

*Each section below must be filled out by whoever is performing the work. Must be owner or licensed contractor. Address, company name & phone must match information on state license.

Application # _____
Harnett County Central Permitting
420 McKinney Pkwy Lillington, NC 27546
PO Box 65 Lillington, NC 27546
910-893-7625 ext. 1 Fax 910-893-2793 www.harnett.org/permits
COMMERCIAL

Application for Building and Trades Permit

Owner's Name: FAIRWAY POINT, LLC Date: 6/8/2023
Site Address: GALLERY DR. SPRING LAKE, NC 28390 Phone: 910-580-2425
Directions to Job site from Lillington: FOLLOW NC-27 TO NURSERY RD. TO RAY RD. - CONTINUE TO ANDERSON CREEK DR. AND WHISPERING PINES DR. TO GALLERY DR.

Subdivision: ANDERSON CREEK COUNTRY CLUB Lot: PROPOSED #4
Description of Proposed Work: NEW CONSTRUCTION - 10-UNIT BLDG 2 & 3 BEDS
Heated SF 18509 Unheated SF 2050
General Contractor Information: Building Cost \$ 1,913,000

H&H CONSTRUCTORS, INC. Telephone 910-580-2425
Building Contractor's Company Name
2919 BREEZEWOOD AVE, #100 Email Address BOYANBENDIT@HUFFFAMILYOFFICE.CO
Address

[Signature] FOR H&H CONSTRUCTORS, INC. License # 31554
Signature of Owner/Contractor/Officer(s) of Corporation

Electrical Contractor Information: Electrical Cost \$ 81,850
Description of Work HIGH VOLTAGE Service Size: _____ Amps #T-Poles 1
CURRENT TECHNOLOGIES ELECTRICAL, LLC. Telephone 919-278-8874
Electrical Contractor's Company Name

911 PAVERSTONE DR. SUITE C, RALEIGH NC 27605 Email Address SAMUEL_CLOYD@YAHOO.COM
Address

[Signature] License # 23963U
Signature of Owner/Contractor/Officer(s) of Corporation

Mechanical Contractor Information: Mechanical Cost \$ 95,400
Description of Work NEW CONSTRUCTION INSTALL # Units 10
ALL SEASONS AIR CONDITIONING AND HEATING, INC. Telephone 910-303-9813
Mechanical Contractor's Company Name

3991 CUMBERLAND RD. FAYETTEVILLE, NC. 28306 Email Address CRSIKES@ALLSEASONSACANDHTG.COM
Address

[Signature] License # 11972
Signature of Owner/Contractor/Officer(s) of Corporation

Plumbing Contractor Information: Plumbing Cost \$ 107,848
Description of Work NEW CONSTRUCTION INSTALL # Baths 20
VAUCE JOHNSON PLUMBING COMPANY, INC. Telephone 910-424-6712
Plumbing Contractor's Company Name

3242 MID PINE RD, FAYETTEVILLE, NC. 28306 Email Address JBLEACHER@VSPUMBING.COM
Address

[Signature] License # 07756-P1
Signature of Owner/Contractor/Officer(s) of Corporation

Insulation Contractor Information
TRICITY INSULATION & BUILDING PRODUCTS Telephone 910-486-8855
Insulation Contractor's Company Name & Address
OF FAYETTEVILLE - 3154 CAMDEN RD. STE. 1 (TIM GOOWIN)
FAYETTEVILLE, NC 28306

*NOTE: General Contractor must fill out and sign the second page of this application

Sprinkler Contractor Information

SUMMIT FIRE & SECURITY

Sprinkler Contractor's Company Name

1731 ROUND ROCK DR. RALEIGH, NC 27615

Address

Signature of Officer(s) of Corporation

919-872-3250

Telephone

JSTEBILA@SUMMITFIRESECURITY.COM

Email Address

FS29733

License #

Fire Alarm Contractor Information

HOLMES SECURITY SYSTEMS

Fire Alarm Contractor's Company Name

127 HAY STREET, FAYETTEVILLE, NC 28301

Address

Signature of Officer(s) of Corporation

910-483-6922

Telephone

SNHEELER@HOLMSELECTRICSECURITY.COM

Email Address

10174-SP-FA/LV

License #

Driveway Access - NC Department of Transportation Driveway Access/Permit? Yes No

I hereby certify that I have the authority to make necessary application, that the application is correct and that the construction will conform to the regulations in the Building, Electrical, Plumbing and Mechanical codes, and the Harnett County Zoning Ordinance. I state the information on the above contractors is correct as known to me and if any changes occur including listed contractors, site plan, number of bedrooms, building and trade plans, Environmental Health permit changes or proposed use changes, I certify it is my responsibility to notify the Harnett County Central Permitting Department of any and all changes.

Expired Permit Fees - 6 months to 2 years permit re-issue fee is \$150.00. After 2 years re-issue fee is charged at full price per current fee schedule.

FOR H&H CONSTRUCTORS, INC.

6/8/2023

Signature of Owner/Contractor/Officer(s) of Corporation

Date

Affidavit for Worker's Compensation N.C.G.S. 87-14

The undersigned applicant being the:

General Contractor Owner Officer/Agent of the Contractor or Owner

Do hereby confirm under penalties of perjury that the person(s), firm(s) or corporation(s) performing the work set forth in the permit:

Has three (3) or more employees and has obtained workers' compensation insurance to cover them.

Has one (1) or more subcontractors(s) and has obtained workers' compensation insurance to cover them.

Has one (1) or more subcontractors(s) who has their own policy of workers' compensation insurance covering themselves.

Has no more than two (2) employees and no subcontractors.

While working on the project for which this permit is sought it is understood that the Central Permitting Department issuing the permit may require certificates of coverage of worker's compensation insurance prior to issuance of the permit and at any time during the permitted work from any person, firm or corporation carrying out the work.

Company or Name: H&H CONSTRUCTORS, INC.

Sign w/Title:

REGIONAL MGR.

Date: 6/8/2023



Application for Plan Review

Application # _____

Date Received: _____ Received By: _____

Name of Project: FAIRWAY POINT

Physical Address of Project: GALLERY DR. - 10-UNIT BLDG # 4
SPRING LAKE, NC 28390

Plans Submitted By: BRYAN BENDIT

Project Phone: (910)-580-2425

Contact Person/Address: BRYAN BENDIT / H&H CONSTRUCTORS, INC.
2919 BREEZEWOOD AVE, # 100
FAYETTEVILLE, NC 28303

Contact Email: BRYANBENDIT@HUFFFAMILYOFFICE.COM

Contact Phone: (910)-580-2425 (____)-____-____

Contractor's Name/Info: H&H CONSTRUCTORS, INC.
2919 BREEZEWOOD AVE, # 100
FAYETTEVILLE, NC, 28303 - NC LICENSE 31554

Contractor's Phone: (910)-580-2425

- Plans that are submitted will be reviewed as quickly as possible with an average time of review between 7-10 working days.
- Status checks may be conducted on plan reviews by visiting the website <http://htweb.harnett.org/Click2GovBP/Index.jsp> or by calling the Harnett County Central Permitting Office (910-893-7525, Option #2), or the Harnett County Fire Marshal's Office (910-893-7580).
- Approved plans must be picked up from the Central Permitting Office and all fees paid before any required inspections can be conducted.

Harnett Regional Water				2/10/2023		
Date	Type	Reference	Original Amt.	Balance Due	Discount	Payment
2/10/2023	Bill	HRW 02.06.2023	99,135.00	99,135.00		99,135.00
				Check Amount		99,135.00

A

Select Bank - Operati

99,135.00

County of Harnett
Lillington, NC 27546

Receipt 225762

Date 2-14-23

Received from Fairway Point LLC

Address Anderson Creek, Fairway Point \$ 99,135.00

For System Dev Fees Bldgs 445

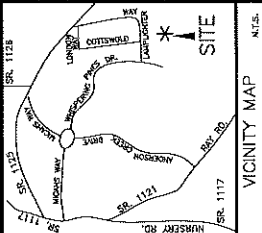
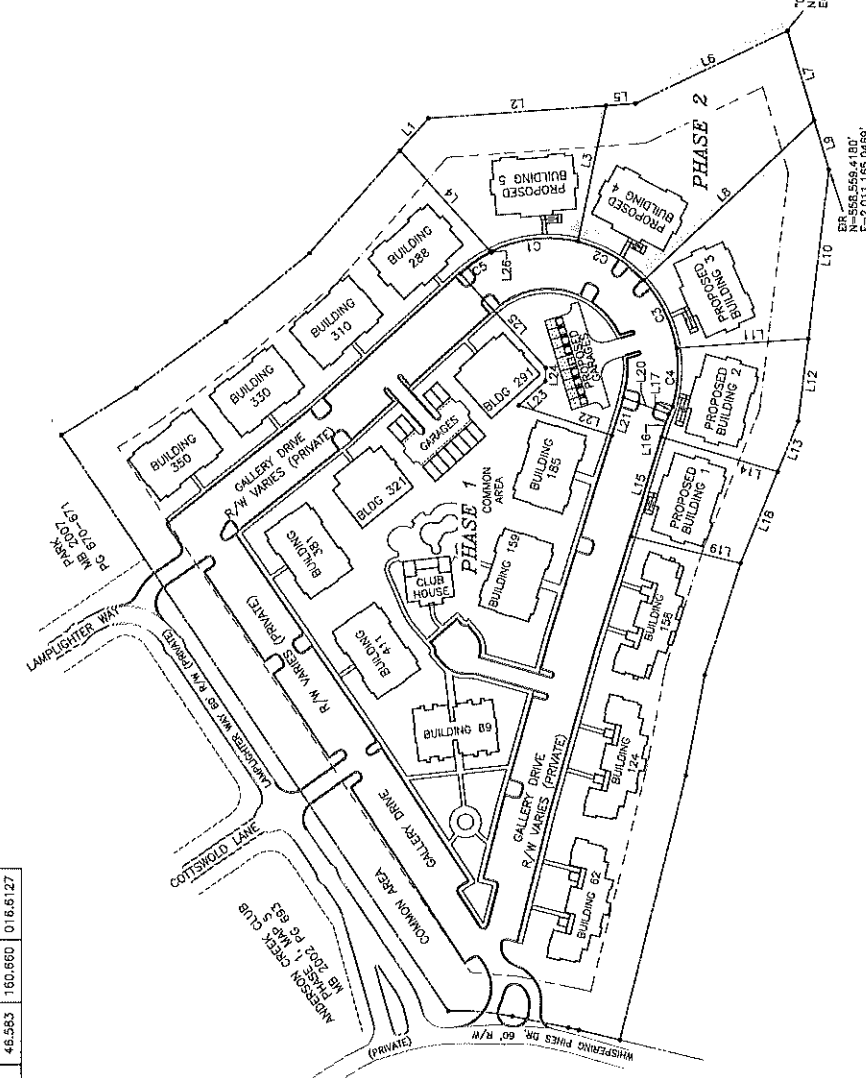
Cash <input type="checkbox"/>	How Paid	11103	By <u>[Signature]</u>
	Check <input checked="" type="checkbox"/>	Money Order <input type="checkbox"/>	

BUILDING #4

AREA INFORMATION
 PHASE 1 - 11.21 AC.
 PHASE 2 - 4.56 AC.
 TOTAL AREA - 15.77 AC.
 ZONING RA-20R

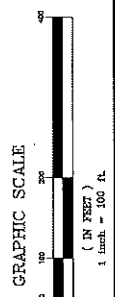
Curve #	Length	Radius	Delta
C1	112.249	182.622	0.39-5482
C2	97.138	182.622	0.34-2240
C3	85.081	182.622	0.33-5028
C4	73.714	182.622	0.25-9713
C5	46.583	180.660	0.16-6127

Line #	Length	Direction
L1	53.390	S48° 14' 10.29"E
L2	222.241	S04° 07' 12.77"E
L3	172.030	S78° 04' 42.23"E
L4	186.175	S48° 04' 10.83"W
L5	37.012	S04° 07' 12.77"E
L6	210.940	S25° 21' 45.84"E
L7	115.979	S75° 18' 36.79"W
L8	291.742	S42° 53' 15.37"E
L9	53.969	S75° 18' 36.79"W
L10	211.595	N82° 52' 42.19"W
L11	185.482	S04° 01' 08.32"E
L12	102.788	N82° 52' 42.19"W
L13	68.197	N67° 35' 29.71"W
L14	151.599	S15° 27' 37.14"W
L15	128.912	N72° 42' 14.38"W
L16	30.021	S72° 42' 14.38"E
L17	10.283	S60° 01' 32.84"E
L18	122.531	N67° 35' 29.71"W
L19	140.947	N13° 36' 09.05"E
L20	59.996	S20° 09' 24.35"W
L21	49.242	S72° 29' 36.11"E
L22	122.148	S17° 41' 38.52"W
L23	44.665	S42° 01' 41.10"E
L24	16.329	S68° 47' 56.73"E
L25	157.612	N47° 58' 08.18"E
L26	2.076	S45° 04' 10.83"W



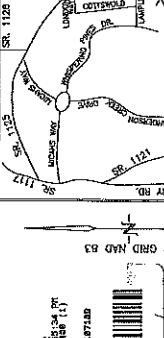
TITLE REFERENCE
 BEING ALL OF THAT TRACT DESCRIBED IN DEED BOOK 2306 PAGE 93
 OF THAT TRACT DESCRIBED IN DEED BOOK 2505 PAGE 758
 MAP BOOK 2007 PAGE 188
 MAP BOOK 2008 PAGE 319
 MAP BOOK 2008 PAGE 552
 MAP BOOK 2010 PAGE 1037
 BUILDING MAP BOOK 2010 PAGE 1037
 DECLARATIONS IN DB 2340 PG 778 132

SURVEY OF
 ~ PROPOSED BUILDINGS ~
FAIRWAY POINTE, LLC
 at **ANDERSON CREEK CLUB**
 ANDERSON CREEK TOWNSHIP
 HARNETT COUNTY NORTH CAROLINA
 SCALE 1" = 100' APRIL 26, 2021



- LEGEND
- COMPUTED POINT
 - EXISTING IRON ROD
 - PROPERTY BOUNDARY
 - ROAD RIGHT-OF-WAY
 - EXISTING PAVEMENT
 - 25' NATIVE BUFFER
 - 35' SETBACK
 - 50' GOLF BUFFER
 - TIE LINES

SUBCONTRACTOR:
 JEFFREY L. GREEN
 5522 BIG OAK CHURCH ROAD
 EAGLE SPRINGS, N.C. 27242
 (910) 875-2085

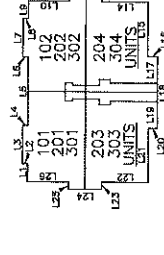


TITLE REFERENCE

RECORDS TO BE REFERENCED IN THIS SURVEY ARE AS FOLLOWS:

- DEED BOOK 1346 PAGE 21
- MAP BOOK 2008 PAGE 33
- MAP BOOK 2008 PAGE 35
- MAP BOOK 2008 PAGE 39
- MAP BOOK 2008 PAGE 52
- MAP BOOK 2008 PAGE 53

BUILDING PLANS IN MAP BK 2007 PG 132
DECLARATIONS IN US 2340 PG 78



AREA INFORMATION

PHASE 1 - 11.21 AC.
PHASE 2 - 4.56 AC.
TOTAL AREA - 15.77 AC.
ZONING RA-20R

CURVE

CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH	DELTA ANGLE
C1	312.87	80.44	S 04°01'14" W	80.22	14°33'34"
C2	160.86	48.58	S 34°26'38" E	45.42	19°36'46"

FLOOR

FLOOR	F.F. ELEV.	CEILING ELEV.
1	245.89	243.94
2	252.47	250.52
3	259.05	256.63

NOTE: ELEVATIONS WERE ESTABLISHED USING NAVD83 DATUM.

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LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L1	N 13°27'20" E	53.10	L13	N 75°15'49" W	126.83
L2	N 17°25'49" E	13.42	L14	N 75°15'49" W	338.50
L3	N 17°25'49" E	71.14	L15	N 75°15'49" W	146.50
L4	N 20°59'24" E	60.00	L16	N 75°15'49" W	190.74
L5	N 20°59'24" E	122.16	L17	N 75°15'49" W	158.37
L6	N 17°41'39" E	122.16	L18	N 75°15'49" W	158.37
L7	N 42°01'41" W	44.89	L19	N 75°15'49" W	158.37
L8	N 82°01'49" W	16.33	L20	N 75°15'49" W	158.37
L9	S 27°58'08" W	157.81	L21	N 75°15'49" W	158.37
L10	N 42°01'41" W	90.19	L22	N 75°15'49" W	158.37
L11	N 42°01'41" W	148.39	L23	N 75°15'49" W	158.37
L12	N 13°27'20" E	28.59	L24	N 75°15'49" W	158.37
L13	S 25°52'55" W	26.98			

STATE OF NORTH CAROLINA
HARNETT COUNTY

Matthew S. Mills
REGISTER OF DEEDS BY/for/By
6016-280

FAIRWAY POINTE, LLC
at
ANDERSON CREEK CLUB
ANDERSON CREEK TOWNSHIP
HARNETT COUNTY NORTH CAROLINA
SCALE 1" = 100'
APRIL 26, 2021
REVISED: 6/18/12, 6/20/12, 5/01/14, 6/06/2014
2/10/2017, 2/22/2017, 4/26/2021
GRAPHIC SCALE

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- DATE: 6/12/2022

SUBJECT:
JEFFREY L. GREEN
5322 BIG OAK CHURCH ROAD
FAIRWAY, NC 27482
(910) 873-2024

NOTES:

- THIS SURVEY IS LOCATED IN A PORTION OF THE COUNTY THAT IS SUBJECT TO ALL EASEMENTS, RIGHTS-OF-WAY, STREETS, AND ASSESSMENTS, IF ANY, AS THE SAME MAY APPEAR OF RECORD IN THE COUNTY OF RECORD OR IN THE REGISTER OF DEEDS, COURT, TOWN OR COUNTY OF RECORD OR RIGHT MAY HAVE BEEN ACQUIRED BY PRESUMPTIVE USE.
- DISHED OR BROKEN LINES ARE FROM DEED DESCRIPTIONS, PLATS OF SURVEY, RECORDS TO BE REFERENCED IN THIS SURVEY, AND ANY LOCATION OF UNDERGROUND UTILITIES ARE BASED ON VISIBLE EVIDENCE AND DRAWINGS IF PROVIDED TO THE SURVEYOR. LOCATION OF UNDERGROUND UTILITIES AND STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. UTILITIES AND STRUCTURES MAY BE IN CONTACT WITH THE APPROPRIATE UTILITY COMPANIES FOR INFORMATION REGARDING BURIED UTILITIES.
- EXISTING SURFACE OR EARTHWORK SHALL BE EXAMINED VISIBLY DURING FIELD EXAMINATION OR, AS IN DOCUMENTATION PROVIDED TO THE SURVEYOR, TO DETERMINE THE LOCATION OF EXISTING CONVEYANCE, ZONING OR LAND USE REGULATIONS AND ANY FACTS WHICH MAY BE NECESSARY TO CORRECTLY DISCLOSE.
- THIS SURVEY WAS DONE WITHOUT A TITLE SEARCH AND IS BASED ON RECORDS WHICH COULD AFFECT THIS PROPERTY.
- ALL BOUNDARY, SURFACE AND SUBSURFACE IMPROVEMENTS ON AND OFF THIS PLAT ARE THE PROPERTY OF THE SURVEYOR.
- IF THIS PLAT IS OF THE CATEGORY DETERMINED TO BE A RECOMBINATION OF PREVIOUSLY PLATTED OR RECORDED PROPERTY, ANY INFORMATION CONTAINED HEREON IS BASED ON THE RECORDS FILED DOCUMENTS APPLICABLE TO THIS SUBJECT PROPERTY. ALSO, EXCEPT AS ALLOWED FOR BY THE ORDINANCE FOR THE JURISDICTION THAT OVERSEES AND MAINTAINS THIS SUBJECT PROPERTY, THE SURVEYOR HAS NOT BEEN INVESTIGATED WITH REGARD TO WETLANDS AND NO DETERMINATION HAS BEEN MADE AS TO THE EXISTENCE OF WETLANDS WITHIN THE BOUNDARIES OF THIS SURVEY.
- SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED DURING THIS SURVEY. NO STATEMENT IS MADE EXPRESSING THE USE OF THIS FACT UNDERGROUND CONTAINERS, WHICH MAY BE IN CONTACT WITH THE SURVEYED PROPERTY.
- IF THE STREETS AND ROADS SHOWN ON THIS MAP ARE LABELED AS PRIVATE STREETS, THE FOLLOWING NOTICE APPLIES TO THOSE STREETS: THE PRIVATE STREETS SHOWN ON THIS PLAT PRIVATE STREETS ARE FOR THE USE OF ALL OWNERS OF PROPERTY WITHIN THIS SUBDIVISION, THEIR HEIRS, SUCCESSORS AND ASSIGNEES, AND FOR THE CONSTRUCTION, MAINTENANCE OF PUBLIC STREETS, UTILITIES, AND DRAINAGE STRUCTURES. THE STREETS ARE SOLE RESPONSIBILITY OF THE HOMEOWNERS.
- SURVEY FROM INFORMATION FOUND IN DEEDS AND PLATS OF RECORD IN HARNETT COUNTY REGISTER AND CORNERS.
- HIGH STAKES ARE SET AT ALL PROPERTY CORNERS.
- ALL DISTANCES ARE HORIZONTAL DISTANCES.
- IF THERE ARE NO GRID MONUMENTS LOCATED WITHIN 2000' OF THIS PROPERTY, THE MONUMENTS WILL BE ESTABLISHED USING THE HARNETT COUNTY ZONING ORDINANCE FRONT-55', REAR-25', SIDE-10', CORNER SIDE-20'.
- PARCEL IS IN FLOOD ZONE "X", PANEL NO. 37202090A01, EFFECTIVE 6/1/12.
- THE PHASE LINES ARE FROM COMPUTATION ONLY, NOT FROM ACTUAL SURVEY.

JEFFREY L. GREEN
CERTIFY THAT THIS PLAT WAS DRAWN UNDER SUPERVISION FROM A PARTIAL SURVEY, WAS DRAWN BY SUPERVISION (DEED DESCRIPTION REFERENCES AS SHOWN), AND THAT THE INFORMATION CONTAINED HEREON IS BASED ON INFORMATION PROVIDED TO THE SURVEYOR AND THAT THE PART OF PRESSION AS CALCULATED IS LIQUID AND IS HONORABLE WITH REGARD TO THE SURVEYOR AND SEAL THIS SURVEY ON THE DAY OF THE SURVEY.

JEFFREY L. GREEN
PROFESSIONAL LAND SURVEYOR
L-3972
LICENSE NUMBER

6/12/2022
DATE

6/12/2022
DATE

6/12/2022
DATE

6/12/2022
DATE