

KEY LEGEND

DRAWING LABEL

VIEW NAME A18
Scale 5/8" = 1'-0" (1/8")
SHEET NUMBER

DETAIL NUMBER 2016
SHEET NUMBER

T.O.S. 21'-11"
CONTROL / ELEV MARK

DETAIL NUMBER A19
SHEET REF.

REV/CLOUD 04200 A, 4"
REV/CLOUD NOTE

REF. N 08°14'21" W 217.21'
S 68°28'01" E 220.58'

NORTH ARROW

DOOR MARK XXX

WINDOW MARK XXX

KEYNOTE MARK XXX

LEGEND REF. 04200 A

DEMO MARK XXX

REVISION MARK AREA XXX

ROOM NAME XXX

PLAN NOTES

ITEM	REFERENCE
1.	ALL INSTALLATIONS TO MEET REQUIREMENTS OF LOCAL MUNICIPALITIES ADOPTED CODES.
2.	THE ATTACHED PLANS & SPECIFICATIONS ARE THE SOLE PROPERTY OF PULTE HOMES, INC. ANY UNAUTHORIZED USE OF THE PLANS WITHOUT WRITTEN CONSENT OF PULTE HOMES, INC. IS STRICTLY PROHIBITED.
3.	ALL FRAMED WALLS TO BE 2x4 UNLESS NOTED OTHERWISE.
4.	2x4 2x4 HOT WATER HEATER PLATFORM TO BE 1" ABOVE FINISHED FLOOR LEVEL. PROVIDE ENCLOSURE AS REQUIRED BY LOCAL CODE - SEE DETAIL.
5.	THERE SHALL BE NO STEP AT GARAGE ENTRANCE AS ALLOWED BY GARAGE CONCRETE OPENINGS BETWEEN GARAGE & RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1-3/4" IN THICKNESS. SOLID OR HOME/COMBO CORE STEEL DOORS NOT LESS THAN 1-3/4" THICK. OR 20 MINUTE FIRE-RATED DOORS PER IRC.
6.	GARAGE CONCRETE SLAB TO SLOPE 1/8" PER LINEAL FOOT FROM GARAGE ENTRY DOOR TOWARDS GARAGE OVERHEAD DOOR. PROVIDE 12" x 16" x 3/4" GARAGE SLAB LEAVOUT.
7.	ALL PORCH AND PATIO CONCRETE SLABS TO DROP 3-1/2" AND SLOPE 1/8" PER LINEAL FOOT TOWARD EXTERIOR.
8.	A/C PAD IS APPROXIMATE LOCATION IN FIELD - MOVE AS REQUIRED BY LOCAL CODE OR DRAINAGE RESTRICTIONS. ADD ADDITIONAL PADS PER HVAC REQUIREMENTS AS SPECIFIED BY HVAC CONTRACTOR.
9.	ALL WALLS LOCATED IN CLOSET TO BE FINISHED: - DRYWALL & WALLS (PAPEDED ONLY, NO PAINT) - DRYWALL & CEILING (PAPEDED ONLY, NO PAINT) - FIRE BLOCK CEILING - NO BASEBOARD TRIM - NO FLOORING EXPOSED CONCRETE OR SUB-FLOOR - CONDENSATE DRAIN REQUIRED TO BE INTO PLUMBING PER MANU. SPECS.
10.	2ND FLOOR WINDOWS: ANY OPERABLE WINDOW THAT IS MORE THAN 7'2" ABOVE GRADE MUST COMPLY PER IRC CODE - MIN. SILL HEIGHT.
11.	THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 1/2" GYP. BOARD APPLIED TO THE GARAGE SIDE. THE GARAGE SHALL BE SEPARATED FROM ALL HORIZONTAL ROOMS ADJACENT TO THE GARAGE BY NOT LESS THAN 2" TYPE "X" GYP. BOARD OR EQUIVALENT. ALL WALLS ADJACENT TO THE GARAGE CONDITIONED SPACE SHALL BE INSULATED PER ENERGY CALCULATIONS.
12.	SHOWER DOORS TO BE 24" TEMPERED U.L.O. SHOWER ENCLOSURES ARE REQUIRED TO BE TEMPERED PER IRC.
13.	ALL GUARDRAILS TO BE MIN. 36" A.F.F. W/MAXIMUM SPINDLE SPACING OF 4" PER IRC.
14.	PROVIDE MIN. 1/2" GYP. BOARD ON BOTTOM SIDE OF STAIRS PER IRC.
15.	DRYER TO BE LOCATED TO THE RIGHT OF WASHING MACHINE.
16.	OPT. TANKLESS WATER HEATER TO BE INSTALLED ON EXTERIOR WALL IN GARAGE IN PLACE OF WATER HEATER LOCATION.
17.	OPT. WATER SOFTENER TO BE INSTALLED AT REAR OF GARAGE ADJACENT TO WATER HEATER.

JONATHON TUCKER RESIDENCE

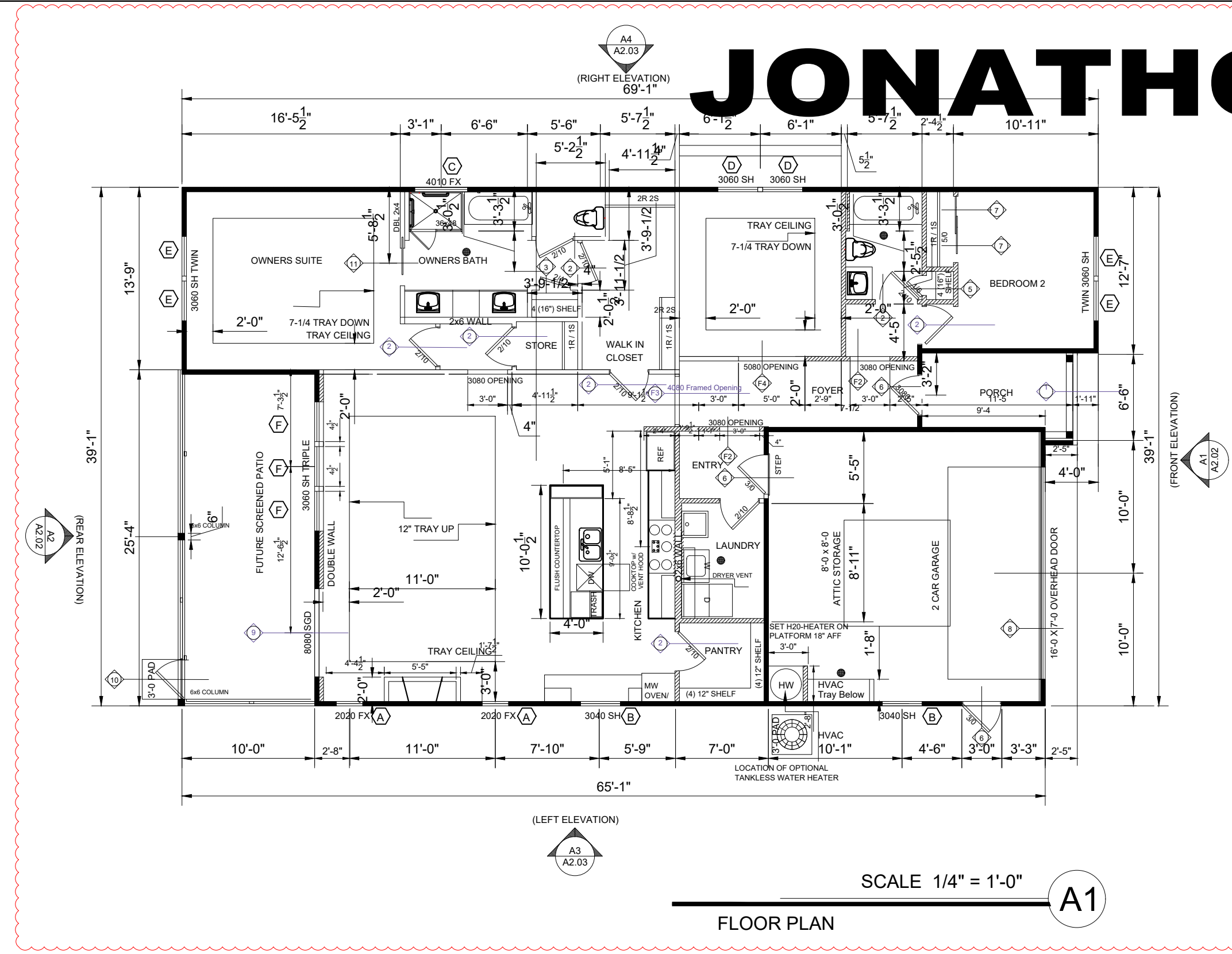
Apex, North Carolina

Area 2547.3413 square ft.

Perimeter 235'-2 1/2"

Porch area (240.4063 sq. ft.)

Garage area (416.4097 sq. ft.)



Design Approval

Owner's Signature _____

Contractor's Signature _____

Date _____

This plan is approved as shown.

This plan is approved with revisions as shown on the sheets.

This plan is not approved.

Approval of the plan issues from this day forward changes to the plan and does not apply to any other sheets in the project delivery set.

Concurrent Review Approval

City of Raleigh - Plans Authorized for Construction

Plans for the proposed use have been reviewed for general compliance with applicable codes. This review does not constitute a guarantee of the accuracy of the information provided on these plans. The contractor is responsible for obtaining and maintaining all necessary permits, licenses, and approvals from all applicable regulatory agencies. The contractor is responsible for obtaining and maintaining all necessary permits, licenses, and approvals from all applicable regulatory agencies. The contractor is responsible for obtaining and maintaining all necessary permits, licenses, and approvals from all applicable regulatory agencies.

Inspector's Field Review _____

Public Utilities _____

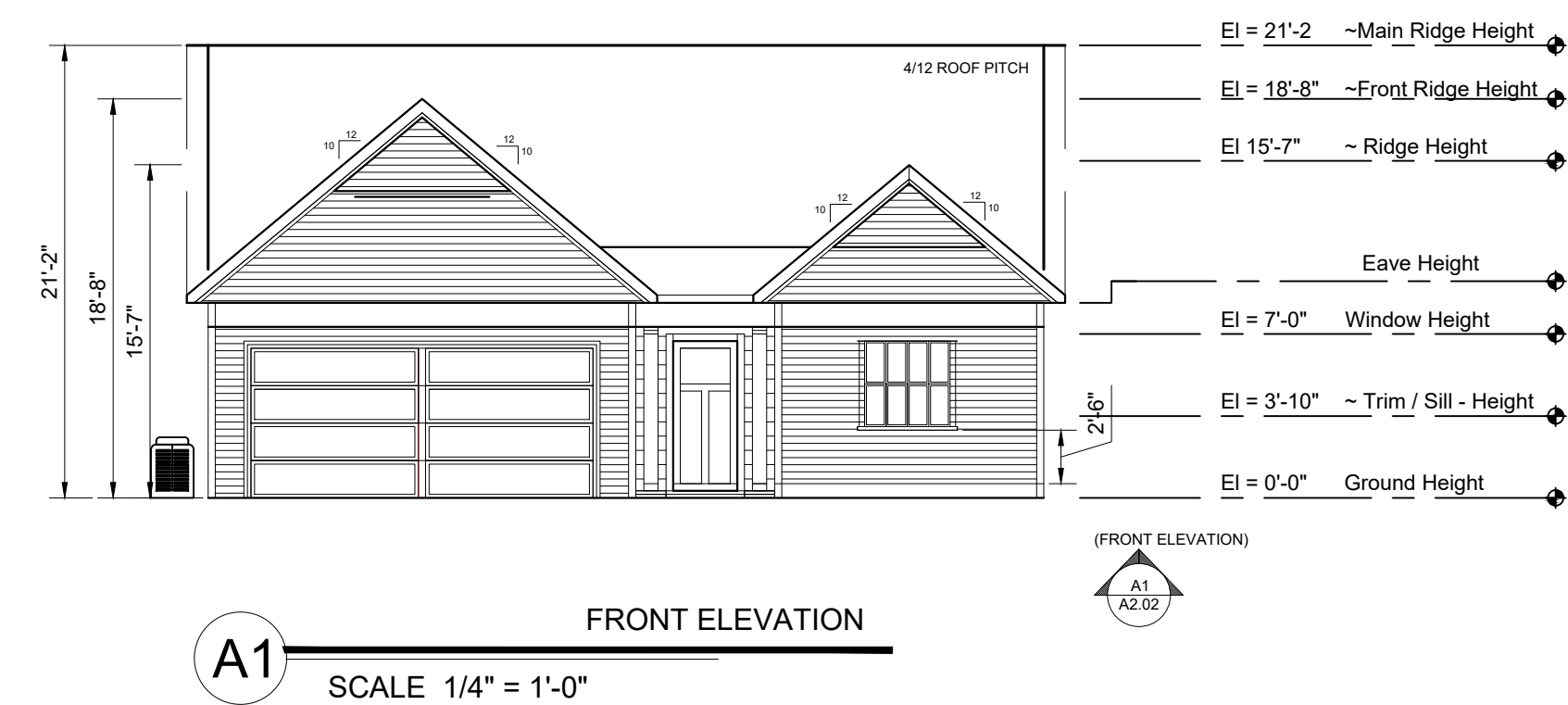
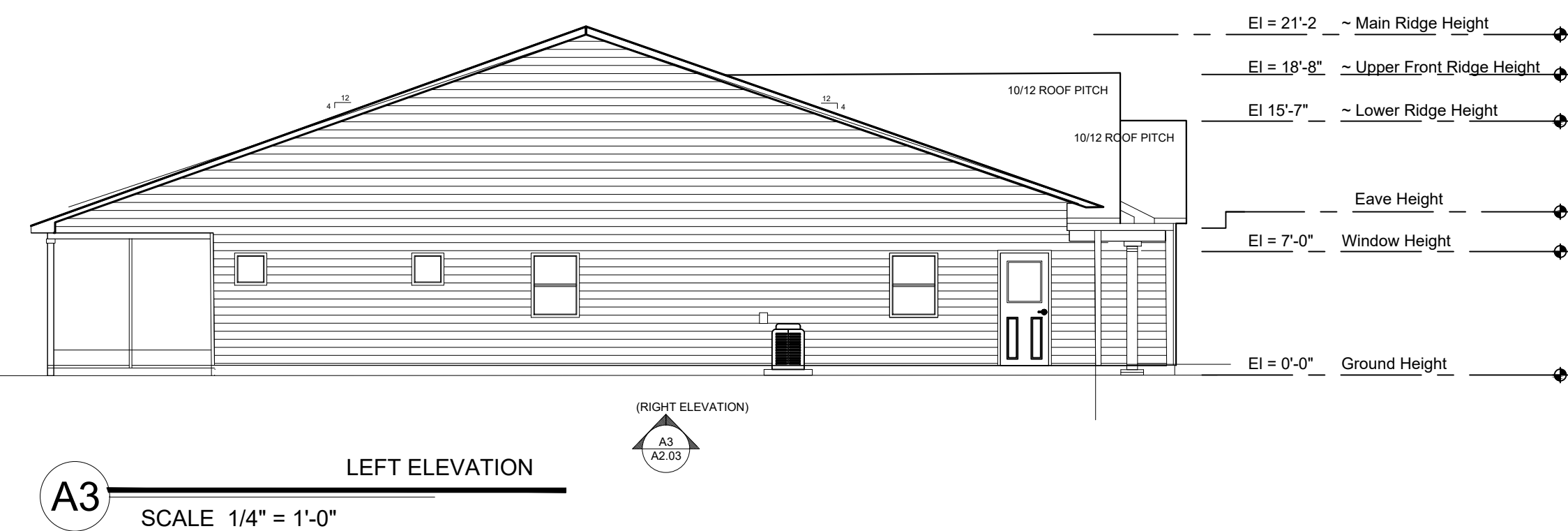
Stormwater _____

Planning / Zoning _____

Fire _____

Urban Forestry _____

Site Accessibility _____



Vicinity Map

15 Donnibrook Run
Lot 1, Donnibrook Pines
Map Number 99-478
PIN: 0651-18-1524.000

Owned by and Plot Plan for:
Jonathan S. Tucker

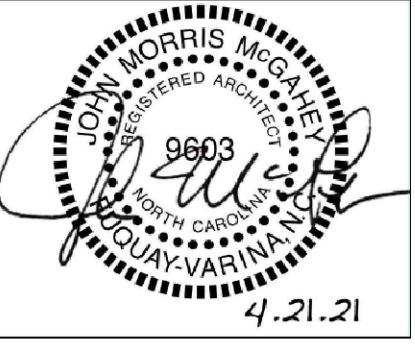
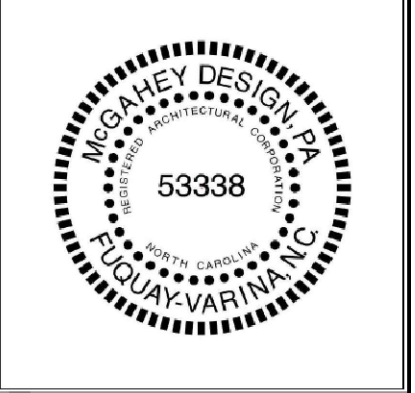
Hector's Creek Twp., Harnett County

Drawing Index

Category	Description	Sheet Number	Structural	Notes
GENERAL	COVER SHEET	A0.01		
	SITE PLAN	AS.01		
ARCHITECTURAL	FLOOR PLAN	A1.01		
	ELEVATION - 1	A1.02		
	ELEVATION - 2	A1.03		
SCHEDULES	KITCHEN LAYOUTS	A1.12		
	ROOF PITCH PLAN	A5.01		
BATH ELEVATIONS	BATH ELEVATIONS	A6.01		
	KITCHEN DETAILS	A6.02		
SECTION - TYPICAL	SECTION - TYPICAL	A6.03		
	Structural		Framing/Lintels	S2.01
			Framing Details	S4.01

CGAHEY DESIGN

123 Raleigh Street, Fayetteville, North Carolina 27526
919.321.0123 • 919.422.0265 info@cgahaydesign.com



Jonathan Tucker Residence
Apex, North Carolina

PROJECT: 2021-10
DATE ISSUED: 04.12.2021

REVISIONS:	DATE

DRAWN BY: BM
CHECK BY: JMM

Cover Sheet

A0.01

KEY LEGEND

DRAWING LABEL

VIEW NAME: A18
Scale: 5/8" = 1'-0" (1:15)
SHEET NUMBER

VIEW DETAIL

DETAIL NUMBER: 118
SECTION MARK

SHEET NUMBER

T.O.S. 21'-11"

CONTROL / ELEV MARK

DETAIL NUMBER: A18
SHEET REF.

CALLOUT REF.

REVCLLOUD

REVCLLOUD NOTE: 04200.A, 4"

REF.

NORTHING / EASTING

BOUNDARY LINE

NORTH ARROW

DOOR MARK: XXX

WINDOW MARK: XXX

KEYNOTE MARK: XXX

LEGEND REF.: 04200.A

DEMO MARK: XX

REVISION MARK AREA

ROOM NAME: XXX

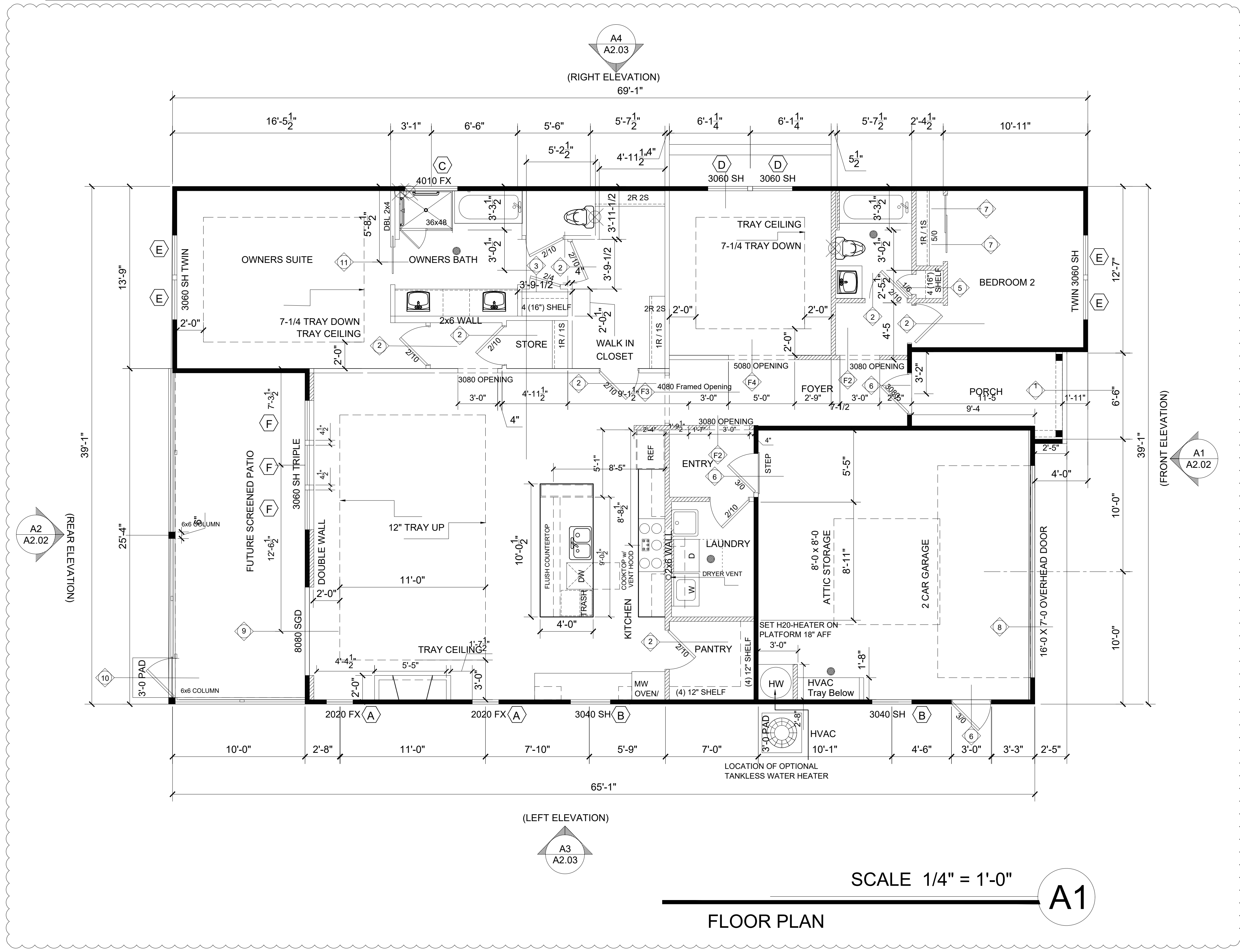
FRAMING NOTES

- ALL EXTERIOR WALLS ARE SHOWN AT 3-1/2" UNLESS OTHERWISE SPECIFIED.
- ALL INTERIOR WALLS ARE SHOWN AT 3-1/2" UNLESS OTHERWISE SPECIFIED.
- SOLID BLOCK ALL GIRDERS & BEAMS TO THE FOUNDATION.
- ALL INTERIOR NON-LOAD BEARING WALLS TO BE 16" O.C.
- ALL LOAD BEARING WALLS TO 16" O.C.
- ALL HEADERS TO BE (2) PLY 1/4" O. 2x4 AND 2x6 TO BE SP# OR SP No. 2 OR BETTER. HEADERS GREATER THAN 2x6 TO BE SP No. 2 OR BETTER.
- PROVIDE SOLID BLOCKING OR BLOCKING PER JOIST MANUFACTURER BETWEEN ALL JOISTS AT ALL COLUMN POINT LOADS, BEAMS, GIRDERS, AND LOAD BEARING WALLS.
- FLOOR SYSTEM ENGINEERED BY OTHERS, INSTALL PER MANUFACTURERS RECOMMENDATION, NOTES & DETAILS. CHANGES OR MODIFICATIONS TO THESE DOCUMENTS ARE NOT PERMITTED WITHOUT A LETTER FROM THE ENGINEER OF RECORD.
-

TUCKER RESIDENCE - APEX, NC
 Area 2547.3413 square ft.
 Perimeter 235'-2 1/2"
 Porch area (240.4063 sq. ft.)
 Garage area (416.4097 sq. ft.)

PLAN NOTES

ITEM	REFERENCE
1.	ALL INSTALLATIONS TO MEET REQUIREMENTS OF LOCAL MUNICIPALITIES ADOPTED CODES.
2.	THE ATTACHED PLANS & SPECIFICATIONS ARE THE SOLE PROPERTY OF PULTE HOMES, INC. ANY UNAUTHORIZED USE OF THE PLANS WITHOUT WRITTEN CONSENT OF PULTE HOMES, INC. IS STRICTLY PROHIBITED.
3.	ALL FRAMED WALLS TO BE 2x4 UNLESS NOTED OTHERWISE.
4.	28" x 28" HOT WATER HEATER PLATFORM TO BE 18" ABOVE FFL (FINISHED FLOOR LEVEL). (PROVIDE ENCLOSURE AS REQUIRED BY LOCAL CODE - SEE DETAIL).
5.	THERE SHALL BE NO STEP AT GARAGE ENTRANCE AS ALLOWED BY GRADE CONDITION. OPENINGS BETWEEN GARAGE & RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1-3/8" IN THICKNESS, SOLID OR HONEYCOMB-CORE STEEL DOORS NOT LESS THAN 1-3/8" THICK, OR 20 MINUTE FIRE-RATED DOORS PER IRC.
6.	GARAGE CONCRETE SLAB TO SLOPE 1/8" PER LINEAL FOOT FROM GARAGE ENTRY DOOR TOWARDS GARAGE OVERHEAD DOOR. PROVIDE 12" x 16"-3 x 3/4" GARAGE SLAB LEAVOUT.
7.	ALL PORCH AND PATIO CONCRETE SLABS TO DROP 3-1/2" AND SLOPE 1/8" PER LINEAL FOOT TOWARD EXTERIOR.
8.	A/C PAD IS APPROXIMATE LOCATION IN FIELD - MOVE AS REQUIRED BY LOCAL CODE OR DRAINAGE RESTRICTIONS (ADD ADDITIONAL PADS PER HVAC REQUIREMENTS AS SPECIFIED BY HVAC CONTRACTOR).
9.	ALL HVAC'S LOCATED IN CLOSET TO BE FINISHED: . . . DRYWALL & WALLS (TAPED/MUD ONLY, NO PAINT) . . . DRYWALL & CEILING (TAPED/MUD ONLY, NO PAINT) . . . FIRE BLOCK CEILING . . . NO BASEBOARD TRIM . . . NO FLOORING, EXPOSED CONCRETE OR SUB-FLOOR . . . CONDENSATE DRAIN REQ'D TO TIE INTO PLUMBING PER MANF. SPECS.
10.	2ND FLOOR WINDOWS: ANY OPERABLE WINDOW THAT IS MORE THAN 72" ABOVE GRADE MUST COMPLY PER IRC CODE - MIN. SILL HEIGHT.
11.	THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 1/2" GYP. BOARD APPLIED TO THE GARAGE SIDE. THE GARAGE SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE THE GARAGE W/ NOT LESS THAN 5/8" TYPE 'X' GYP. BOARD OR EQUIVALENT. ALL WALLS WHICH ARE ADJACENT TO AIR CONDITIONED SPACE SHALL BE INSULATED PER ENERGY CALCULATIONS..
12.	SHOWER DOORS TO BE 24" TEMPERED U.N.O. SHOWER ENCLOSURES ARE REQUIRED TO BE TEMPERED PER IRC.
13.	ALL GUARDRAILS TO BE MIN. 36" A.F.F. W/MAXIMUM SPINDLE SPACING OF 4" PER IRC.
14.	PROVIDE MIN. 1/2" GYP. BOARD ON BOTTOM SIDE OF STAIRS PER IRC.
15.	DRYER TO BE LOCATED TO THE RIGHT OF WASHING MACHINE.
16.	OPT. TANKLESS WATER HEATER TO BE INSTALLED ON EXTERIOR WALL IN GARAGE IN PLACE OF WATER HEATER LOCATION.
17.	OPT. WATER SOFTENER TO BE INSTALLED AT REAR OF GARAGE ADJACENT TO WATER HEATER.



FLOOR PLAN

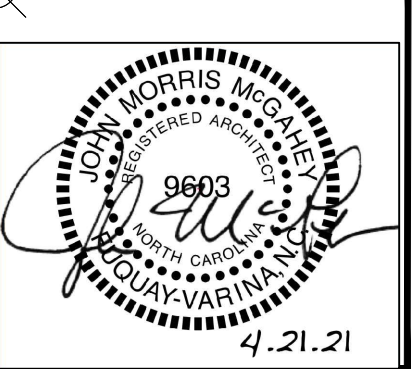
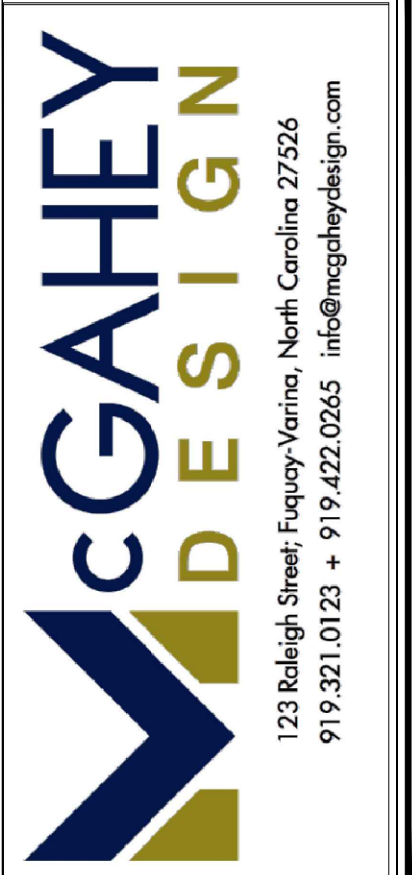
SCALE 1/4" = 1'-0"

A1

TUCKER RESIDENCE

2 Overall Floor Plan
Scale: 1/4" = 1'-0"

1 Key Plan
Not to Scale

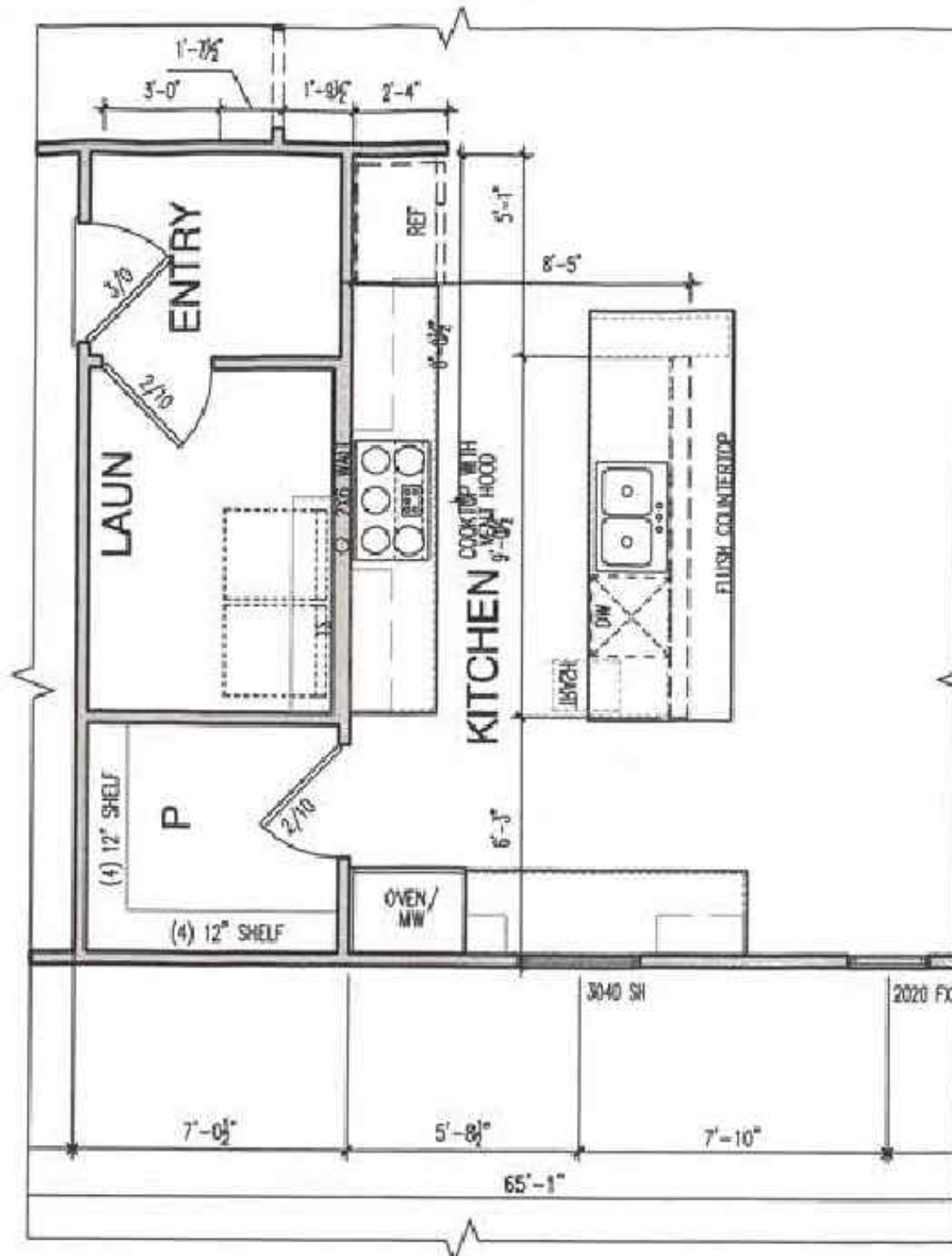


**TUCKER RESIDENCE
LEFT SIDE GARAGE**

PROJECT: 2021-10
 DATE ISSUED: 04.12.21
 REVISIONS: [Table with columns for REVISIONS and DATE]

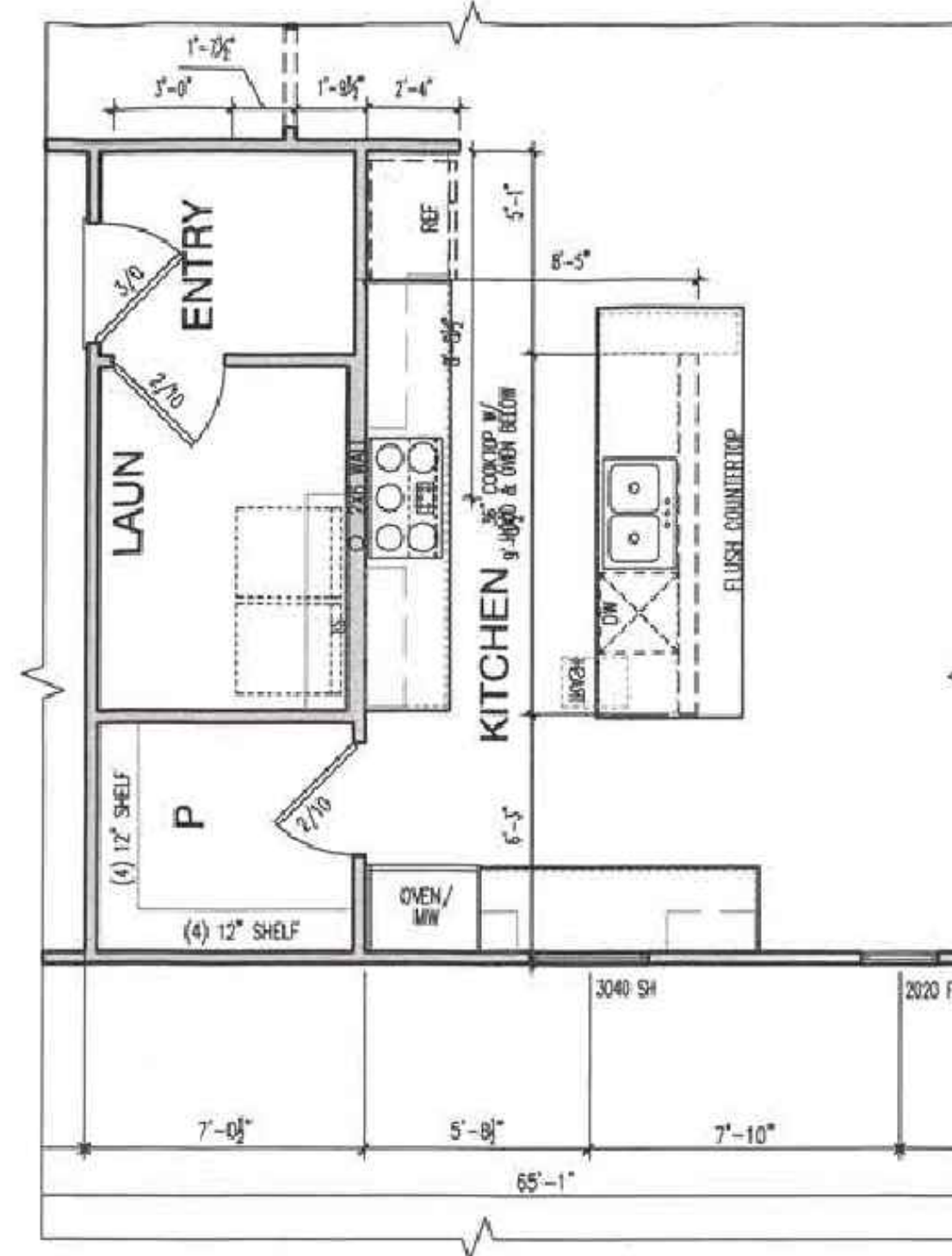
DRAWN BY: BM
 CHECK BY: JMM
 Floor Plan

A1.01



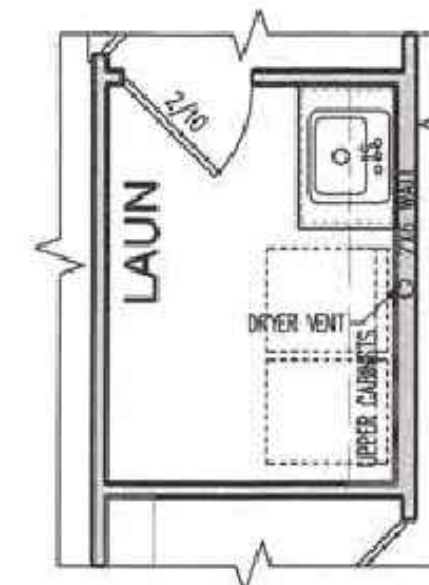
KITCHEN LAYOUT 4

SCALE 1/4" = 1'-0" (NOTE: SCALE 1/8"=1'-0" ON 11X17 PAPER)



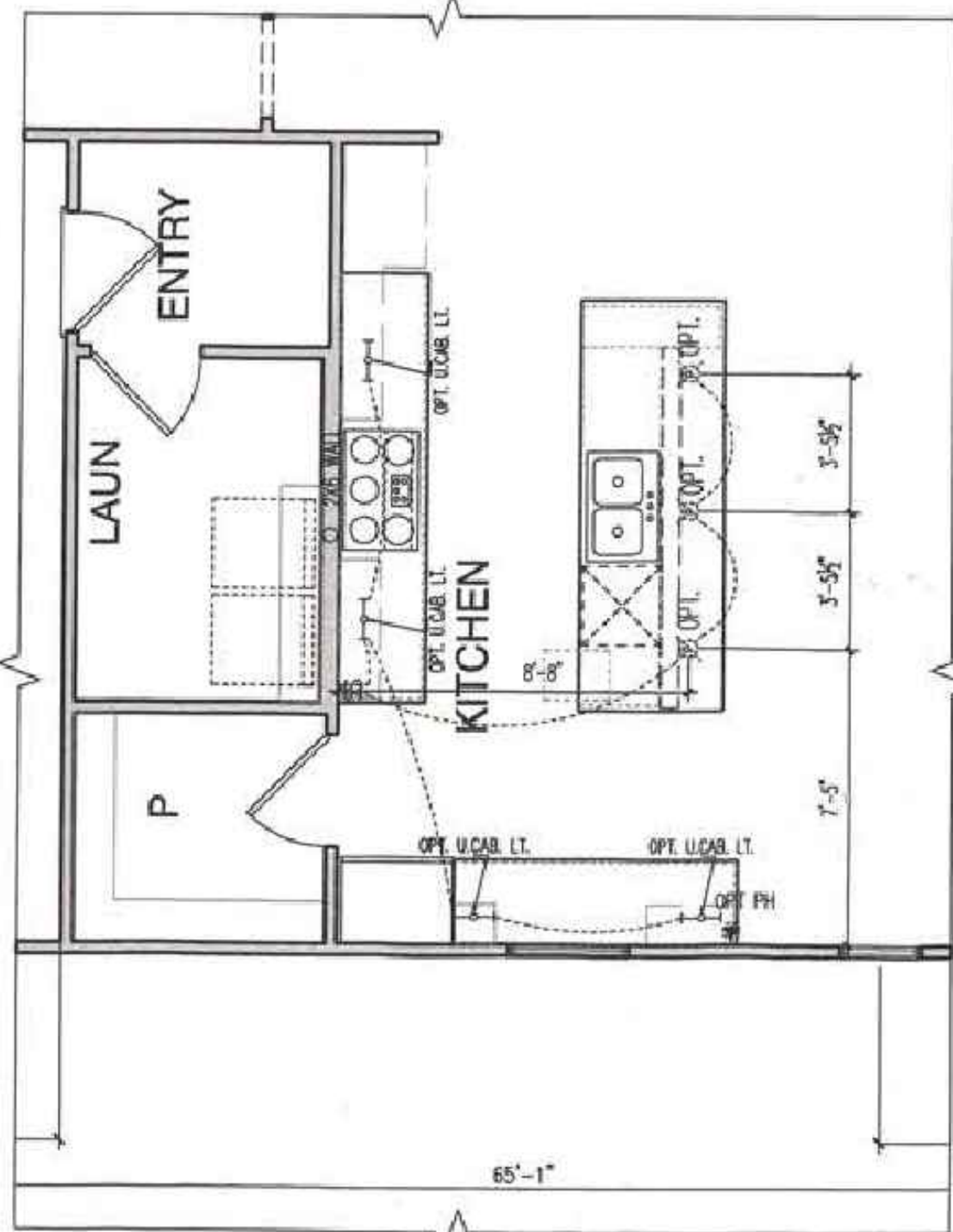
KITCHEN LAYOUT 5

SCALE 1/4" = 1'-0" (NOTE: SCALE 1/8"=1'-0" ON 11X17 PAPER)



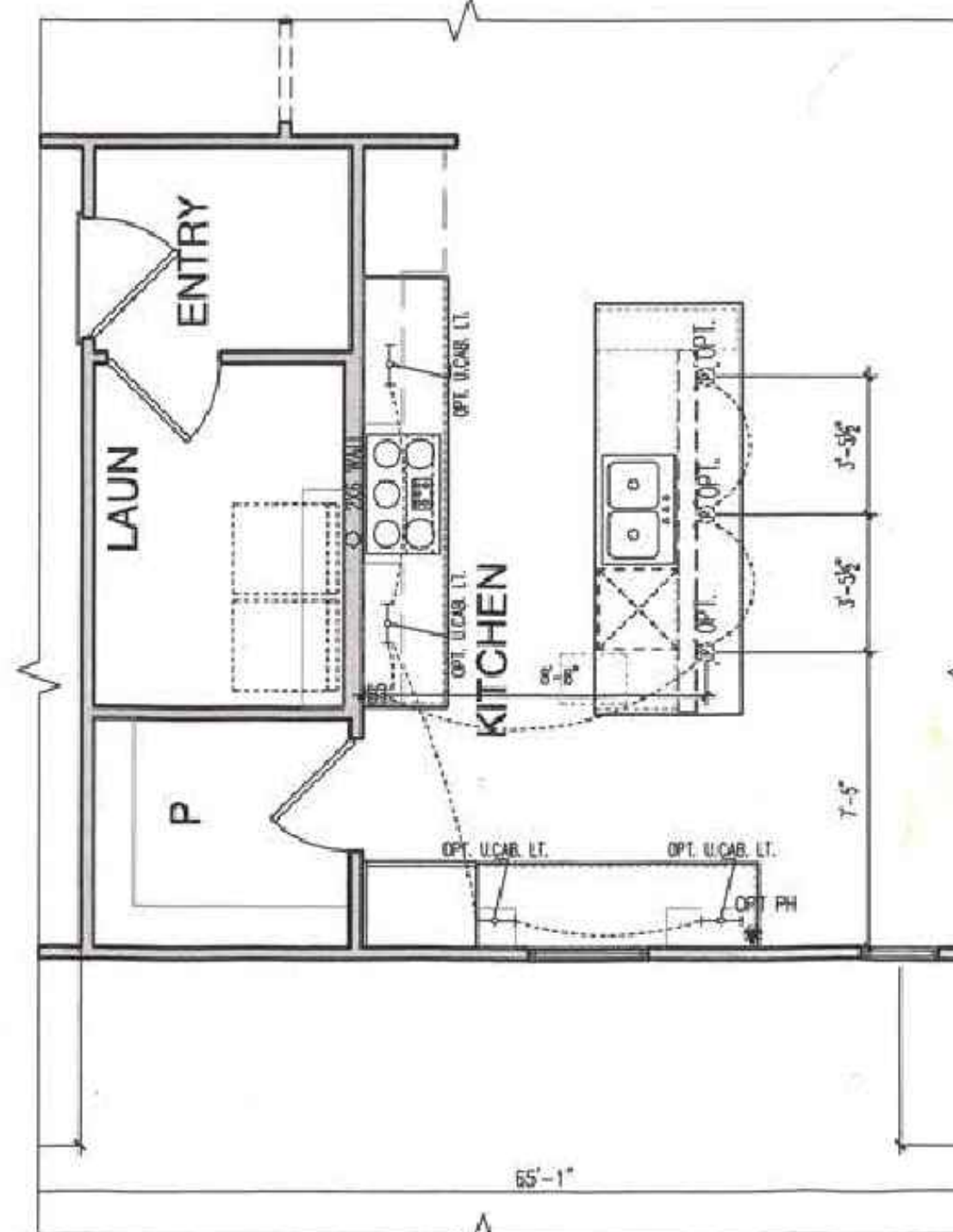
LAUNDRY LAYOUT 3

SCALE 1/4" = 1'-0" (NOTE: SCALE 1/8"=1'-0" ON 11X17 PAPER)



**KITCHEN LAYOUT 4
OPTIONAL UTILITY PLAN**

SCALE 1/4" = 1'-0" (NOTE: SCALE 1/8"=1'-0" ON 11X17 PAPER)

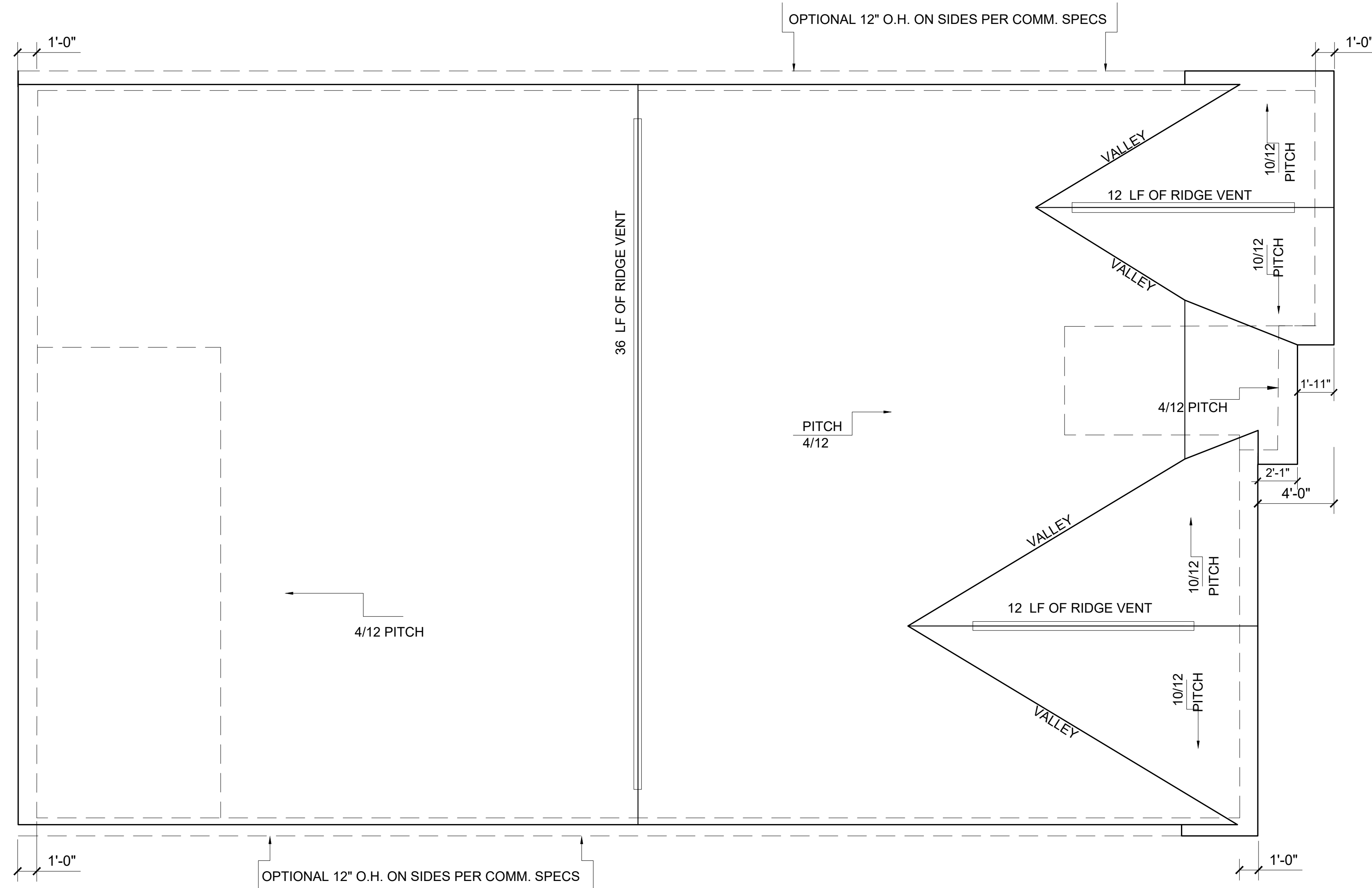


**KITCHEN LAYOUT 5
OPTIONAL UTILITY PLAN**

SCALE 1/4" = 1'-0" (NOTE: SCALE 1/8"=1'-0" ON 11X17 PAPER)

PROJECT:	2021-10
DATE ISSUED:	04.12.21
REVISIONS:	DATE

DRAWN BY: BM
CHECK BY: JMM
Floor Plan & Details



ROOF PITCH PLAN

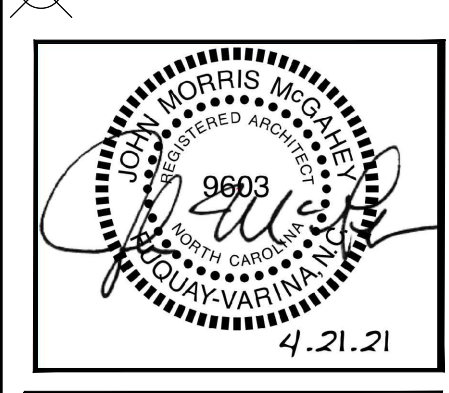
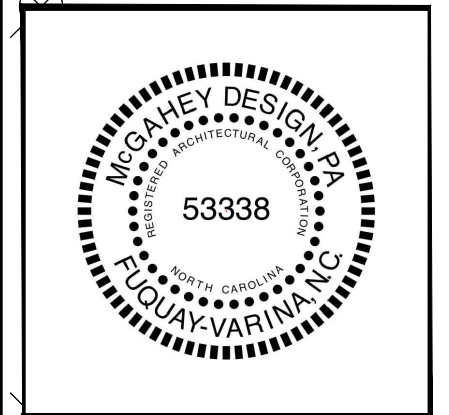
SCALE 1/4" = 1'-0"

A7

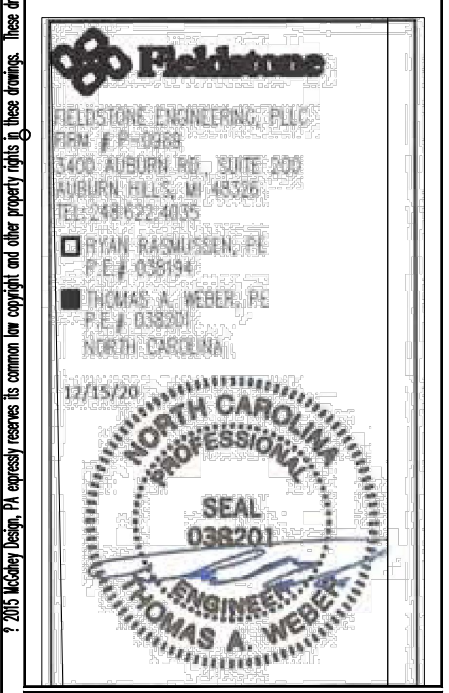
ATTIC VENTILATION CALCS

ATTIC VENTILATION - (300 SQ. FT. ATTIC SPACE / 1 SQ FT VENTILATION) w/ 40% - 50% REQ. VENTS GREATER THAN OR EQUAL TO 3'-0 ABOVE EAVE CORNICE VENTS PER IRC R806.2	
ELEVATIONS "LC 102" 2276 SQ FT UNDER ROOF ATTIC / 300 SQ FT / 1 SQ FT = 7.59 SQ FT VENTILATION	
RIDGE VENT 18 SQ IN = (.125 SQ FT) BOX VENT 50 SQ IN = (.3472 SQ FT) SOFFIT VENT 9 SQ IN = (.0625 SQ FT)	
7.59 SQ FT x 50% = 3.7935 SQ FT RIDGE. 7.59 SQ FT x 50% = 3.7935 SQ FT SOFFIT	
RIDGE VENT 3.793 SQ FT x 50% = 30.3 SQ FT OF RIDGE VENT 0.125 SQ FT	OR w/ HIP, BOX VENT 3.793 SQ FT = 10.9 BOX VENT(S) 0.3472 SQ FT
SOFFIT VENT 3.793 SQ FT = 60.7 FEET OF SOFFIT VENT 0.0625 SQ FT	

TUCKER RESIDENCE



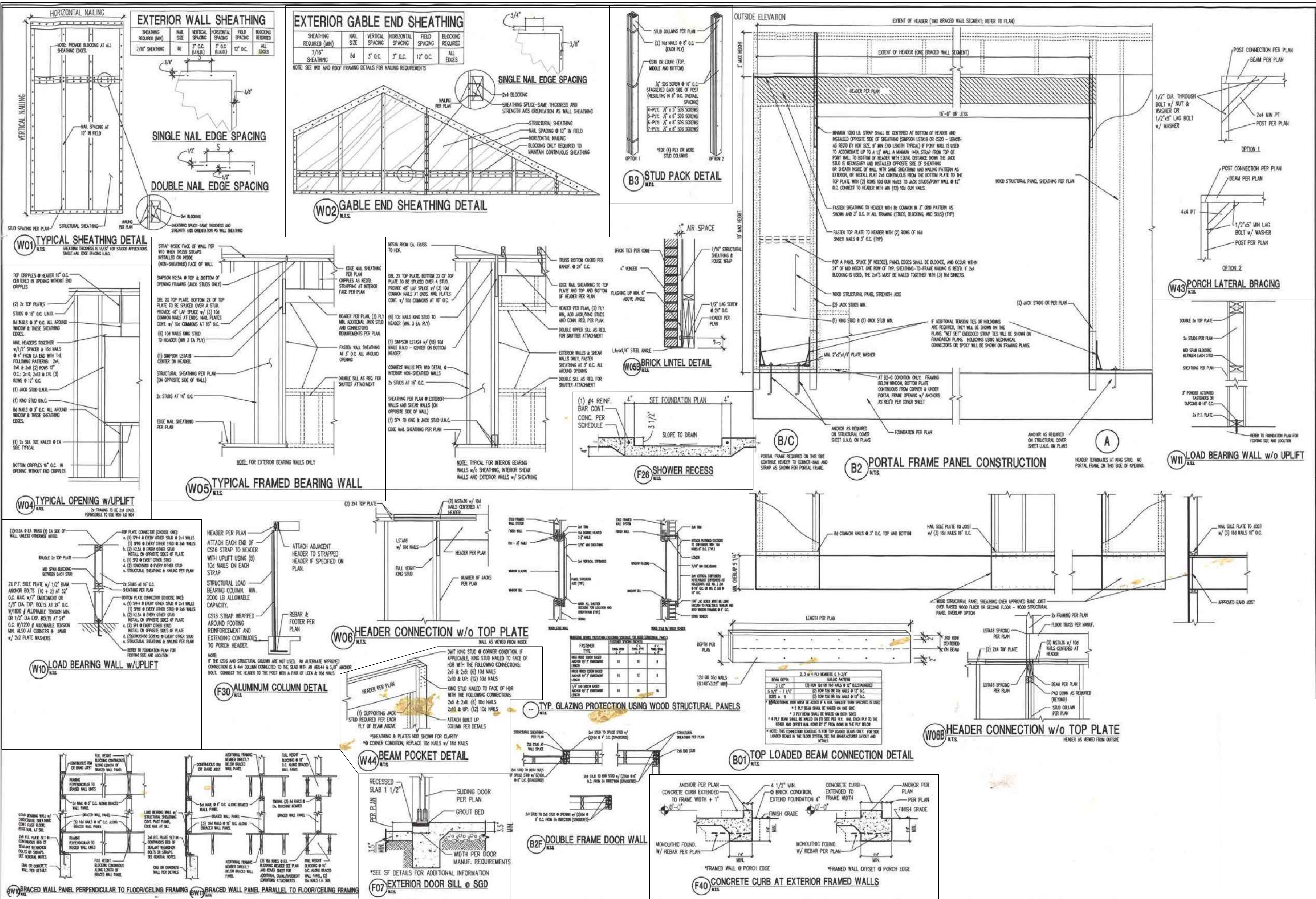
**TUCKER RESIDENCE
LEFT SIDE GARAGE**



PROJECT:	2021-10
DATE ISSUED:	04.12.21
REVISIONS:	DATE

DRAWN BY: BM
CHECK BY: JMM
Floor Plan & Details

A5.01



CGAHEY DESIGN
 123 Raleigh Street, Fayetteville, North Carolina 27526
 919.321.0123 • 919.422.0265 info@cgaheydesign.com

PROFESSIONAL SEAL
 53338
 ARCHITECTURE

PROFESSIONAL SEAL
 9809
 ARCHITECTURE

TUCKER RESIDENCE LEFT SIDE GARAGE

Flektronics
 BELMONT ENGINEERING, PLLC
 2400 ANSON RD., SUITE 200
 BELMONT, NC 28006
 TEL: 704.832.4855
 RYAN RASHBURN, PE
 P.E.# 038194
 THOMAS A. WEBER, PE
 P.E.# 038194
 NORTH CAROLINA PROFESSIONAL SEAL
 038201
 ARCHITECTURE

PROJECT: 2021-10
 DATE ISSUED: 04.12.21
 REVISIONS: _____ DATE _____
 DRAWN BY: BM
 CHECK BY: JMM
 Floor Plan & Details