

Initial Application Date: 5/14/18

Application # 1850044002

COUNTY OF HARNETT LAND USE APPLICATION

Central Permitting 102 E. Front Street, Lillington, NC 27546

Phone: (910) 893-4759

Fax: (910) 893-2793

LANDOWNER: Keith Bullock Builders, Inc. Mailing Address: 72 Overlook Ct.

City: Angier State: NC Zip: 27501 Phone #: 919-427-4628

APPLICANT: SAME Mailing Address: _____

City: _____ State: _____ Zip: _____ Phone #: _____

PROPERTY LOCATION: SR #: 1422 SR Name: Axley Road

Address: _____

Parcel: 050633 0208 08 PIN: 0033-26-9437.000

Zoning: 2A-3D Subdivision: Axley Road Minor Lot #: 2 Lot Size: .66

Flood Plain: X Panel: _____ Watershed: WS-1V Deed Book/Page: 3598/950 Plat Book/Page: 2018/127

DIRECTIONS TO THE PROPERTY FROM LILLINGTON: Hwy. 401 N. - Left on Christian Light Rd. - Left on Cobesbury Rd. - Right on Axley Rd. - Lots on Right.

PROPOSED USE:

Sg. Family Dwelling (Size 60 x 60) # of Bedrooms 3 # Baths 2 Basement (w/wo bath) NA Garage included Deck included

Multi-Family Dwelling No. Units _____ No. Bedrooms/Unit _____

Manufactured Home (Size x) # of Bedrooms _____ Garage _____ Deck _____

Number of persons per household _____

Business Sq. Ft. Retail Space _____ Type _____

Industry Sq. Ft. _____ Type _____

Church Seating Capacity _____ Kitchen _____

Home Occupation (Size x) # Rooms _____ Use _____

Additional Information: _____

Accessory Building (Size x) Use _____

Addition to Existing Building (Size x) Use _____

Other _____

Additional Information: _____

Water Supply: County Well (No. dwellings _____) Other _____ Environmental Health Site Visit Date: _____

Sewage Supply: New Septic Tank Existing Septic Tank County Sewer Other _____

Erosion & Sedimentation Control Plan Required? YES NO

Property owner of this tract of land own land that contains a manufactured home w/in five hundred feet (500') of tract listed above? YES NO

Structures on this tract of land: Single family dwellings _____ Manufactured homes _____ Other (specify) _____

Required Residential Property Line Setbacks:	Minimum	Actual
Front	35	55'
Rear	25	215'
Side	10	10'
Corner	20	
Nearest Building	10	

If permits are granted I agree to conform to all ordinances and the laws of the State of North Carolina regulating such work and the specifications or plans submitted. I hereby swear that the foregoing statements are accurate and correct to the best of my knowledge.

[Signature]
Signature of Owner or Owner's Agent

5-14-18
Date

This application expires 6 months from the initial date if no permits have been issued

A RECORDED SURVEY PLAT AND RECORDED DEED ARE REQUIRED WHEN APPLYING FOR A LAND USE APPLICATION

NAME: Keith Bullock Builders

APPLICATION #: 44002

This application to be filled out when applying for a septic system inspection.

County Health Department Application for Improvement Permit and/or Authorization to Construct

IF THE INFORMATION IN THIS APPLICATION IS FALSIFIED, CHANGED, OR THE SITE IS ALTERED, THEN THE IMPROVEMENT PERMIT OR AUTHORIZATION TO CONSTRUCT SHALL BECOME INVALID. The permit is valid for either 60 months or without expiration depending upon documentation submitted. (complete site plan = 60 months; complete plat = without expiration)

910-893-7525 option 1

CONFIRMATION # 027696-LL
5/14/18

Environmental Health New Septic System Code 800

- **All property irons must be made visible.** Place "pink property flags" on each corner iron of lot. All property lines must be clearly flagged approximately every 50 feet between corners.
- Place "orange house corner flags" at each corner of the proposed structure. Also flag driveways, garages, decks, out buildings, swimming pools, etc. Place flags per site plan developed at / for Central Permitting.
- Place orange Environmental Health card in location that is easily viewed from road to assist in locating property.
- If property is thickly wooded, Environmental Health requires that you clean out the **undergrowth** to allow the soil evaluation to be performed. Inspectors should be able to walk freely around site. **Do not grade property.**
- **All lots to be addressed within 10 business days after confirmation. \$25.00 return trip fee may be incurred for failure to uncover outlet lid, mark house corners and property lines, etc. once lot confirmed ready.**
- After preparing proposed site call the voice permitting system at 910-893-7525 option 1 to schedule and use code **800** (after selecting notification permit if multiple permits exist) for Environmental Health inspection. **Please note confirmation number given at end of recording for proof of request.**
- Use Click2Gov or IVR to verify results. Once approved, proceed to Central Permitting for permits.

Environmental Health Existing Tank Inspections Code 800

- Follow above instructions for placing flags and card on property.
- Prepare for inspection by removing soil over outlet end of tank as diagram indicates, and lift lid straight up (if possible) and then close back down. (Unless inspection is for a septic tank in a mobile home park)
- After uncovering outlet end call the voice permitting system at 910-893-7525 option 1 & select notification permit if multiple permits, then use code **800** for Environmental Health inspection. **Please note confirmation number given at end of recording for proof of request.**
- Use Click2Gov or IVR to hear results. Once approved, proceed to Central Permitting for remaining permits.

SEPTIC

If applying for authorization to construct please indicate desired system type(s): can be ranked in order of preference, must choose one.

- Accepted Innovative Conventional Any
 Alternative Other _____

The applicant shall notify the local health department upon submittal of this application if any of the following apply to the property in question. If the answer is "yes", applicant must attach supporting documentation.

- YES NO Does the site contain any Jurisdictional Wetlands?
 YES NO Do you plan to have an irrigation system now or in the future?
 YES NO Does or will the building contain any drains? Please explain. _____
 YES NO Are there any existing wells, springs, waterlines or Wastewater Systems on this property?
 YES NO Is any wastewater going to be generated on the site other than domestic sewage?
 YES NO Is the site subject to approval by any other Public Agency?
 YES NO Are there any easements or Right of Ways on this property?
 YES NO Does the site contain any existing water, cable, phone or underground electric lines?

If yes please call No Cuts at 800-632-4949 to locate the lines. This is a free service.

I Have Read This Application And Certify That The Information Provided Herein Is True, Complete And Correct. Authorized County And State Officials Are Granted Right Of Entry To Conduct Necessary Inspections To Determine Compliance With Applicable Laws And Rules.

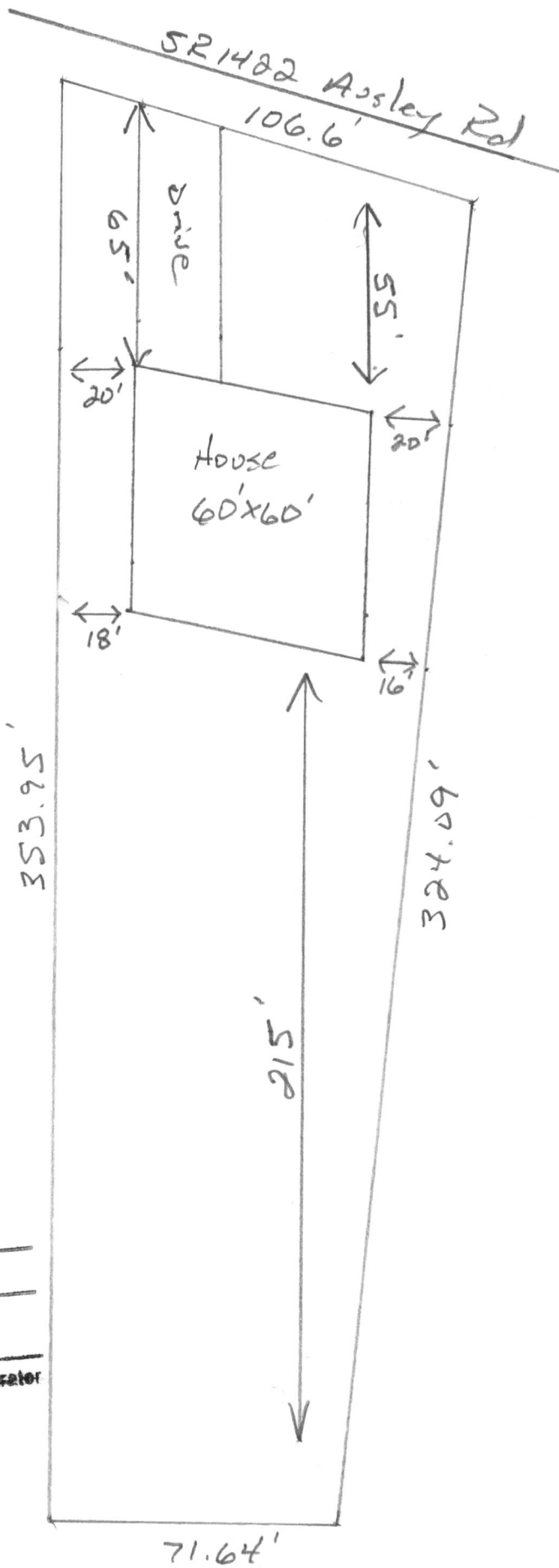
I Understand That I Am Solely Responsible For The Proper Identification And Labeling Of All Property Lines And Corners And Making The Site Accessible So That A Complete Site Evaluation Can Be Performed.

Keith Bullock
PROPERTY OWNERS OR OWNERS LEGAL REPRESENTATIVE SIGNATURE (REQUIRED)

5-14-18
DATE

Lot 2 Assley Rd. Minor

scale 1" = 40'



SITE PLAN APPROVAL

DISTRICT RA-30 USE SFD

#BEDROOMS 3

5/14/18

Date

LL

Zoning Administrator

71.64'

MINOR SUBDIVISION - HARNETT COUNTY CERTIFICATION OF OWNERSHIP, REPLICATION AND SUBDIVISION

DATE: 5/8/2018 OWNER/AGENT SIGNATURE

THE UNDERSIGNED HEREBY ACKNOWLEDGES THAT THE LAND SHOWN ON THIS PLAT IS WITHIN THE ZONING JURISDICTION OF HARNETT COUNTY

DATE: 5/8/18 OWNER/AGENT SIGNATURE

Minor Subdivision Approval

I hereby certify that the development depicted hereon has been granted final approval from Harnett County E-911 Addressing, Environmental Health, Planning, Public Utilities, and the North Carolina Department of Transportation.

E-911 Addressing: NA Public Utilities: water available NCDOT: Change of Use Application Permit Theresa Jones 5-8-18 Subdivision Administrator

MINIMUM BUILDING SETBACKS

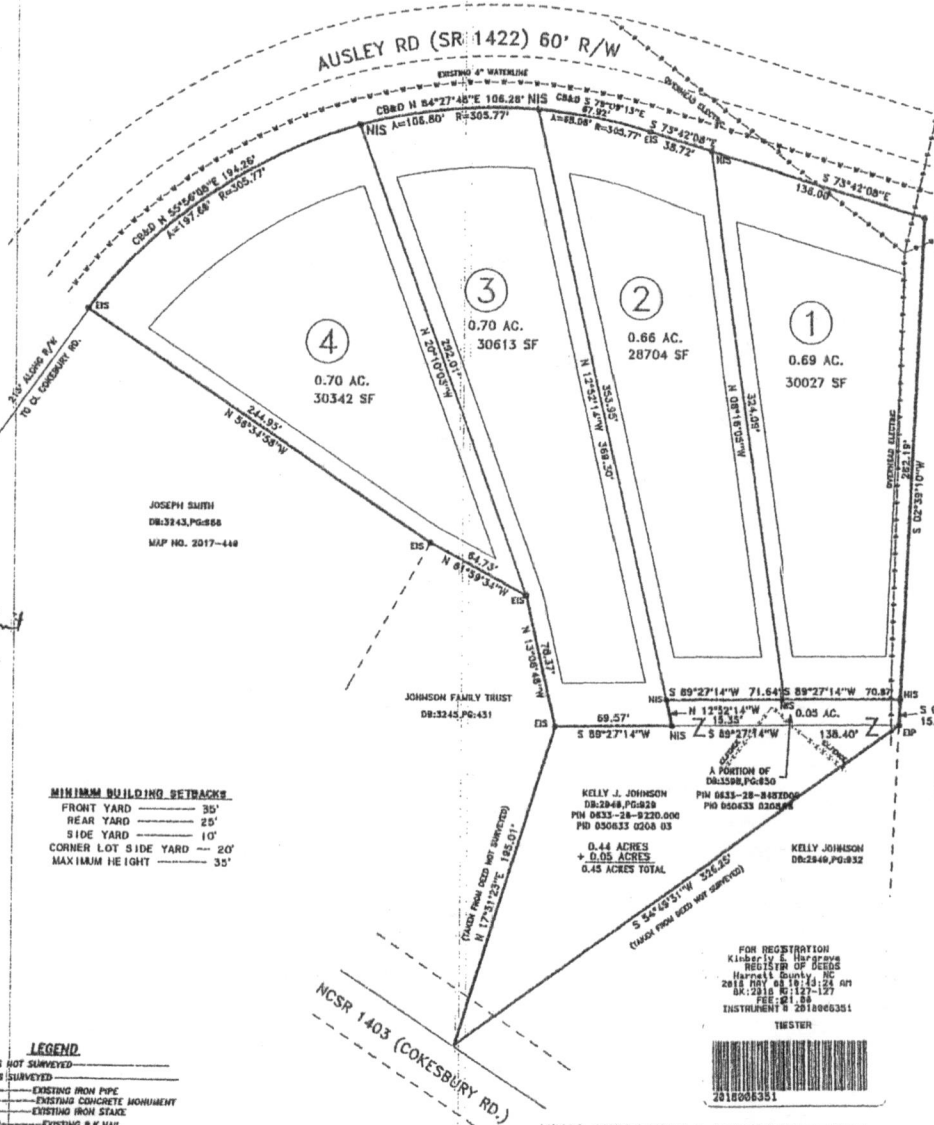
- FRONT YARD - 35' REAR YARD - 35' SIDE YARD - 10' CORNER LOT SIDE YARD - 20' MAXIMUM HEIGHT - 35'

STATE OF NORTH CAROLINA COUNTY OF HARNETT REVIEW OFFICER OF HARNETT COUNTY CERTIFY THAT THE MAP OR PLAT TO WHICH THIS CERTIFICATION IS AFFIXED MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING

LEGEND

- LINES NOT SURVEYED LINES SURVEYED: EXISTING IRON PIPE, EXISTING CONCRETE MONUMENT, EXISTING IRON STAKE, EXISTING P.R. NAIL, EXISTING LIGHTWOOD STAKE, NEW IRON STAKE, NEW IRON PIPE, P.R. NAIL SET, EXISTING RAILROAD SPIKE, NEW RAILROAD SPIKE, EXISTING MAGNETIC NAIL, NEW MAGNETIC NAIL, NEW COTTON SPINDLE, CONTROL CORNER, CENTER LINE, CALCULATED POINT, CHAIN BEARING AND DISTANCE, DRAINAGE EASEMENT, EXISTING ACRES

Kimberly S. Hargrove, Register of Deeds, dated 5/8/18



STANLEY & PAULA ARNOLD DB:3407,PG:782 MAP NO: 2004-708 NORTH REFERENCE MAP NO. 2017-449

NORTH CAROLINA HARNETT COUNTY I, Mickey R. Bennett, PLS do certify that this plat was drawn under my supervision...



MAP REFERENCE MAP NO.2017-449 DEED REFERENCE DEED BOOK 3598,PAGE 950 DEED BOOK 2949,PAGE 929

TOTAL ACRES 2.79

OWNER: KEITH BULLOCK BUILDERS, INC 72 OVERLOOK CT. ANGER, NC 27501 919-427-4628

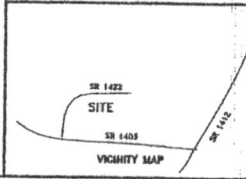


Table with 4 columns: Township (Hector's Creek), County (Harnett), State (North Carolina), Date (May 8, 2018). Includes zoning (RA-30), watershed (WS-IV), tax parcel ID, and survey details.

HARNETT COUNTY CASH RECEIPTS

*** CUSTOMER RECEIPT ***

Oper: LLUCAS Type: CP Drawer: 1
Date: 5/14/18 53 Receipt no: 355220

Year	Number	Amount
2018	50044002	
91750 TECH 3		
LILLINGTON, NC 27546		
B4	BP - ENV HEALTH FEES	
		\$750.00
NEW SEPTIC		

KEITH BULLOCK BUILDERS

Tender detail		
CK CHECK PAYMEN	11876	\$750.00
Total tendered		\$750.00
Total payment		\$750.00

Trans date: 5/14/18 Time: 11:41:47

** THANK YOU FOR YOUR PAYMENT **

App # 1850044002

Harnett County Central Permitting
PO Box 65 Lillington, NC 27546
Telephone Number 910-893-4759

Application for Building and Trade Permit

Owner's Name: Keith Bullock Builders Inc Date: _____
Address: 72 Overlook Ct Anger NC 27501 Phone: 919-427-4628
Directions to job site: Hwy 401N - Left on Christian Light Rd. - Left on Cokesbury Rd - Right on Ausley Rd. - Lot on Right

Subdivision: Ausley Fd. Minor Lot: 2

Construction Type: (Please Check) Building Use: (Please Check)
 New Residential
 Renovation Modular
 Addition Commercial
 Moved House Multi-Family
 Other

Description of Proposed Work: single Family
Total Project Cost: 120,000

Building Permit Information

Heated SF 1445 Crawl Space
Unheated SF 460 Slab
Building Construction Cost \$ 120,000
Acres Disturbed .70 Stories 1
Building Contractor's Company Name Keith Bullock Builders Inc. Telephone 919-427-4628
Address 72 Overlook Ct Anger NC 27501 License # 47504
Signature of Officer(s) of Corporation [Signature]

Electrical Permit Information

Description of Work New Electrical Cost \$ _____
TS Pole: Yes No Underground Overhead
Permanent Service: Underground Overhead Service Size: 200 Amps
Dean Electric, LLC Telephone 919-669-0063
Electrical Contractor's Company Name 2793 Baptist Grove Rd. Fuquay Varina License # 29839-L
Address Austin Dean by KB Bullock
Signature of Officer(s) of Corporation _____

Mechanical Permit Information

Description of Work New
Number of Units 1 Type System HP Mechanical Cost \$ _____
Carolina Comfort Air, Inc.
Mechanical Contractor's Company Name Telephone H29077
Address 5212 US Hwy 70 Bus Clayton, NC 27530 License # _____
Signature of Officer(s) of Corporation JP Moore by KB Bullock

Plumbing Permit Information

Description of Work New
Number of Baths 2 Plumbing Cost \$ _____
L.R. Glover Plumbing, Inc. Telephone 919-894-5892
Plumbing Contractor's Company Name Telephone 207958
Address PO Box 764 Benson, NC 27504 License # _____
Signature of Officer(s) of Corporation L.R. Glover by KB Bullock

Insulation Permit Information

Residential Other Not Required
Insulating Inc. Address Ashtown, NC Telephone 919-772-9000
Insulation Contractor's Company Name _____

Sprinkler System Information

Sprinkler Contractor's Company Name

Telephone

Contact Person

Address

License #

Signature of Officer(s) of Corporation

Fire Alarm System Information

Fire Alarm Contractor's Company Name

Telephone

Contact Person

Address

License #

Signature of Officer(s) of Corporation

Driveway Access

NC Department of Transportation Driveway Access/Permit? Yes ___ No X

I hereby certify that I have the authority to make necessary application, that the application is correct and that the construction will conform to the regulations in the Building, Electrical, Plumbing and Mechanical codes, and the Harnett County Zoning Ordinance. I state the information on the above contractors is correct as known to me and if any changes occur including listed contractors, site plan, building and trade plans, Environmental Health permit changes or proposed use changes, I certify it is my responsibility to notify the Harnett County Central Permitting Division of any and all changes.

Signature of Owner/Contractor/Officer(s) of Corporation

Date

6/6/18

**Affidavit for Worker's Compensation
N.C.G.S. 87-14**

The undersigned applicant for Building Permit # _____ being the:

- Contractor
- Owner
- Officer/Agent of the Contractor or Owner

Do hereby confirm under penalties of perjury that the person(s), firm(s) or corporation(s) performing the work set forth in the permit:

_____ Has/have three (3) or more employees and has/have obtained workers' compensation insurance to cover them.

_____ Has/have one (1) or more subcontractors(s) and has/have obtained workers' compensation insurance to cover them.

_____ Has/have one (1) or more subcontractors(s) who has/have their own policy of workers' compensation insurance covering themselves.

_____ Has/have not more than two (2) employees and no subcontractors.

While working on the project for which this permit is sought it is understood that the Central Permitting Department issuing the permit may require certificates of coverage of worker's compensation insurance prior to issuance of the permit and at any time during the permitted work from any person, firm or corporation carrying out the work.

Firm Name: Keith Bullock Builders Inc.

By/Title: President

Date: 6/10/18