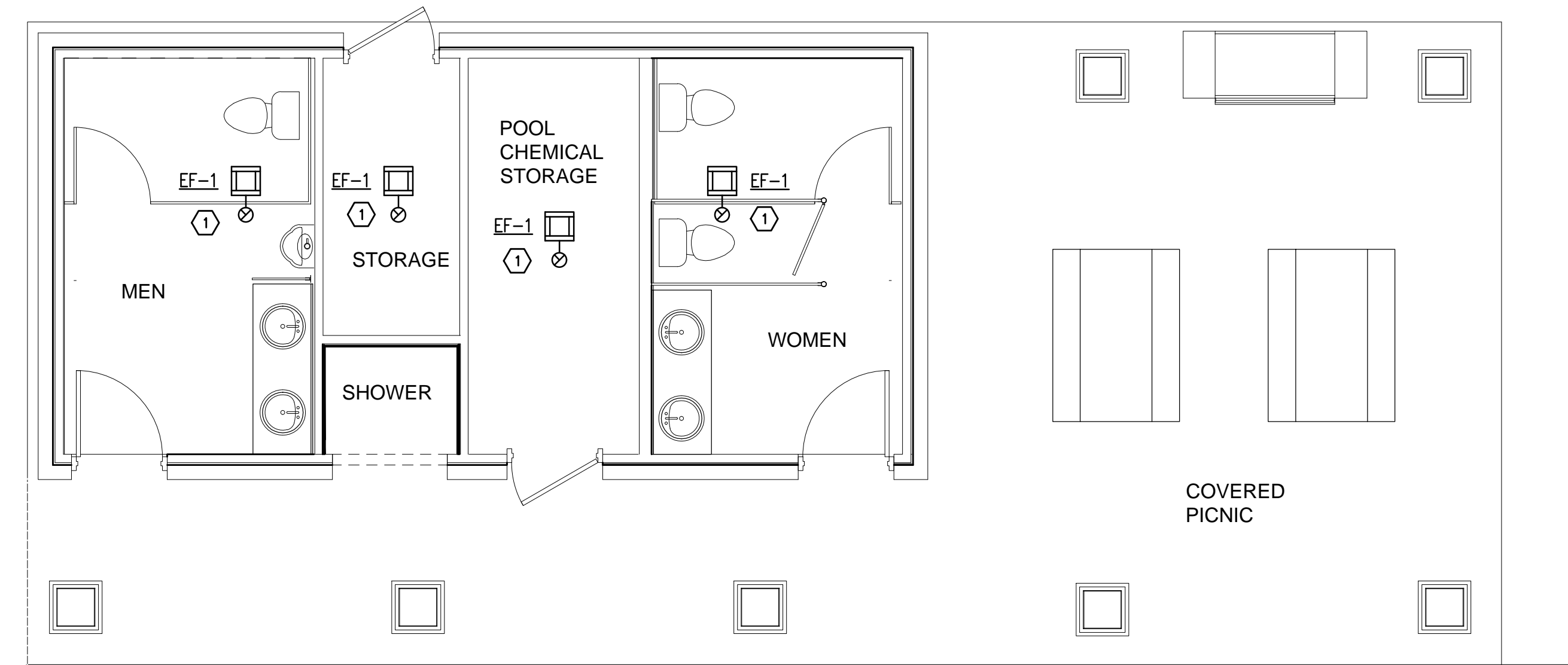
AIR DEVICE SCHEDULE

MARK	DESCRIPTION	SIZE NECK	MOUNTING	MATERIAL	COLOR	THROW	ACCESSORIES	TYPICAL CAT. NO. (HART & COOLEY)	REMARKS
A	CEILING REGISTER	8x6	CEILING MOUNTED	STEEL	WHITE	2-WAY	MULTI-SHUTTER VALVE	661	
B	CEILING REGISTER	10x6	CEILING MOUNTED	STEEL	WHITE	2-WAY	MULTI-SHUTTER VALVE	661	
C	CEILING REGISTER	12x6	CEILING MOUNTED	STEEL	WHITE	2-WAY	MULTI-SHUTTER VALVE	661	
D	CEILING REGISTER	14x6	CEILING MOUNTED	STEEL	WHITE	2-WAY	MULTI-SHUTTER VALVE	661	
E	RETURN AIR GRILLE	20x20	CEILING MOUNTED	STEEL	WHITE	-	-	659	BOTTOM HINGED FACED
F	RETURN AIR GRILLE	30x40	CEILING MOUNTED	STEEL	WHITE	-	-	659	BOTTOM HINGED FACED

PLAN NOTES:

- 1 PROVIDE OUTDOOR HEAT PUMP UNIT ON CONCRETE PAD. MAINTAIN MINIMUM CLEARANCE AT SIDES AND SERVICE END OF UNIT AS RECOMMENDED BY MANUFACTURER.
- 2 PROVIDE AIR HANDLING UNIT WITH REFRIGERANT PIPING DOWN IN EXTERIOR WALL AND OUT FOR CONNECTION TO HEAT PUMP AT 12" ABOVE GRADE. INSTALL REFRIGERANT PIPING PER MANUFACTURER'S SPECIFICATIONS. PROVIDE OUTSIDE AIR DUCT FROM ROOF TO RETURN AIR DUCT. PROVIDE 3/4" PVC CONDENSATE DRAIN WITH SAF-T-SWITCH OVERFLOW SWITCH TO FLOOR DRAIN OR TO EXTERIOR.
- 3 PROVIDE PROGRAMMABLE THERMOSTAT WITH AUTOMATIC NIGHTTIME SETBACK AND AUTO CHANGEOVER CAPABILITY. PROVIDE MINIMUM 18 AWG COPPER MULTI-WIRE CABLE FROM THERMOSTAT TO HEAT PUMP AND AIR HANDLER. ALL WIRING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S WRITTEN RECOMMENDATIONS.
- 4 PROVIDE BATHROOM EXHAUST FAN WITH 6" DUCT TO ROOF EXHAUST CAP WITH BACKDRAFT DAMPER.
- 5 LOCATE SUPPLY AIR DIFFUSERS IN CEILING. SUPPORT DIFFUSER HOUSING USING 2x4 WOOD BLOCKING AS RECOMMENDED BY THE MANUFACTURER. FACE OF DIFFUSER SHALL FIT NEATLY INTO HOUSING AND SIT FLUSH WITH CEILING. MOUNT DIFFUSER 1'-4" FROM WALL UNLESS OTHERWISE NOTED.





1
M1.2 MECHANICAL PLAN
Scale: 1/4" = 1'-0"

PLAN NOTES:

- (1) PROVIDE BATHROOM EXHAUST FAN WITH 6" DUCT TO ROOF EXHAUST CAP WITH BACKRAFT DAMPER.



4/19/21

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NO.	DATE	DESCRIPTION

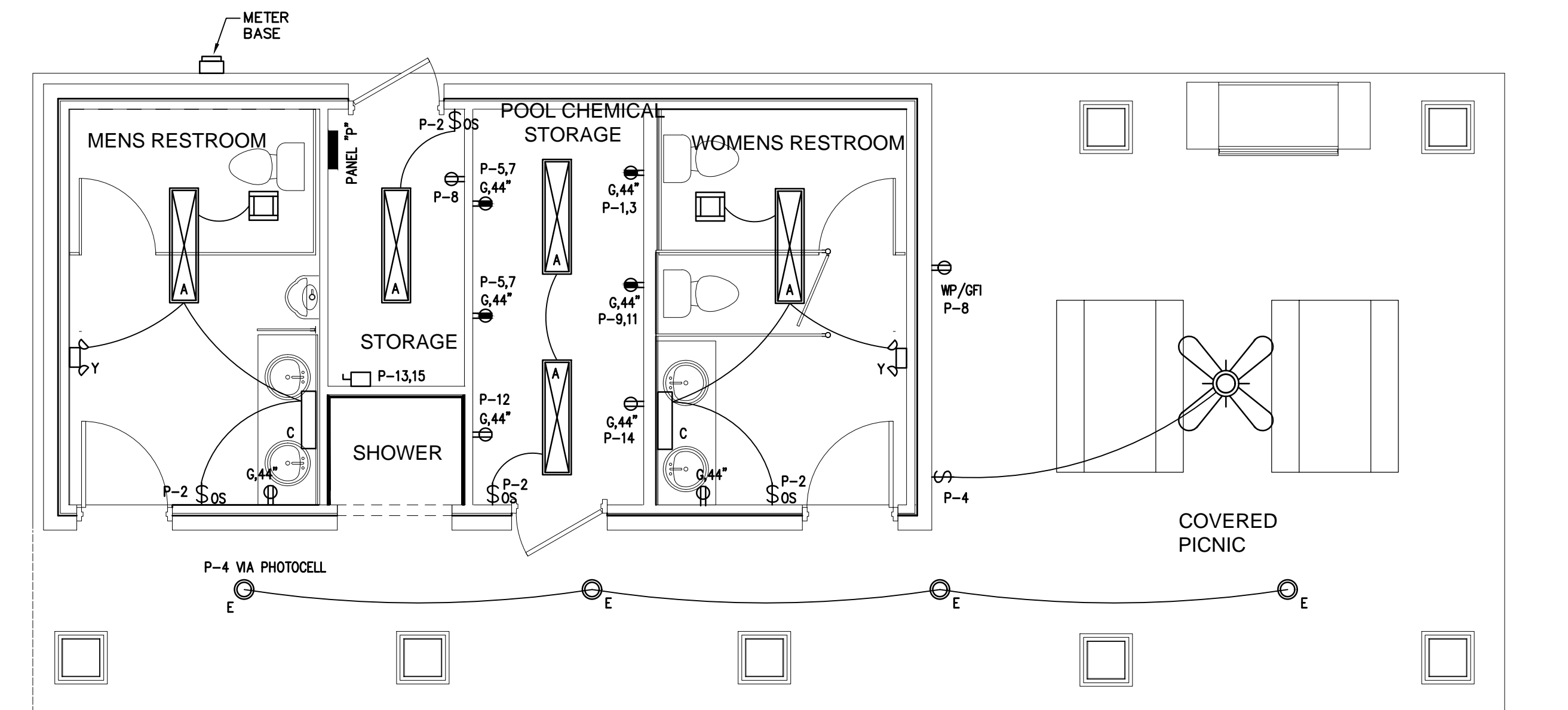
DATE
 DATE: April 21, 2021
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SP100

SHEET
 Pool Building
 Mechanical Plan

#
M1.2





1 ELECTRICAL PLAN
Scale: NOT TO SCALE

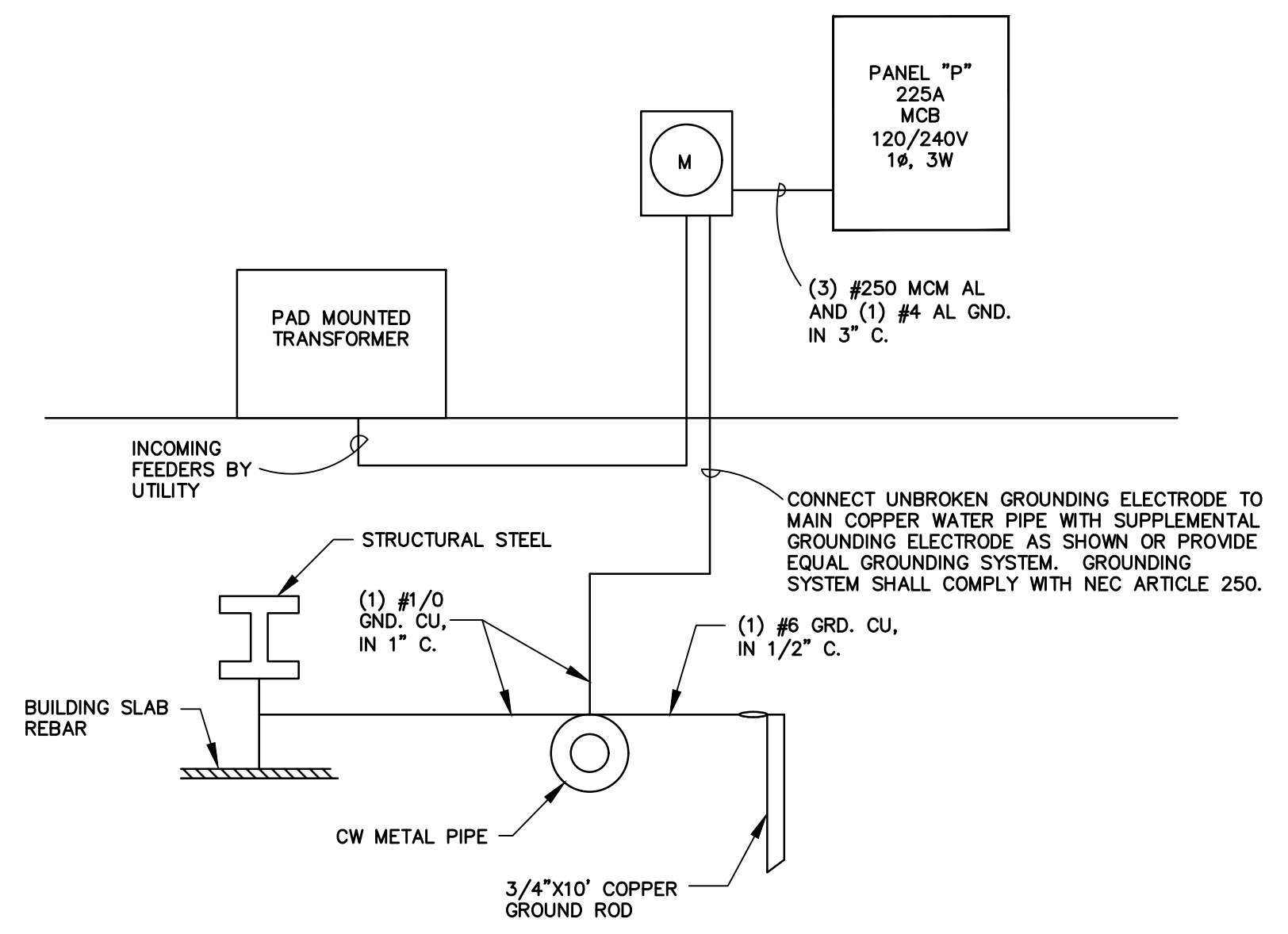
PANELBOARD LOAD SUMMARY - PANEL P

LOAD		CIRCUIT										CIRCUIT										LOAD	
A	B	DESIGNATION TYPED OR DIRECTORY	CONDUIT SIZE (INCH)	GND SIZE AWG	NEUT SIZE AWG	WIRE SIZE AWG	BRKR RAT. (AMP)	CKT NO.	S/A	CKT NO.	BRKR RAT. (A)	WIRE SIZE AWG	NEUT SIZE AWG	GND SIZE AWG	CONDUIT SIZE (INCH)	DESIGNATION TYPED OR DIRECTORY	A	B					
G	2.50	POOL EQUIPMENT		10	10	10	30	1		2	15	14	14	14	LIGHTING	0.20							
	2.50							3		4	15	14	14	14	EXTERIOR LIGHTS		0.40						
G	2.50	POOL EQUIPMENT		10	10	10	30	5		6	15	14	14	14	POOL LIGHTS	0.10							
	2.50							7		8	20	12	12	12	RECEPTACLES		0.72						
G	2.50	POOL EQUIPMENT		10	10	10	30	9		10	20	12	12	12	POOL ACCESSIBLE LIFT	0.60							
	2.50							11		12	20	12	12	12	POOL EQUIPMENT		1.25						
G	2.50	WATER HEATER		10	10	10	30	13		14	20	12	12	12	POOL EQUIPMENT	1.25							
	2.50							15		16					SPARE								
	-	SPACE						17		18					SPACE								
	-	SPACE						19		20					SPACE								

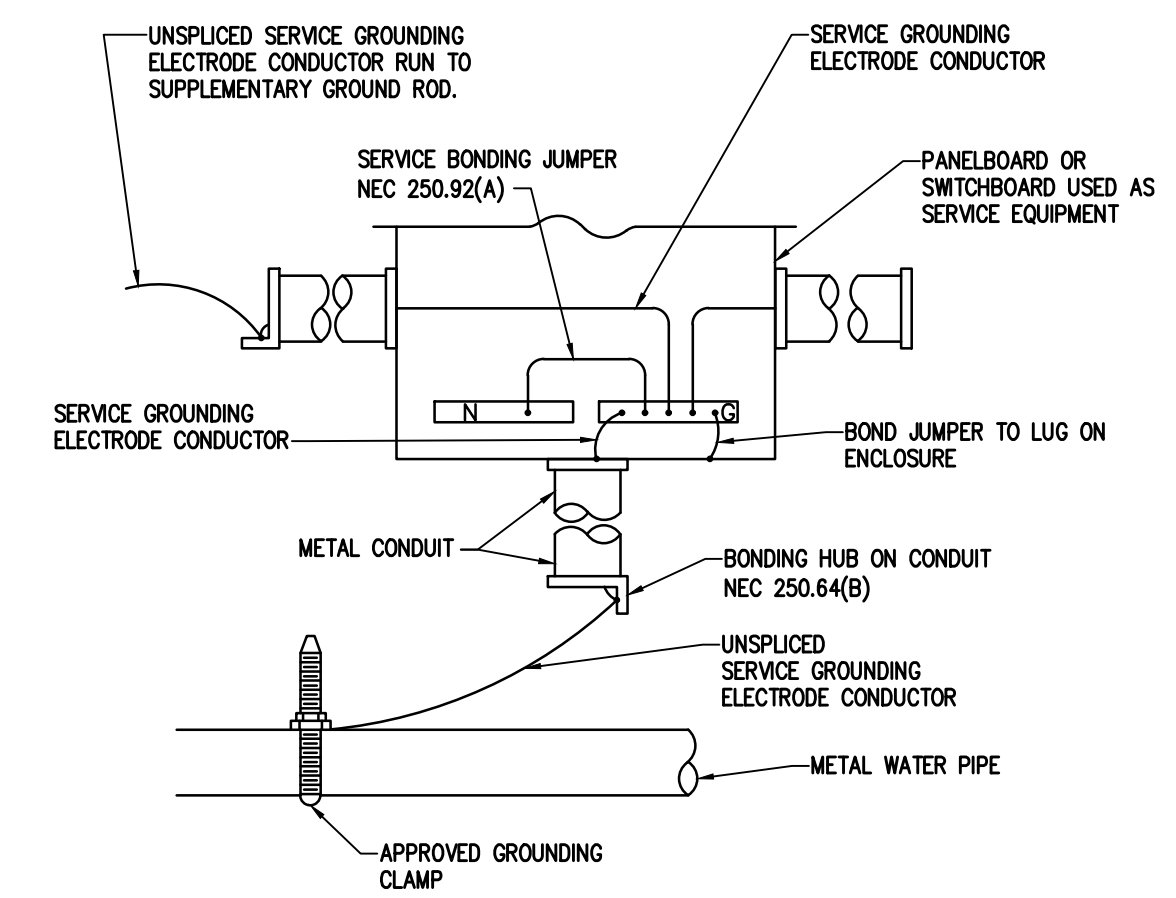
PANEL BOARD SPECIFICATIONS
MFR. & MODEL: FLUSH
MOUNTING: 120/240V, 1 PH, 3 W
SUPPLY: 225A
BUSSES: 225A
NEUTRAL: MAIN LUGS ONLY
MARKS: MAIN LUGS ONLY
AIC RATING: 22,000
NOTES: PROVIDE COPPER GROUND BUS

G - GFI PROTECTION REQUIRED

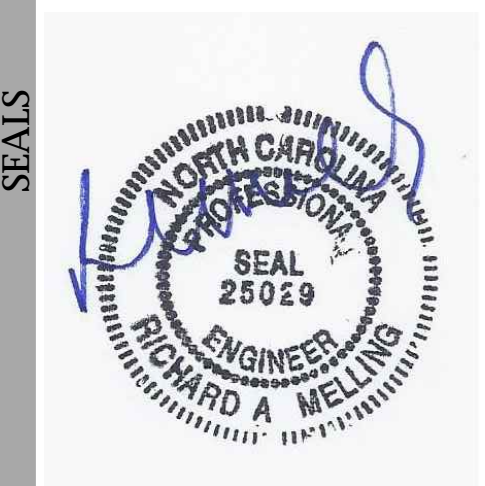
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B	11.00



2 ELECTRICAL RISER DIAGRAM
Scale: NOT TO SCALE



3 SERVICE GROUNDING FROM SERVICE ENTRANCE
Scale: NOT TO SCALE



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SHEET
Pool Building
Electrical Plan

#
E1.2

