

SYMBOL INFORMATION

3
A11
DETAIL
SCALE: 1/4" = 1'-0"
DRAWING NUMBER
DRAWING SUBTITLE

DETAIL NUMBER
DRAWING NUMBER
DETAIL MARKS

DETAIL NUMBER
DRAWING NUMBER
ELEVATION NUMBER
ELEVATION MARK

SECTION NUMBER
DRAWING NUMBER
SECTION MARKS

ROOM NAME
ROOM NUMBER
ROOM TAG

ELEVATION REFERENCE
SLAB
ELEVATION HEIGHT
ELEVATION DATUM

CEILING TYPE
CEILING HEIGHT
CEILING TAG

DOOR NUMBER
EQUIPMENT

WALL TYPES

WINDOW TAG

FINISH TAG

NOTES TAG

PROJECT TEAM DIRECTORY

OWNER:
CONTACT NAME: REGGIE BARNACASEL
CONTACT INFORMATION: 102 I NOELL LANE, ROCKY MOUNT, NC 27802, PH: (252) 937-2800, FAX: (252) 937-4909

ARCHITECT:
COMPANY NAME: NATIONAL RESTAURANT DESIGNERS
CONTACT NAME: GLEN R. LEHMANN
LICENSE NUMBER: 3177
CONTACT INFORMATION: 7208 ACC BLVD, SECOND FLOOR, RALEIGH, NC 27617, PH: (919) 544-0087, FAX: (919) 544-9399



HARDEES OF OLIVIA #1658
DIGITAL MENU BOARD UPDATES
5184 NC 87 NORTH
SANFORD, NC 27332

SHEET INDEX

TITLE	REVISION
T-1	TITLE SHEET
T-2	APPENDIX B
ARCHITECTURAL	
AS-1	ARCHITECTURAL SITE PLAN
A-1	CONSTRUCTION PLAN
A-2.0	DRIVE THRU DETAILS
A-2.1	DRIVE THRU CANOPY

NOTICE TO CONTRACTOR
All construction must comply with current NC Building Codes and is subject to field inspection and verification.

Reviewed for Code Compliance
07/24/2023

Harnett COUNTY
NORTH CAROLINA

NRD Project # 22300.14

NATIONAL RESTAURANT DESIGNERS
A DIVISION OF LHM ASSOCIATES
7208 ACC BLVD, 2ND FLOOR, RALEIGH, NC 27617
Phone: 919.544.0087 Fax: 919.544.9399

Professional seal of Glen R. Lehmann, Registered Architect, License No. 3177, State of North Carolina.
7/12/23

ABBREVIATIONS

Ø DIAMETER	JT. JOINT
□ SQUARE FOOT/FEET	LAM. LAMINATED
@ CENTERLINE	LAV. LAVATORY
# FOUND OR NUMBER	LT. LIGHT
(E) EXISTING	MAX. MAXIMUM
(N) NEW	M.S. MACHINE BOLT
A.B. ANCHOR BOLT	MECH. MECHANICAL
A.C. AIR CONDITIONING	MET. METAL
ACOUS. ACOUSTICAL	MFR. MANUFACTURER
ACOUS. ABOVE FINISH FLOOR	M.H. MANHOLE
ALUM. ALUMINUM	MIN. MINIMUM
APPROX. APPROXIMATE	MISC. MISCELLANEOUS
ARCH. ARCHITECTURAL	M.O. MASONRY OPENING
A.S.R. AUTOMATIC SPRINKLER SYSTEM	MTD. MOUNTED
BD. BOARD	MUL. MULLION
BLDG. BUILDING	N. NORTH
BLK. BLOCK	N.I.C. NOT IN CONTRACT
BLKG. BLOCKING	NO. NUMBER
CLJ. CEILING JOIST	NOM. NOMINAL
CLG. CEILING	N.T.S. NOT TO SCALE
CLR. CLEAR	O.A. OVERALL
C.M. CONSTRUCTION MANAGER	O.C. ON CENTER
C.M.U. CONCRETE MASONRY UNIT	O.D. OUTSIDE DIAMETER
C.O. CLEANOUT	OPD. OVERFLOW DRAIN
CONC. CONCRETE	OPF. OPENING
CONN. CONNECTION	OPP. OPPOSITE
CONSTR. CONSTRUCTION	UNIT
CONT. CONTINUOUS	PARTN. PARTITION
CONTR. CONTRACTOR	P.L. PROPERTY LINE
DBL. DOUBLE	PLAS. PLASTER
DEPT. DEPARTMENT	PLBS. PLUMBING
DET. DETAIL	PLYWD. PLYWOOD
D.F. DRINKING FOUNTAIN	P.T. PRESSURE TREATED
DIA. DIAMETER	Q.T. QUARRY TILE
DIM. DIMENSION	R. RISER
DS. DOWN SPOUT	RAD. RADIUS
DWG. DRAWING	R.D. ROOF DRAIN
E. EAST	REF. REFERENCE
EA. EACH	REFR. REFRIGERATOR
ELEC. ELECTRICAL	REINF. REINFORCED
ELL. ELEVATION	REQD. REQUIRED
E.P. ELECTRICAL PANEL	RESIL. RESILIENT
E.Q. EQUAL	RM. ROOM
EQUIP. EQUIPMENT	R.O. ROUGH OPENING
E.W. EACH WAY	R.O.W. RIGHT OF WAY
EXIS. EXISTING	S. SOUTH
EXT. EXTERIOR	S.A.N. SCALE AS NOTED
F.F. FINISH FLOOR	S.A.T. SUSPENDED ACOUSTICAL TILE
FIN. FINISH	S.C. SOLID CORE
FKT. FIXTURE	SCHED. SCHEDULE
FLR. FLOOR	SECT. SECTION
FLUOR. FLUORESCENT	SHT. SHEET
F.H. FIRE HYDRANT	SHTG. SHEATHING
F.O.F. FACE OF FINISH	SIM. SIMILAR
F.O.M. FACE OF MASONRY	SPEC. SPECIFICATION
F.O.S. FACE OF STUD	SQ. SQUARE
F.S. FLOOR SINK	SK. SERVICE SINK
F.S.R. FIRE SPRINKLER RISER	SS. STAINLESS STEEL
FT. FOOT/FEET	STD. STANDARD
FIG. FOOTING	STL. STEEL
FUT. FUTURE	STOR. STORAGE
GA. GAUGE	STR. STRUCTURAL
GALV. GALVANIZED	SYM. SYMMETRICAL
G.C. GENERAL CONTRACTOR	T. TREAD
G.I. GALVANIZED IRON	T.B. TOP OF BEAM
GL. GLASS	TEL. TELEPHONE
GND. GROUND	T&G. TONGUE AND GROOVE
GR. GRADE	THK. THICKNESS
GYP. GYPSUM	T.O.C. TOP OF CURB
HDR. HEADER	T.O.P. TOP OF PARAPET
HDW. HARDWARE	T.O.S. TOP OF SHEATHING
HT. HEIGHT	T.O.W. TOP OF WALL
H.M. HOLLOW METAL	TYP. TYPICAL
HOR. HORIZONTAL	U.B.C. UNIFORM BUILDING CODE
HDWD. HARDWOOD	U.O.N. UNLESS OTHERWISE NOTED
HVAC. HEATING, VENTILATION AND AIR CONDITIONING	V.B. VINYL BASE
I.D. INSIDE DIAMETER	VERT. VERTICAL
IN. INCH	V.C.T. VINYL COMPOSITION TILE
INSUL. INSULATION	V.T.R. VENT THROUGH ROOF
INT. INTERIOR	W. WEST
	W/C. WITH WATER CLOSET
	WD. WOOD
	W.H. WATER HEATER
	W/O. WITHOUT
	W.R. WATER RESISTANT

ENERGY CODE SUMMARY

2015 INTERNATIONAL ENERGY CONSERVATION CODE

EXISTING ENERGY CODE SUMMARY IS EXISTING TO REMAIN – NO CHANGE

BUILDING CODE SUMMARY

2018 NORTH CAROLINA BUILDING CODE
2018 NORTH CAROLINA MECHANICAL CODE
2018 NORTH CAROLINA PLUMBING CODE
2018 NORTH CAROLINA FIRE PREVENTION CODE
2017 NATIONAL ELECTRICAL CODE
2018 NORTH CAROLINA GAS CODE
ICC-A117.1-2009

BUILDING CODE SUMMARY IS ALL EXISTING TO REMAIN – NO CHANGE

NO CHANGES TO BUILDING, DUMPSTER OR SITE PLAN.

SCOPE OF WORK

REPLACE DRIVE THRU MENU BOARD, DRIVE THRU CANOPY WITH SPEAKER IN SAME LOCATION AS EXISTING.
REPLACE EXISTING INTERIOR MENU BOARDS WITH DIGITAL MENU BOARDS IN SAME LOCATION.
NO CHANGES TO BUILDING, DUMPSTER OR SITE PLAN.

Hardee's
HARDEES OF OLIVIA #1658
DIGITAL MENU BOARD UPDATES
5184 NC 87 NORTH
SANFORD, NC 27332

OWNER:
BODDIE-NOELL ENTERPRISES, INC.
P.O. BOX 1908
ROCKY MOUNT, N.C. 27802-1908
(252) 937-2800

NO.	REVISIONS	DESCRIPTION	DATE

DRAWN BY: _____ CHECKED BY: _____

TITLE SHEET

DATE: 7-12-2023

SHEET NUMBER: **T-1**

**2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS**
(EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)
(Reproduce the following data on the building plans sheet 1 or 2)

Name of Project: 22300.14 -BNE OF OLIVA #1658
Address: 5184 NC 87 NORTH SANFORD, NC Zip Code 27332
Owner/Authorized Agent: NRD Phone # (919) 544 - 0087 E-Mail RLEHMANN@UMHT.COM
Owned By: City/County Private State
Code Enforcement Jurisdiction: City County HARNETT State

CONTACT:
DESIGNER FIRM NRD NAME GLEN LEHMANN LICENSE # 3177 TELEPHONE # E-MAIL
Architectural (919) 544-0087 OLEHMANN@UMHT.COM
Civil ()
Electrical ()
Fire Alarm ()
Plumbing ()
Mechanical ()
Sprinkler-Standpipe ()
Structural ()
Retaining Walls >5' High ()
Other ()
("Other" should include firms and individuals such as truss, precast, pre-engineered, interior designers, etc.)

2018 NC BUILDING CODE: New Building Addition Renovation
 1st Time Interior Completion
 Shell/Core - Contact the local inspection jurisdiction for possible additional procedures and requirements
 Phased Construction - Shell/Core - Contact the local inspection jurisdiction for possible additional procedures and requirements

2018 NC EXISTING BUILDING CODE: Prescriptive Repair Chapter 14
Alteration: Level I Level II Level III
 Historic Property Change of Use
CURRENT OCCUPANCY(S) (Ch. 3): A2- RESTAURANT
PROPOSED OCCUPANCY(S) (Ch. 3): NO CHANGE
RISK CATEGORY (Table 1604.5): I II III IV
Proposed: I II III IV

BASIC BUILDING DATA
Construction Type: I-A II-A III-A IV V-A
(check all that apply) I-B II-B III-B V-B
Sprinklers: No Partial Yes NFPA 13 NFPA 13R NFPA 13D
Standpipes: No Yes Class I II III Wet Dry
Fire District: No Yes Flood Hazard Area: No Yes
Special Inspections Required: No Yes Contact the local inspection jurisdiction for additional procedures and requirements.)

Gross Building Area Table

FLOOR	EXISTING (SQ FT)	NEW (SQ FT)	SUB-TOTAL
3rd Floor			
2nd Floor			
Mezzanine			
1st Floor	EXISTING TO REMAIN	0	EXISTING TO REMAIN
Basement			
TOTAL			EXISTING TO REMAIN

ALLOWABLE AREA

Primary Occupancy Classification(s): Select one Select one Select one Select one Select one
Assembly A-1 A-2 A-3 A-4 A-5
Business
Educational
Factory F-1 Moderate F-2 Low
Hazardous H-1 Detonate H-2 Deflagrate H-3 Combust H-4 Health H-5 HPM
Institutional I-1 Condition 1 2
 I-2 Condition 1 2
 I-3 Condition 1 2 3 4 5
 I-4
Mercantile
Residential R-1 R-2 R-3 R-4
Storage S-1 Moderate S-2 Low High-piled
 Parking Garage Open Enclosed Repair Garage
Utility and Miscellaneous

Accessory Occupancy Classification(s):
Incidental Uses (Table 509):
Special Uses (Chapter 4 - List Code Sections):
Special Provisions: (Chapter 5 - List Code Sections):
Mixed Occupancy: No Yes Separation: _____ Hr. Exception: _____

Non-Separated Use (508.3) - The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire building. The most restrictive type of construction, so determined, shall apply to the entire building.
 Separated Use (508.4) - See below for area calculations for each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1.

Actual Area of Occupancy A + Actual Area of Occupancy B \leq 1
Allowable Area of Occupancy A Allowable Area of Occupancy B
_____ + _____ + = _____ \leq 1.00

STORY NO.	DESCRIPTION AND USE	(A) BLDG AREA PER STORY (ACTUAL)	(B) TABLE 506.2.4 AREA FOR FRONTAGE INCREASE 1.5	(C) AREA FOR FRONTAGE INCREASE 1.5	(D) ALLOWABLE AREA PER STORY OR UNLIMITED 2.3
GROUND	ASSEMBLY A-2	±3,254 SQ. FT.	6,000 SQ. FT.	N/A	6,000 SQ. FT.

- Frontage area increases from Section 506.3 are computed thus:
a. Perimeter which fronts a public way or open space having 20 feet minimum width = N/A (F)
b. Total Building Perimeter = N/A (P)
c. Ratio (F/P) = N/A (F/P)
d. W = Minimum width of public way = N/A (W)
- Percent of frontage increase If = $100(F/P - 0.25) \times W/30 = N/A$ (%)
- Unlimited area applicable under conditions of Section 507.
- Maximum Building Area = total number of stories in the building x D (maximum 3 stories) (506.2).
- The maximum area of open parking garages must comply with Table 406.5.4.
- Frontage increase is based on the unsprinklered area value in Table 506.2.

ALLOWABLE HEIGHT

	ALLOWABLE	SHOWN ON PLANS	CODE REFERENCE 1
Building Height in Feet (Table 504.3) 2	40'-0"	±18'-0"	504.2
Building Height in Stories (Table 504.4) 3			

- Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4.
- The maximum height of air traffic control towers must comply with Table 412.3.1.
- The maximum height of open parking garages must comply with Table 406.5.4.

FIRE PROTECTION REQUIREMENTS

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	RATING REQ'D	PROVIDED (W/REDUCTION)	DETAIL # AND SHEET #	DESIGN # FOR RATED ASSEMBLY	SHEET # FOR RATED PENETRATION	SHEET # FOR RATED JOINTS
Structural Frame, including columns, girders, trusses							
Bearing Walls	N/A	0	N/A	N/A	N/A	N/A	N/A
Exterior							
North	N/A	0	0	N/A	N/A	N/A	N/A
East	N/A	0	0	N/A	N/A	N/A	N/A
West	N/A	0	0	N/A	N/A	N/A	N/A
South	N/A	0	0	N/A	N/A	N/A	N/A
Interior							
Nonbearing Walls and Partitions							
Exterior walls	>30'	0	0	N/A	N/A	N/A	N/A
North	>30'	0	0	N/A	N/A	N/A	N/A
East	>30'	0	0	N/A	N/A	N/A	N/A
West	>30'	0	0	N/A	N/A	N/A	N/A
South	>30'	0	0	N/A	N/A	N/A	N/A
Interior walls and partitions	N/A	0	0	N/A	N/A	N/A	N/A
Floor Construction							
Including supporting beams and joists	0	0	0	N/A	N/A	N/A	N/A
Floor Ceiling Assembly	0	0	0	N/A	N/A	N/A	N/A
Columns Supporting Floor	0	0	0	N/A	N/A	N/A	N/A
Roof Construction, including supporting beams and joists	0	0	0	N/A	N/A	N/A	N/A
Roof Ceiling Assembly	0	0	0	N/A	N/A	N/A	N/A
Columns Supporting Roof	0	0	0	N/A	N/A	N/A	N/A
Shaft Enclosures - Ext	0	0	0	N/A	N/A	N/A	N/A
Shaft Enclosures - Other	0	0	0	N/A	N/A	N/A	N/A
Corridor Separation	0	0	0	N/A	N/A	N/A	N/A
Occupancy/Fire Barrier Separation	0	0	0	N/A	N/A	N/A	N/A
Party/Fire Wall Separation	0	0	0	N/A	N/A	N/A	N/A
Smoke Barrier Separation	0	0	0	N/A	N/A	N/A	N/A
Smoke Partitions	0	0	0	N/A	N/A	N/A	N/A
Tenant/Dwelling Unit/Sleeping Unit Separation	0	0	0	N/A	N/A	N/A	N/A
Incidental Use Separation	0	0	0	N/A	N/A	N/A	N/A

* Indicate section number permitting reduction

PERCENTAGE OF WALL OPENING CALCULATIONS

FIRE SEPARATION DISTANCE (FEET) FROM PROPERTY LINES	DEGREE OF OPENINGS PROTECTION (TABLE 705.8)	ALLOWABLE AREA (%)	ACTUAL SHOWN ON PLANS (%)
N/A	N/A	N/A	N/A

LIFE SAFETY SYSTEM REQUIREMENTS

Emergency Lighting: No Yes
Exit Signs: No Yes
Fire Alarm: No Yes
Smoke Detection System: No Yes Partial HVAC (DUCT DETECTION)
Carbon Monoxide Detection: No Yes

LIFE SAFETY PLAN REQUIREMENTS EXISTING TO REMAIN

- Life Safety Plan Sheet #: _____
- Fire and/or smoke rated wall locations (Chapter 7)
 - Assumed and real property line locations (if not on the site plan)
 - Exterior wall opening area with respect to distance to assumed property lines (505.8)
 - Occupancy Use for each area as it relates to occupant load calculation (Table 1004.1.2)
 - Occupant loads for each area
 - Exit access travel distances (1017)
 - Common path of travel distances (Tables 1006.2.1 & 1006.3.2(1))
 - Dead end lengths (1020.4)
 - Clear exit widths for each exit door
 - Maximum calculated occupant load capacity, each exit door can accommodate based on egress width (1005.3)
 - Actual occupant load for each exit door
 - A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation
 - Location of doors with panic hardware (1010.1.10)
 - Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)
 - Location of doors with electromagnetic egress locks (1010.1.9.9)
 - Location of doors equipped with hold-open devices
 - Location of emergency escape windows (1030)
 - The square footage of each fire area (202)
 - The square footage of each smoke compartment for Occupancy Classification I-2 (407.5)
 - Note any code exceptions or table notes that may have been utilized regarding the items above

ACCESSIBLE DWELLING UNITS
(SECTION 1107)

TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE A UNITS REQUIRED	TYPE A UNITS PROVIDED	TYPE B UNITS REQUIRED	TYPE B UNITS PROVIDED	TOTAL ACCESSIBLE UNITS PROVIDED
N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A

ACCESSIBLE PARKING
(SECTION 1106) EXISTING TO REMAIN NO CHANGE

LOT OR PARKING AREA	TOTAL # OF PARKING SPACES REQUIRED	TOTAL # OF PARKING SPACES PROVIDED	# OF ACCESSIBLE SPACES PROVIDED			TOTAL # ACCESSIBLE SPACES PROVIDED
			REGULAR WITH 5' ACCESS AISLE	132" ACCESS AISLE	8' ACCESS AISLE	
TOTAL						

PLUMBING FIXTURE REQUIREMENTS
(TABLE 2902.1) EXISTING TO REMAIN NO CHANGE

SPACE	EXISTING	WATERCLOSETS			URINALS		LAVATORIES		SHOWERS / TUBS	DRINKING FOUNTAINS	
		MALE	FEMALE	UNSEX	MALE	FEMALE	REGULAR	ACCESSIBLE			
NEW	0	0	0	0	0	0	0	0	0	0	0
REMAINING	0	0	0	0	1	1	0	0	0	0	0

SPECIAL APPROVALS

Special approval: (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, etc., describe below)

ENERGY SUMMARY EXISTING TO REMAIN NO CHANGE

The following data shall be considered minimum and any special attributes required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.

Existing building envelope complies with code: No Yes (The remainder of this section is not applicable)

Exempt Building: No Yes (Provide code or statutory reference): _____

Climate Zone: 3A 4A 5A

Method of Compliance: Energy Code Performance Prescriptive Com-Check
ASHRAE 90.1 Performance Prescriptive Com-Check
(If "Other" specify source here)

THERMAL ENVELOPE (Prescriptive method only)

Roof/ceiling Assembly (each assembly)
Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____
Skylights in each assembly: _____
U-Value of skylight: _____
total square footage of skylights in each assembly: _____

Exterior Walls (each assembly)
Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____
Openings (windows or doors with glazing)
U-Value of assembly: _____
Solar heat gain coefficient: _____
Shading factor: _____
Door R-Values: _____

Walls below grade (each assembly)
Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____

Floors over unconditioned space (each assembly)
Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____

Floors slab on grade
Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____
Horizontal/vertical requirement: _____
slab heated: _____

**2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS**
STRUCTURAL DESIGN
(PROVIDE ON THE STRUCTURAL SHEETS IF APPLICABLE)

DESIGN LOADS:

Importance Factors: Snow (IS) _____
Seismic (IE) _____

Live Loads: Roof _____ psf
Mezzanine _____ psf
Floor _____ psf

Ground Snow Load: _____ psf

Wind Load: Ultimate Wind Speed _____ mph (ASCE-7)
Exposure Category _____

SEISMIC DESIGN CATEGORY: B C D

Provide the following Seismic Design Parameters:
Risk Category (Table 1604.5) I II III IV
Spectral Response Acceleration SS _____ %g S1 _____ %g

Site Classification (ASCE 7) A B C D E F

Data Source: Field Test Presumptive Historical Data
Basic structural system Bearing Wall Dual w/Special Moment Frame
 Building Frame Dual w/Intermediate R/C or Special Steel
 Moment Frame Inverted Pendulum

Analysis Procedure: Simplified Equivalent Lateral Force Dynamic
Architectural, Mechanical, Components anchored? Yes No

LATERAL DESIGN CONTROL: Earthquake Wind

SOIL BEARING CAPACITIES:
Field Test (provide copy of test report) _____ psf
Presumptive Bearing capacity _____ psf
Pile size, type, and capacity _____

**2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS**
MECHANICAL DESIGN
(PROVIDE ON THE MECHANICAL SHEETS IF APPLICABLE)

MECHANICAL SUMMARY

MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT

Thermal Zone
winter dry bulb: _____
summer dry bulb: _____

Interior design conditions
winter dry bulb: _____
summer dry bulb: _____
relative humidity: _____

Building heating load: _____

Building cooling load: _____

Mechanical Space Conditioning System

Unit:
Description of unit: _____
heating efficiency: _____
cooling efficiency: _____
size category of unit: _____

Boiler
Size category, if oversized, state reason: _____

Chiller
Size category, if oversized, state reason: _____

List equipment efficiencies: _____

**2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS**
ELECTRICAL DESIGN
(PROVIDE ON THE ELECTRICAL SHEETS IF APPLICABLE)

ELECTRICAL SUMMARY

ELECTRICAL SYSTEM AND EQUIPMENT

Method of Compliance: Energy Code Performance Prescriptive
ASHRAE 90.1 Performance Prescriptive

Lighting schedule (each fixture type)
Lamp type required in fixture _____
number of lamps in fixture _____
ballast type used in the fixture _____
number of ballasts in fixture _____
total wattage per fixture _____
total interior wattage specified vs. allowed (whole building or space by space) _____
total exterior wattage specified vs. allowed

Additional Efficiency Package Options
(When using the 2018 NCECC, not required for ASHRAE 90.1)

- C406.2 More Efficient HVAC Equipment Performance
- C406.3 Reduced Lighting Power Density
- C406.4 Enhanced Digital Lighting Controls
- C406.5 On-Site Renewable Energy
- C406.6 Dedicated Outdoor Air System
- C406.7 Reduced Energy Use in Service Water Heating

NRD Project # 22300.14

NATIONAL RESTAURANT DESIGNERS
A DIVISION OF LHM ASSOCIATES
7208 ACC BLVD, 2ND FLOOR,
RALEIGH, NC 27617
Phone: 919.242.0087 Fax: 919.544.8999

REGISTERED ARCHITECT
3177
GLEN R. LEHMANN

7/12/23

Hardee's
HARDEE'S OF OLIVA #1658
DIGITAL MENU BOARD UPDATES
5184 NC 87 NORTH
SANFORD, NC 27332

OWNER:
BODDIE-NOELL
ENTERPRISES, INC.
P.O. BOX 1908
ROCKY MOUNT, N.C.
27802-1908
(252) 937-2800

BN

NO.	REVISIONS	DATE
	DESCRIPTION	

DRAWN BY _____ CHECKED BY _____

APPENDIX B

DATE: 7-12-2023

SHEET NUMBER:

T-2



NORTH ↑

NO.	DESCRIPTION	DATE

DRAWN BY: _____ CHECKED BY: _____

ARCHITECTURAL
 SITE PLAN

DATE:
 7-12-2023

SHEET NUMBER:
AS-1

NO.	REVISIONS	DATE

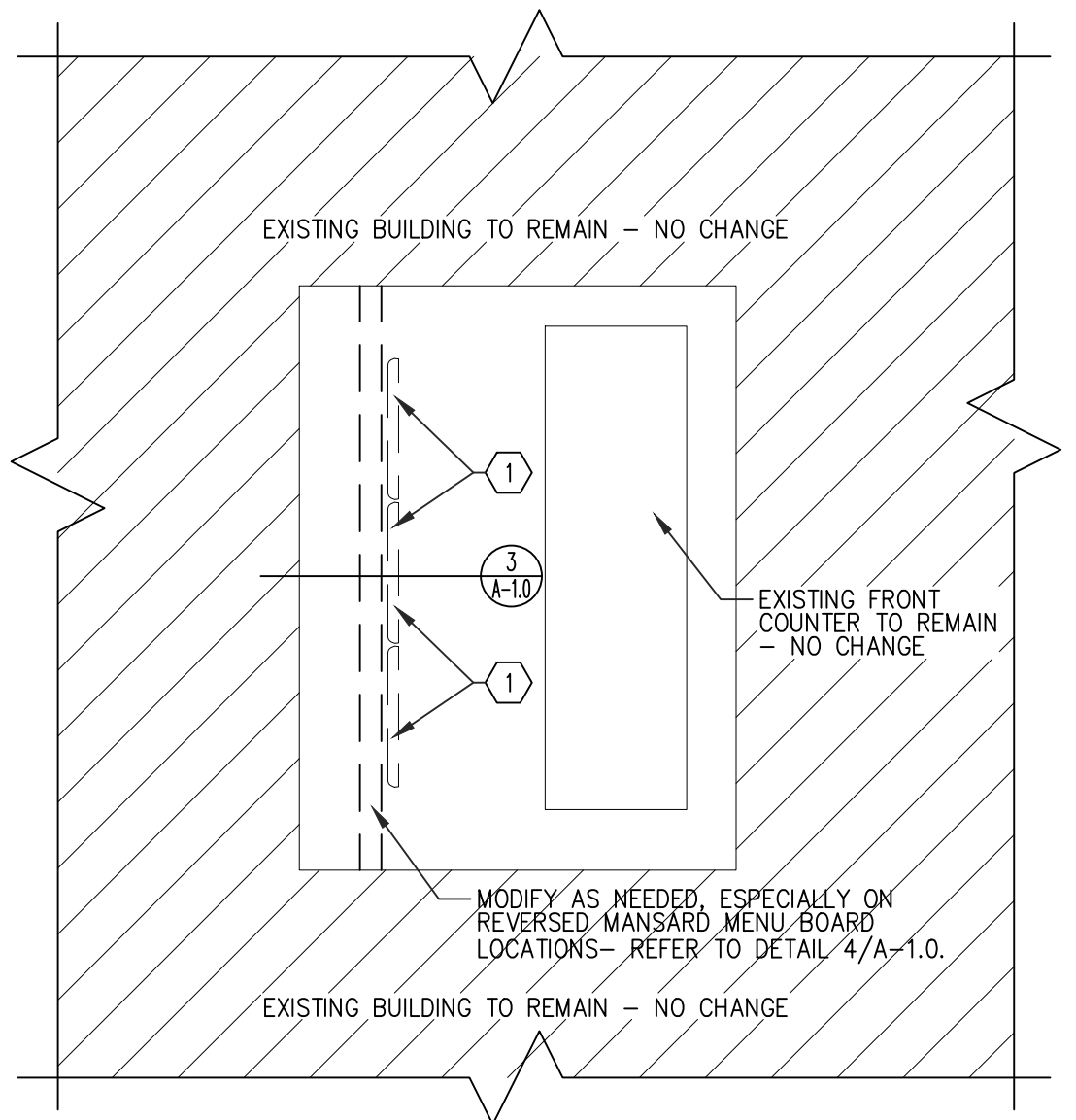
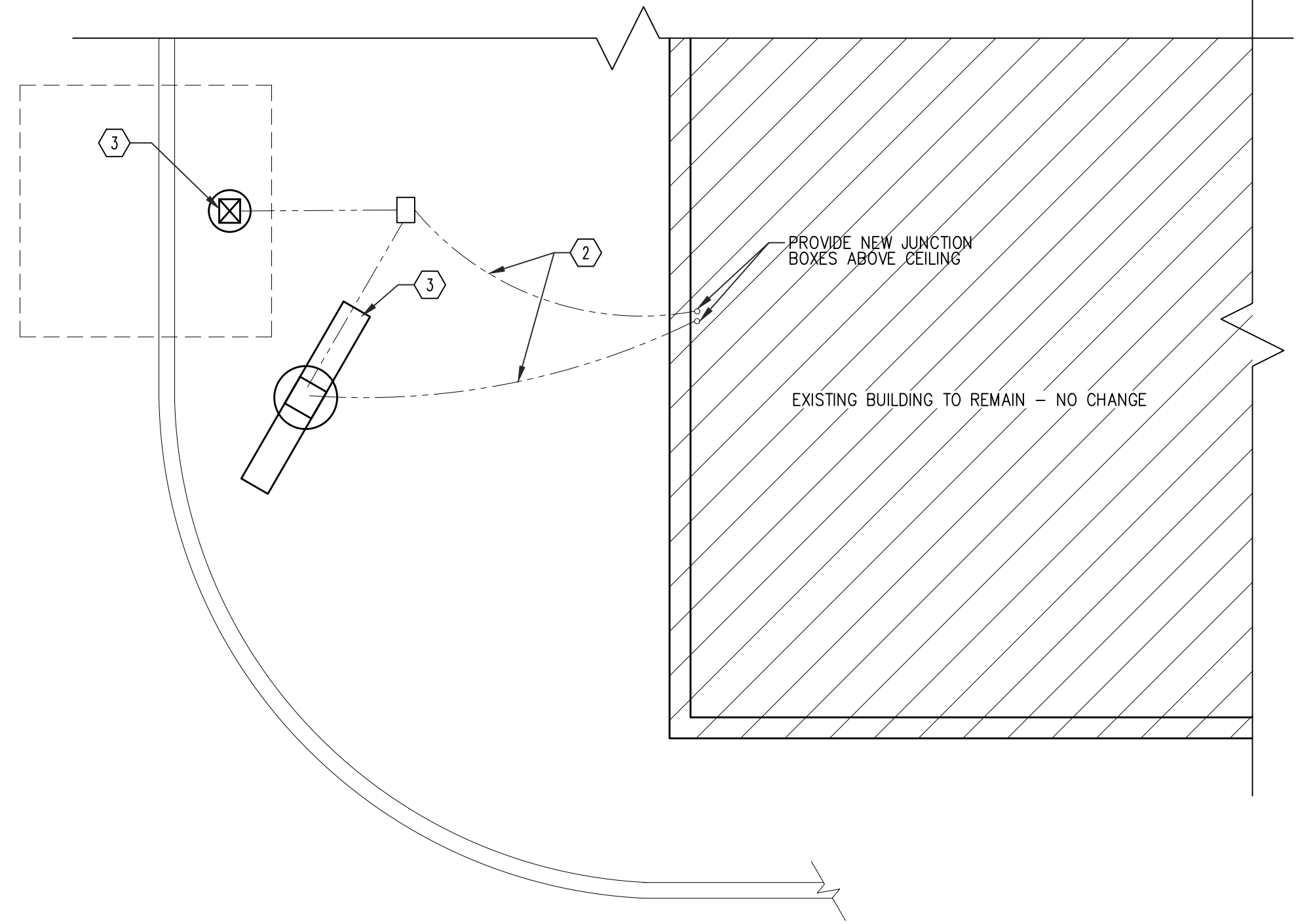
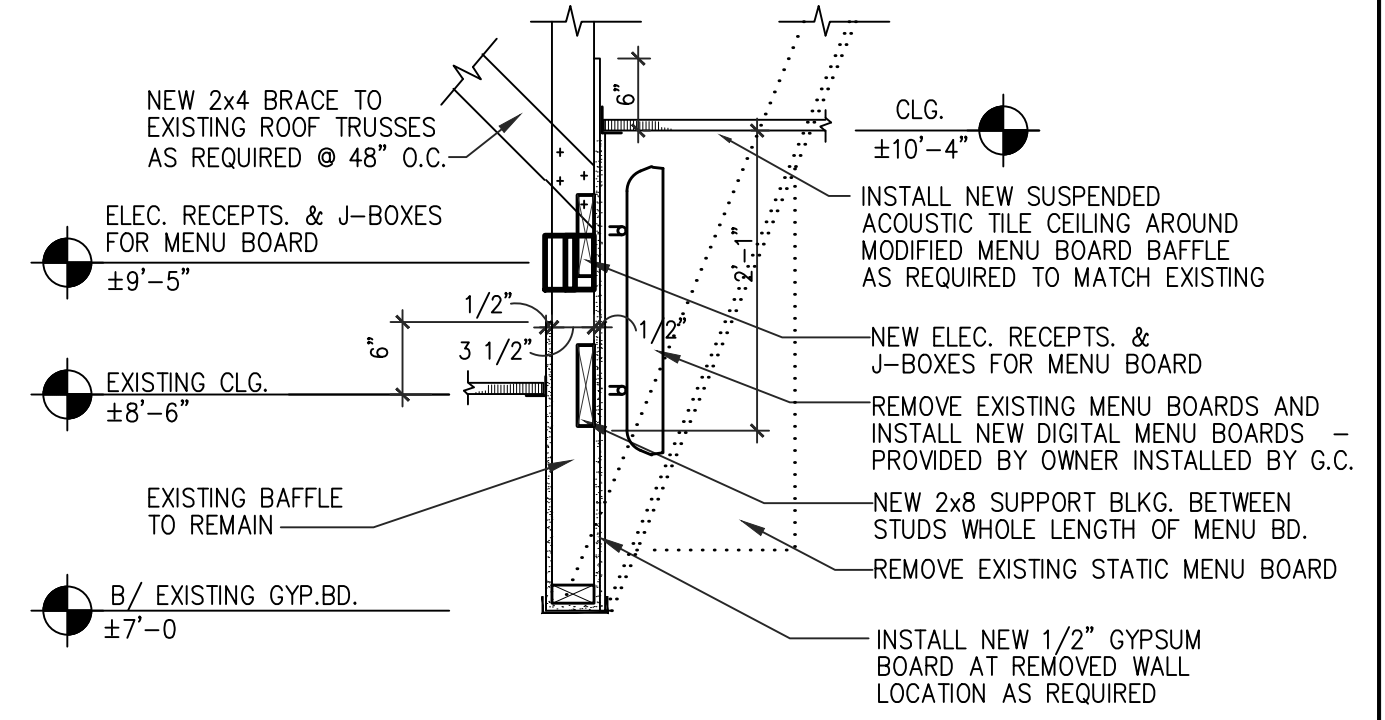
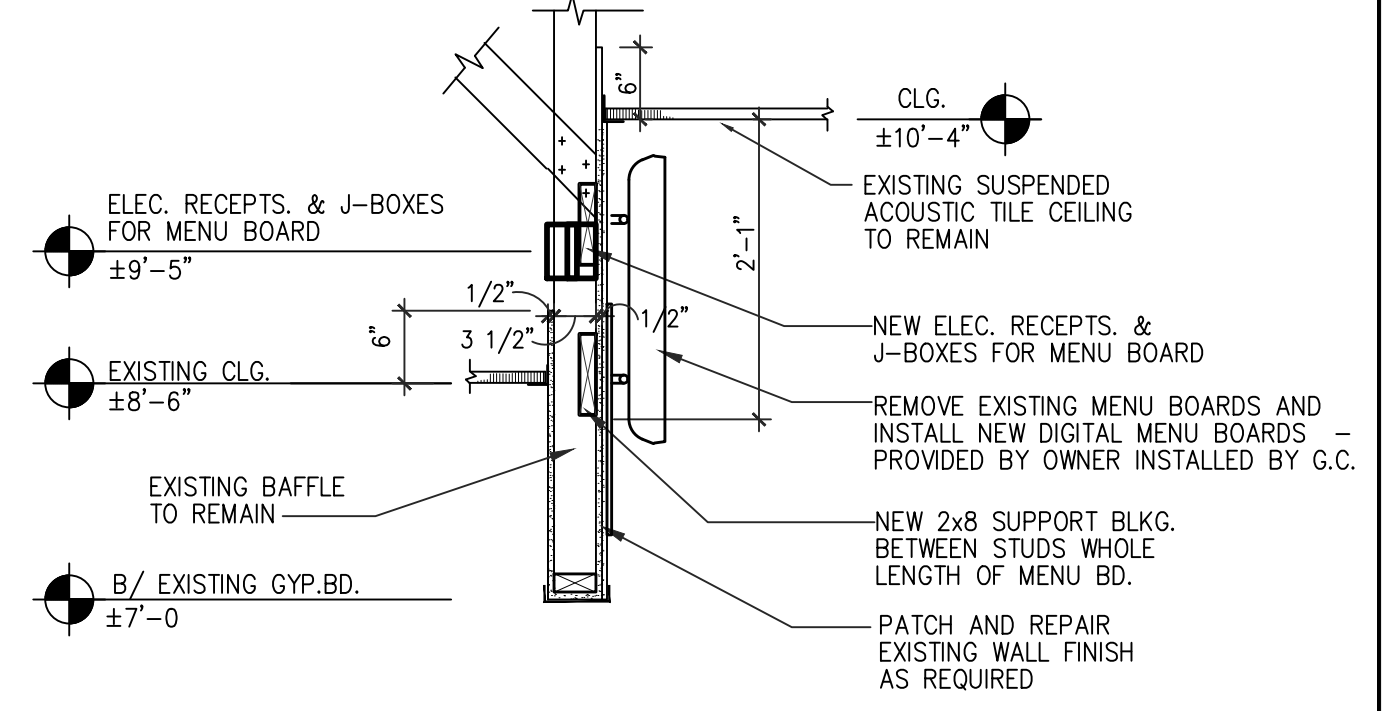
DRAWN BY: _____ CHECKED BY: _____

CONSTRUCTION PLAN

DATE: 7-12-2023

SHEET NUMBER:

A-1



- NOTE:**
- BUILDING FOOTPRINT IS NOT CHANGING.
 - IF INTERIOR DIGITAL MENU BOARD ARE NOT INSTALLED- REMOVE EXISTING INTERIOR MENU BOARDS AND INSTALL NEW DIGITAL MENU BOARDS- ADD ELECTRICAL RECEPTACLE AND DATA JUNCTION BOX FOR NEW DIGITAL MENU BOARDS AS REQUIRED. G.C. SHALL PROVIDE NEW DEDICATED 20 AMP CIRCUIT WITH #12 WIRE AND 1" CONDUIT - COORDINATE WITH EXISTING PANEL AS REQUIRED.
 - (1) 1" CONDUIT FOR POWER AND (1) 2" CONDUIT FOR DATA FROM ABOVE CEILING IN BUILDING AT BACK BUILDING WALL TO NEW MENU BOARD LOCATION - REFER TO DETAIL 4/A-2.0.
 - GENERAL CONTRACTOR SHALL DEMO EXISTING MENU BOARD AND SPEAKER POST. COORDINATE WITH OWNER ON EXACT LOCATION OF NEW DIGITAL MENU BOARD, COVERED D/T CANOPY/SPEAKER POST AND EXTEND POWER/CONDUITS TO NEW LOCATIONS. G.C. SHALL PROVIDE NEW FOUNDATIONS AND EXTEND POWER/CONDUITS AS REQUIRED. REFER TO DETAILS 1 AND 2/A-2.0 AND 1/A-2.1. NEW EQUIPMENT SHALL BE PROVIDED BY OWNER AND INSTALLED BY GENERAL CONTRACTOR.

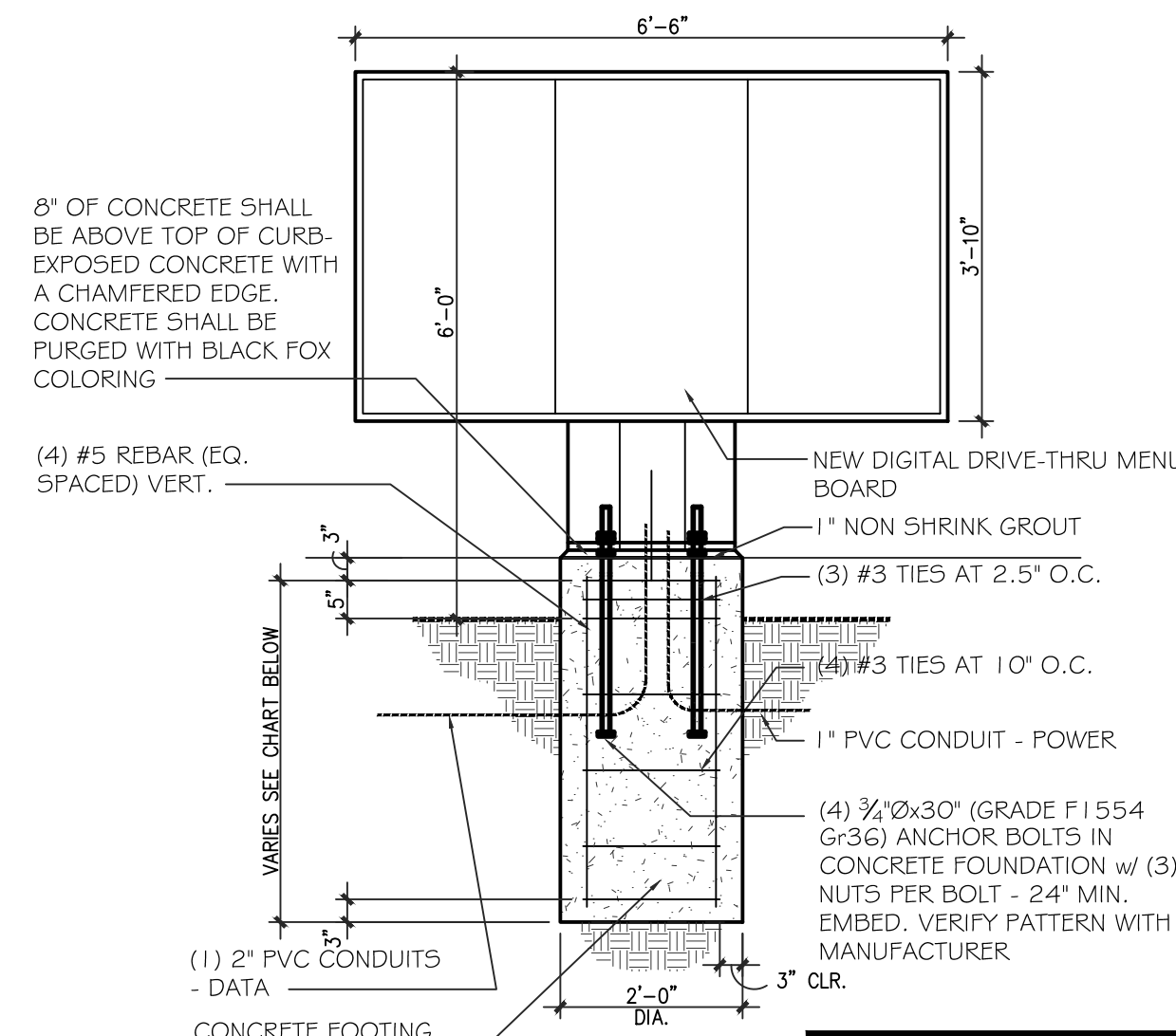
CONSTRUCTION PLAN

SCALE: 1/4" = 1'-0" **2**

CONSTRUCTION NOTES

SCALE: N.T.S. **1**

ENCLOSURE MEASUREMENTS
 WIDTH: 78"
 HEIGHT (INCLUDING BASE): 64"
 BASE WIDTH: 22"
 BASE HEIGHT: 17 3/4"
 BASE DEPTH: 14 1/8"
 WEIGHT:
 TOTAL IS APPROX. 65LB WITH THE DISPLAYS



WIND LOADS	FOUNDATION DEPTH
90 MPH (ASCE-7-05) 115 MPH (ASCE-7-10)	4'-0"
120 MPH (ASCE-7-05) 153 MPH (ASCE-7-10)	5'-0"
150 MPH (ASCE-7-05) 192 MPH (ASCE-7-10)	5'-9"

INSTALLATION PROCEDURE MENU BD. SUPPLIED BY OWNER.

GENERAL CONTRACTOR IS TO:
 1. EXCAVATE AND POUR THE FOUNDATION.

ELECTRICAL CONTRACTOR IS TO:
 2. INSTALL POWER WIRING TO BASE AND MAKE FINAL ELECTRICAL CONNECTION.

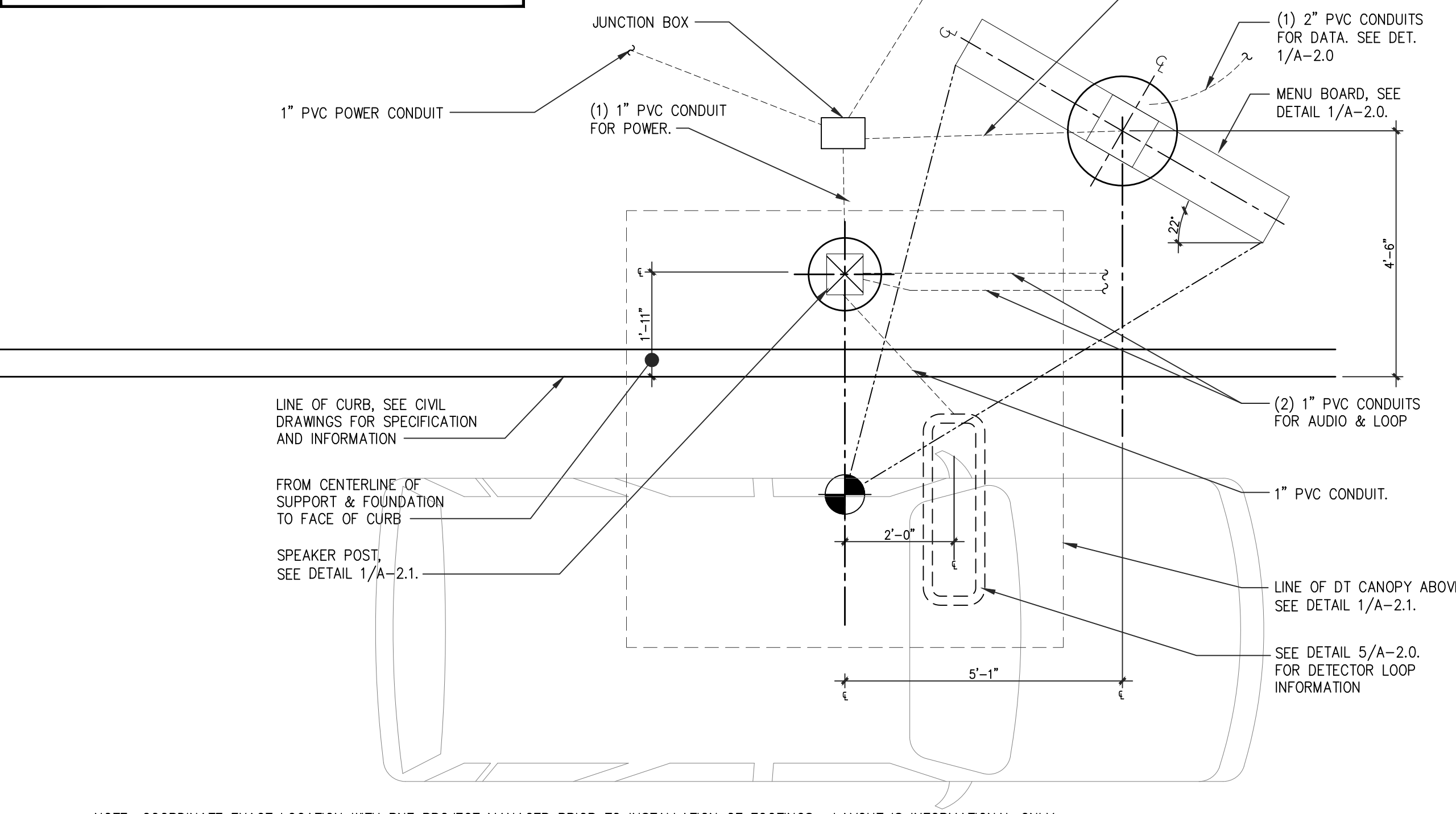
GENERAL CONTRACTOR:
 3. INSTALL MENU BD.

DRIVE THRU DIGITAL MENU BOARD

SCALE: 1/2" = 1'-0" 1

INSTALLATION NOTES:
 1. EXTEND EXISTING POWER CONDUITS AND CONDUCTORS AS REQUIRED FROM EXISTING MENU BOARD, PREVIEW BOARD, AND SPEAKER POST TO NEW LOCATIONS USING 2#12 CU, #12 CU GND, IN 1" CE. REUSE EXISTING BREAKERS IN EXISTING PANEL.

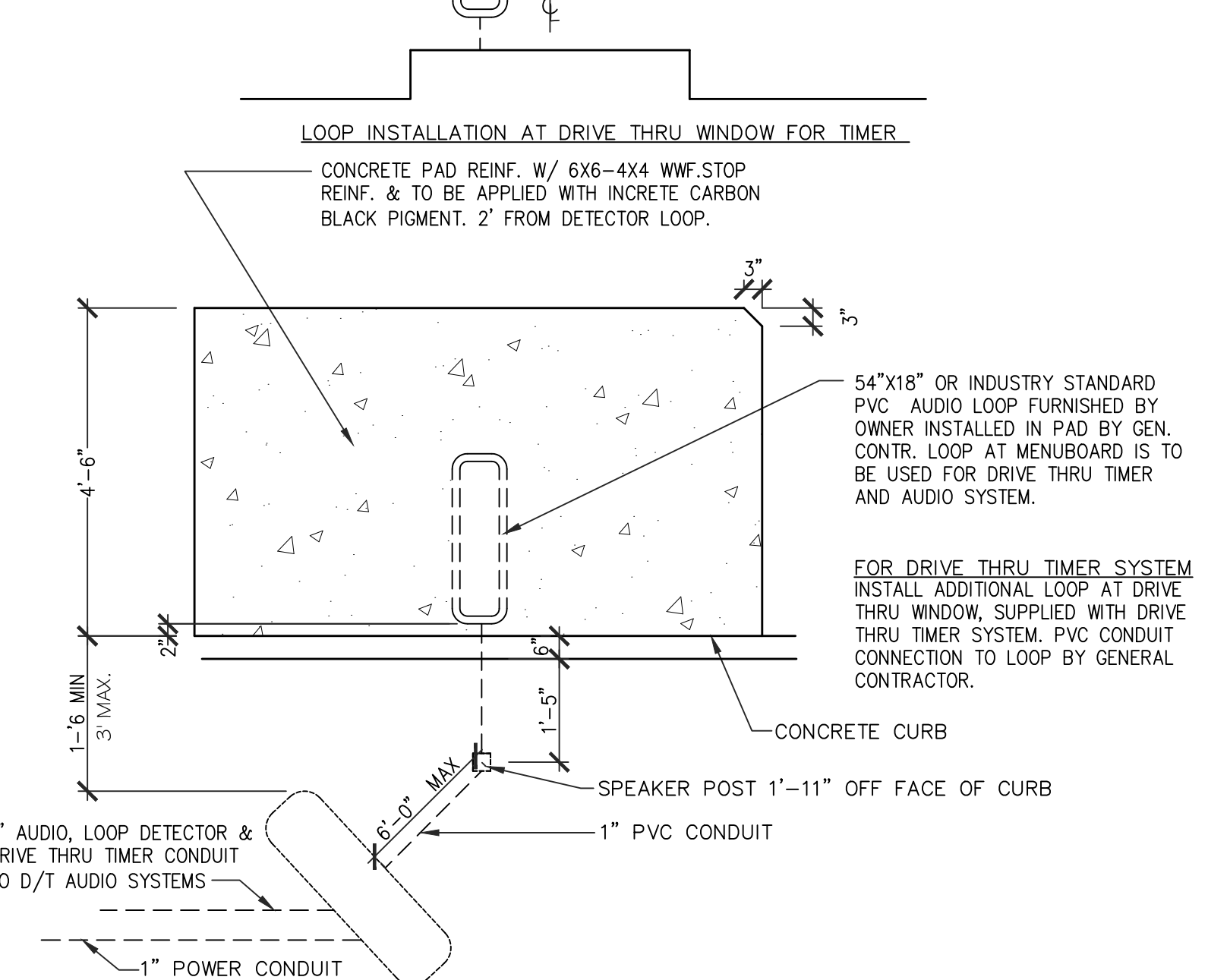
2. REMOVE EXISTING MENU BOARD AND SPEAKER POST AND INSTALL NEW. REMOVE AND SAVE EXISTING PREVIEW BOARD FOR REUSE. (COORDINATE WITH PROJECT MANAGER)



MENUBOARD LAYOUT • DRIVETHRU

SCALE: 1/2" = 1'-0" 4

DRIVE THRU TIMER NOTES
 1. CUT BACK ALL WIRE MESH AND REBAR AT LEAST 24" FROM LOOP.
 2. NO METAL TO RUN WITHIN 24" OF GROUND LOOP, ESPECIALLY SEWER, DRAIN AND WATER PIPES.
 3. GROUND LOOP MUST NOT BE BURIED MORE THAN 2" DEEP IN THE CONCRETE.
 4. LONG SIDES OF THE LOOP TO BE AT RIGHT ANGLES TO THE CURB OF THE DRIVE.
 5. LOOPS AT DRIVE THRU WINDOW TO HAVE DRIVE THRU TIMER CONDUIT ONLY.



DETECTOR LOOP SCHEMATIC

SCALE: 1/2" = 1'-0" 5

GENERAL

- WHERE A SECTION OR DETAIL IS SHOWN FOR ONE CONDITION, IT SHALL APPLY TO ALL LIKE AND SIMILAR CONDITIONS.
- SHOP DRAWINGS: THE CONTRACTOR SHALL COORDINATE THE CIVIL AND ELECTRICAL REQUIREMENTS WITH THE FOUNDATION PLAN/DRAWINGS INCLUDING THE LOCATION OF MISCELLANEOUS ITEMS AFFECTING THE STRUCTURAL WORK. PROMPTLY NOTIFY THE ENGINEER OF ANY DISCREPANCIES/CONFLICTS OR OMISSIONS.
- THE SHOP DRAWINGS SHALL BE REVIEWED BY THE CONTRACTOR AND SUBCONTRACTOR PRIOR TO BEING SUBMITTED TO THE ENGINEER FOR APPROVAL.
- SPECIAL INSPECTIONS: NOT REQUIRED.

FOUNDATIONS

- SOIL DESIGN BEARING VALUE - 2000 PSF (TO BE FIELD VERIFIED IF QUESTIONABLE)
- FOUNDATIONS SHALL BE PLACED ONLY ON APPROVED NATURAL UNDISTURBED SOIL STRATA OR ON PROPERLY PLACED ENGINEERED CONTROLLED COMPACTED FILL UNDER THE SUPERVISION OF THE GEOTECHNICAL LABORATORY.
- FOOTING EXCAVATIONS SHALL BE APPROVED BY THE PROJECT ENGINEER OR, IF SO DIRECTED, BY A GEOTECHNICAL LABORATORY PRIOR TO PLACING FOOTING CONCRETE. IF PERFORMED BY A GEOTECHNICAL ENGINEER, THE GEOTECHNICAL LABORATORY/ENGINEERS SHALL PROVIDE RESULTS OF DCP TESTS TO ENGINEER FOR VERIFICATION AND RECORD.
- THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO PREVENT STORMWATER FROM ENTERING FOUNDATION EXCAVATIONS. ALL WATER SHALL BE REMOVED BEFORE DEPOSITING CONCRETE. CONCRETE SHALL NOT BE PLACED ON SOFT, SATURATED SOIL.

CONCRETE

- CONCRETE SHALL DEVELOP THE FOLLOWING MINIMUM COMPRESSIVE STRENGTHS AT 28 DAYS:
 A) FOOTINGS - 3000 PSI
 B) PEDESTALS - 3000 PSI
- CONCRETE FOR FOOTINGS/PEDESTALS, SHALL BE REGULAR STONE CONCRETE.
- ALL CONCRETE WORK SHALL CONFORM TO "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE," ACI 318.
- OBSERVE ALL AND STRICTLY FOLLOW ALL ACI 305 AND 306 REQUIREMENTS RESPECTIVELY FOR PROTECTION OF CONCRETE IN HOT AND COLD WEATHER.
- ALL CONCRETE WORK SHALL BE PROPERLY CURED IN CONFORMANCE WITH ACI 308.
- CHAMFER EXPOSED EDGES AND CORNERS OF CONCRETE 1" UNLESS OTHERWISE NOTED.
- THE SLUMP OF CAST-IN-PLACE CONCRETE SHALL NOT EXCEED 4 INCHES WITHOUT A HIGH RANGE WATER REDUCING ADMIXTURE. THE SLUMP OF CAST-IN-PLACE CONCRETE WITH THE USE OF A HIGH RANGE WATER REDUCING ADMIXTURE SHALL NOT EXCEED 8 INCHES. ALL CONCRETE EXPOSED TO WEATHER SHALL BE AIR-ENTRAINED 5% (TO MAXIMUM OF 7%), ENTRAPPED AIR SHALL NOT EXCEED 3%.
- STEEL CLEARANCES: SEE REINFORCING STEEL, ITEM 4.

REINFORCED STEEL

- BARS SHALL BE ROLLED FROM NEW BILLET-STEEL CONFORMING TO "SPECIFICATION FOR DEFORMED BILLET-STEEL BARS FOR CONCRETE REINFORCEMENT," ASTM A615, GRADE 60.
- DETAIL AND FABRICATE REINFORCING STEEL IN ACCORDANCE WITH "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES," ACI 315.
- REINFORCING STEEL SHALL BE IN PLACE AND REVIEWED BY THE PROJECT ENGINEER PRIOR TO PLACING CONCRETE.
- UNLESS OTHERWISE NOTED ON THE DRAWINGS REBAR SHALL HAVE THE FOLLOWING MINIMUM CLEARANCES FROM THE FACE OF CONCRETE.
 A) FOOTINGS - 3" WITH EARTH FORMS; 2" WITH REMOVABLE FORMS.
 B) PEDESTALS - 2" TO TIES
- SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION.

GROUT

- PROVIDE NON-SHRINK, NON-METALLIC PRE-MIXED GROUT UNDER ALL COLUMN BASE PLATES. GROUT SHALL HAVE A COMPRESSIVE STRENGTH OF 7,000 PSI @ 7 DAYS. NON-SHRINK GROUT SHALL BE IN ACCORDANCE WITH CRD-C621 SPECIFICATIONS, AND SHALL BE NON-CORROSIVE, NON-STAINING AND NON-METALLIC, PREMIXED PRODUCT.

DESIGN CRITERIA AND GOVERNING NOTES:

- CONFORM TO THE REQUIREMENTS OF LATEST STATE AND LOCAL CODES, AS APPLICABLE.
- 2010 EDITION OF THE AMERICAN SOCIETY OF CIVIL ENGINEERS (ASCE 7-10), "MINIMUM LOADS FOR BUILDINGS AND OTHER STRUCTURES."
- THIRTEENTH EDITION OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC), "STEEL CONSTRUCTION MANUAL."
- LATEST EDITION OF THE AMERICAN CONCRETE INSTITUTE (ACI 318), "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE."
- LATEST EDITION OF THE AMERICAN STANDARDS OF TESTING OF MATERIALS (ASTM), "STANDARDS IN BUILDING CODES", VOLUME I AND II.
- LATEST EDITION OF THE AMERICAN WELDING SOCIETY (AWS), "STRUCTURAL WELDING CODE."
- LATEST EDITION OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS.

DIMENSIONS

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING ALL DIMENSIONS IN THE DRAWINGS AND ADVISING THE ENGINEER OF ANY DIFFERENCES IN THE DIMENSIONS ON THE DRAWINGS PRIOR TO COMMENCING CONSTRUCTION.
- FIELD VERIFY THE BASE PLATE TEMPLATE DIMENSIONS BEFORE SETTING ANCHOR BOLTS.

EXISTING CONDITIONS

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING ALL EXISTING JOB CONDITIONS. ANY ADVERSE EXISTING CONDITIONS AFFECTING WORK SHOWN ON THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR POSSIBLE CLARIFICATION OF RECONCILIATION.

CONSTRUCTION SAFETY

- THESE DRAWINGS DO NOT CONTAIN THE REQUIREMENTS FOR JOB SAFETY. ALL PROVISIONS FOR SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

PRE-ORDER MENU BOARD AND MENU BOARD GENERAL NOTES

SCALE: N.T.S. 6

NATIONAL RESTAURANT DESIGNERS
 A DIVISION OF LHM ASSOCIATES
 7208 ACC BLVD, 2ND FLOOR,
 RALEIGH, NC 27617
 Phone: 919.844.0087 Fax: 919.844.9999

REGISTERED ARCHITECT
 3177
 7/12/23

Hardee's
 HARDEE'S OF OLIVIA #1658
 DIGITAL MENU BOARD UPDATES
 5184 NC 87 NORTH
 SANFORD, NC 27332

OWNER:
 BODDIE-NOELL ENTERPRISES, INC.
 P.O. BOX 1908
 ROCKY MOUNT, N.C. 27802-1908
 (252) 937-2800

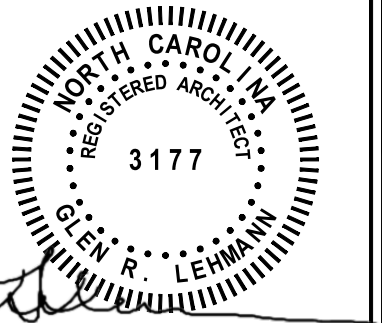
NO.	REVISIONS DESCRIPTION	DATE

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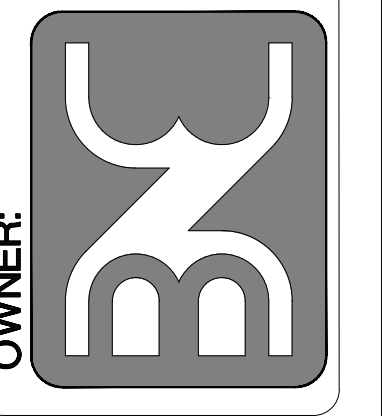
DRIVE-THRU DETAILS

DATE: 7-12-2023

SHEET NUMBER: **A-2.0**



7/12/23



NO.	REVISIONS	DESCRIPTION	DATE

DRAWN BY: _____ CHECKED BY: _____

DRIVE-THRU CANOPY

DATE: 7-12-2023

SHEET NUMBER:

A-2.1

