

HARNETT COUNTY HEALTH DEPARTMENT
ENVIRONMENTAL HEALTH SECTION
307 W. CORNELIUS HARNETT BLVD.
LILLINGTON, NC 27546
910-893-7547 PHONE
910-893-9371 FAX

Application for Repair

NAME PAUL "BARRY" BAILEY EMAIL ADDRESS: bbailey1@embargo.net
PHONE NUMBER _____
PHYSICAL ADDRESS 98 REGAL CREST DR FURQUAY VARINA NC 27526
MAILING ADDRESS (IF DIFFERENT THAN PHYSICAL) _____

IF RENTING, LEASING, ETC., LIST PROPERTY OWNER NAME _____

<u>REGAL CREST</u>	<u>13</u>	<u>RIVER RD</u>	<u>2.7 AC</u>
SUBDIVISION NAME	LOT #/TRACT #	STATE RD/HWY	SIZE OF LOT/TRACT

Type of Dwelling: Modular Mobile Home Stick built Other _____

Number of bedrooms 3 Basement

Garage: Yes No Dishwasher: Yes No Garbage Disposal: Yes No

Water Supply: Private Well Community System County

Directions from Lillington to your site: HWY 401 FROM LILLINGTON TOWARD
FURQUAY VARINA - TURN LEFT ON CHRISTIAN LIGHT RD -
TURN LEFT ON RIVER RD - TURN RIGHT ON REGAL
CREST DR - 1ST HOUSE ON RIGHT 98 REGAL CREST

- In order for Environmental Health to help you with your repair, you will need to comply by completing the following:**
1. A "surveyed and recorded map" and "deed to your property" must be attached to this application. Please inform us of any wells on the property by showing on your survey map.
 2. The outlet end of the tank and the distribution box will need to be uncovered and property lines flagged. After the tank is uncovered, property lines flagged, underground utilities marked, and the orange sign has been placed, you will need to call us at 910-893-7547 to confirm that your site is ready for evaluation.

Your system must be repaired within 30 days of issuance of the Improvement Permit or the time set within receipt of a violation letter. (Whichever is applicable.)

By signing below, I certify that all of the above information is correct to the best of my knowledge. False information will result in the denial of the permit. The permit is subject to revocation if the site plan, intended use, or ownership changes.

P. Barry Bailey 1-14-2020
Signature Date

HOMEOWNER INTERVIEW FORM

It is important that you answer the following questions for our inspectors. Please do not leave any blanks if possible, and answer all questions to the best of your ability. Thank You.

Have you received a violation letter for a failing system from our office? [] YES [X] NO

Also, within the last 5 years have you completed an application for repair for this site? [] YES [] NO

HAUSE JUST MOVED THERE OCT 11-2019

Year home was built (or year of septic tank installation) 2013-2014 ?

Installer of system DON'T KNOW

Septic Tank Pumper FOREVER CLEAN SEPTIC

Designer of System DON'T KNOW

1. Number of people who live in house? 2 # adults # children 2 # total

2. What is your average estimated daily water usage? gallons/month or day county water. If HCPU please give the name the bill is listed in BARRY & SUE BAILEY

3. If you have a garbage disposal, how often is it used? [] daily [] weekly [] monthly

4. When was the septic tank last pumped? 1-14-2020 How often do you have it pumped? 2 TIMES

5. If you have a dishwasher, how often do you use it? [] daily [] every other day [] weekly

6. If you have a washing machine, how often do you use it? [X] daily [] every other day [] weekly [] monthly

7. Do you have a water softener or treatment system? [] YES [X] NO Where does it drain?

8. Do you use an "in tank" toilet bowl sanitizer? [] YES [X] NO

9. Are you or any member in your household using long term prescription drugs, antibiotics or chemotherapy? [X] YES [] NO If yes please list SIMVASTATIN - FLOMAX

10. Do you put household cleaning chemicals down the drain? [] YES [] NO If so, what kind? TOILET BOWL CLEANER

11. Have you put any chemicals (paints, thinners, etc.) down the drain? [] YES [X] NO

12. Have you installed any water fixtures since your system has been installed? [] YES [X] NO If yes, please list any additions including any spas, whirlpool, sinks, lavatories, bath/showers, toilets

13. Do you have an underground lawn watering system? [] YES [X] NO

14. Has any work been done to your structure since the initial move into your home such as, a roof, gutter drains, basement foundation drains, landscaping, etc? If yes, please list

15. Are there any underground utilities on your lot? Please check all that apply: [X] Power [X] Phone [X] Cable [X] Gas [X] Water

16. Describe what is happening when you are having problems with your septic system, and when was this first noticed?

RECENT RAIN WATER SATURATED YARD

17. Do you notice the problem as being patterned or linked to a specific event (i.e., wash clothes, heavy rains, and household guests?) [] YES [] NO If Yes, please list HEAVY RAINS

HTE# 13-5-32333

Harratt County Department of Public Health

PERMIT # 27591

Operation Permit

23018

New Installation Septic Tank Nitrification Line Repair Expansion

PROPERTY LOCATION: 38418 REVELA RD

Name: (owner) Weaver Homes SUBDIVISION Regal Crest LOT # 13

System Installer: OTIS STRICKLAND Registration # _____

Basement with plumbing: Garage Number of Bedrooms 4

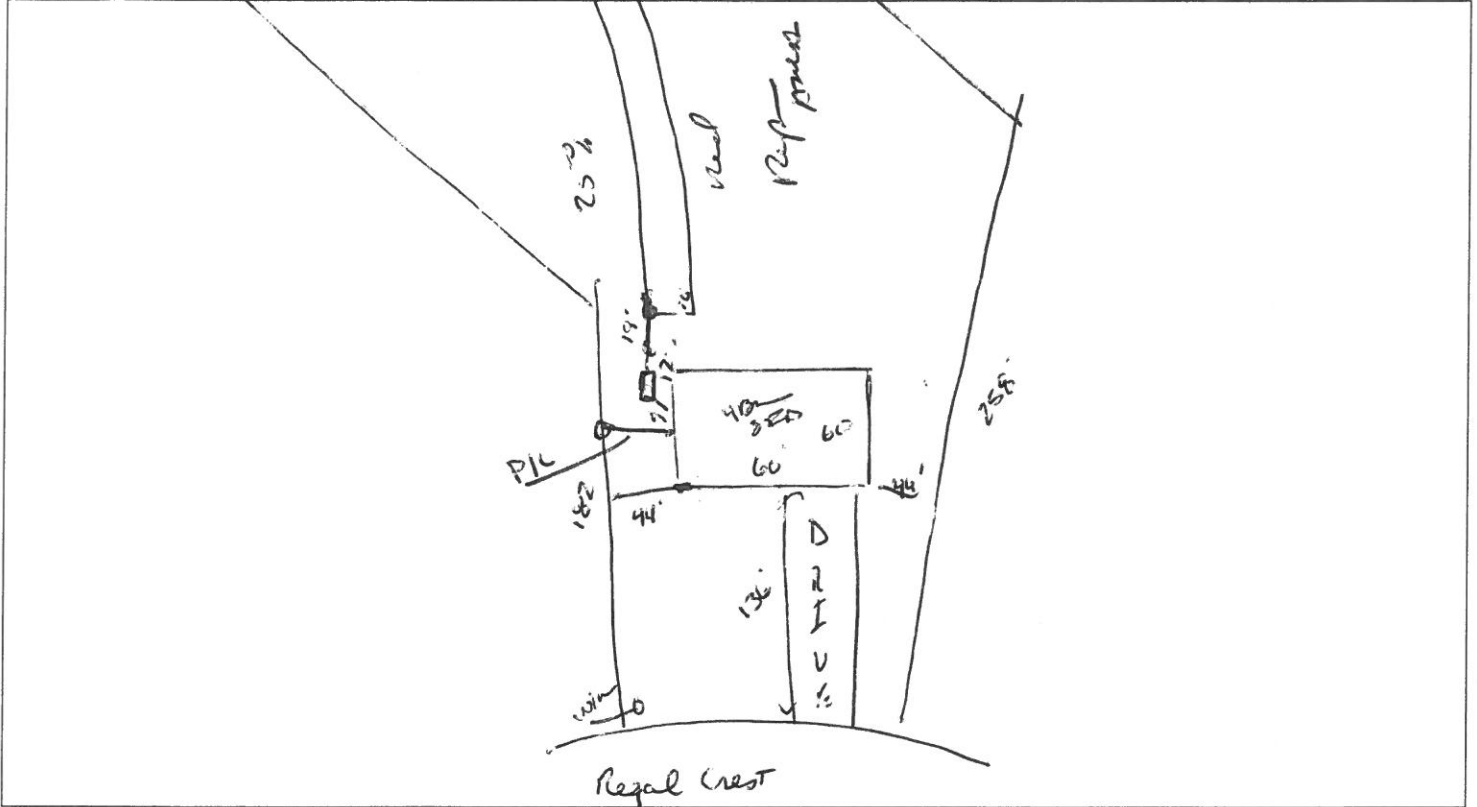
Type of Water Supply: Community Public Well Distance from well _____ feet

System Type: 25% Renewal System Type III G Types V and VI Systems expire in 5 years.

(In accordance with Table V a)

Owner must contact Health Department 6 months prior to expiration for permit renewal.

This system has been installed in compliance with applicable North Carolina General Statutes, Rules for Sewage Treatment and Disposal, and all conditions of the Improvement Permit and Construction Authorization.



PERMIT CONDITIONS:

- I. Performance: System shall perform in accordance with Rule .1961.
- II. Monitoring: As required by Rule .1961.
- III. Maintenance: As required by Rule .1961. Other: _____
Subsurface system operator required? Yes No
If yes, see attached sheet for additional operation conditions, maintenance and reporting.
- IV. Operation: _____
- V. Other: _____

D-Box Pump Alarm H2O Line PWR Line

Following are the specifications for the sewage disposal system on the above captioned property.

Type of system: Conventional Other 25% Renewal System Septic Tank: 1200 gallons Pump Tank: _____ gallons
 Subsurface No. of exact length width of depth of
 Drainage Field ditches 2 of each ditch 200 feet ditches 3 feet ditches 28 inches
 French Drain Required: _____ Linear feet

Authorized State Agent [Signature] Date 1-23-15

For Registration Kimberly S. Hargrove
Register of Deeds
Harnett County, NC
Electronically Recorded
2019 Sep 12 02:07 PM NC Rev Stamp: \$ 720.00
Book: 3735 Page: 172 - 173 Fee: \$ 26.00
Instrument Number: 2019013124

HARNETT COUNTY TAX ID#
05-0633-0013-12

09-12-2019 BY CW

NORTH CAROLINA GENERAL WARRANTY DEED

Excise Tax: \$720.00

Parcel Identifier No. 050633 0013 12

Verified by _____ County on the _____ day of _____, 20__

By: _____

Mail/Box to: GRANTEE

This instrument was prepared by: **Currie Tee Howell, Adams, Howell, Sizemore & Adams, P.A.**

Brief description for the Index: Lot 13, Revision Map 2008-664 Lot 12 & 13 Survey For: Regal Crest Subdivision

THIS DEED made this 11th day of September, 2019, by and between

GRANTOR

GRANTEE

**Jessica Lyon Schmidt Thomas,
Unmarried**

**Paul Barry Bailey and wife,
Janie Sue Glover Bailey**

**PO Box 40
Kipling, NC 27543**

**98 Regal Crest Drive
Fuquay-Varina, NC 27526**

Enter in appropriate block for each Grantor and Grantee: name, mailing address, and, if appropriate, character of entity, e.g. corporation or partnership.

The designation Grantor and Grantee as used herein shall include said parties, their heirs, successors, and assigns, and shall include singular, plural, masculine, feminine or neuter as required by context.

WITNESSETH, that the Grantor, for a valuable consideration paid by the Grantee, the receipt of which is hereby acknowledged, has and by these presents does grant, bargain, sell and convey unto the Grantee in fee simple, all that certain lot, parcel of land or condominium unit situated in Hectors Creek Township, Harnett County, North Carolina and more particularly described as follows:

BEING all of Lot 13 on that plat entitled "Revision Map 2008-664 Lot 12 & 13 Survey for: Regal Crest Subdivision," being duly recorded in Map Number 2012-461 Harnett County Registry.

All or a portion of the property herein conveyed includes or does not include the primary residence of a Grantor.

NC Bar Association Form No. 3 © Revised 7/2013
Printed by Agreement with the NC Bar Association
North Carolina Bar Association – NC Bar Form No. 3
North Carolina Association of Realtors, Inc. – Standard Form 3

Submitted electronically by Adams, Howell, Sizemore & Adams, P.A. in compliance with North Carolina statutes governing recordable documents and the terms of the submitter agreement with the Harnett County Register of Deeds.

TO HAVE AND TO HOLD the aforesaid lot or parcel of land and all privileges and appurtenances thereto belonging to the Grantee in fee simple.

And the Grantor covenants with the Grantee, that Grantor is seized of the premises in fee simple, has the right to convey the same in fee simple, that title is marketable and free and clear of all encumbrances, and that Grantor will warrant and defend the title against the lawful claims of all persons whomsoever, other than the following exceptions:

Subject to all easements, rights-of-way, covenants and other restrictions as shown on the public record or as would be disclosed by an accurate survey and inspection of the land.

IN WITNESS WHEREOF, the Grantor has duly executed the foregoing as of the day and year first above written.

GRANTOR(S)

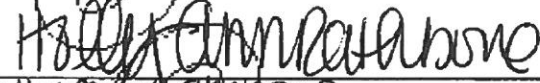
 (SEAL)
Jessica Lyon-Schmidt Thomas

State of North Carolina - County of Harnett

I, the undersigned Notary Public of the County or City of Harnett and State aforesaid, certify that Jessica Lyon Schmidt Thomas personally appeared before me this day and acknowledged the due execution of the foregoing instrument for the purposes therein expressed. Witness my hand and Notarial stamp or seal this 11 day of September, 2019.



(Affix Seal)


Holly Ann Rathbone
Notary's Printed or Typed Name
My Commission Expires: 8/27/23