

KEY LEGEND

DRAWING LABEL

VIEW NAME A18
Scale 5/8" = 1'-0" (1/8")
SHEET NUMBER

DETAIL NUMBER 2016
SHEET NUMBER

T.O.S. 21'-11"
CONTROL / ELEV MARK

DETAIL NUMBER A19
SHEET REF.

REV/CLOUD 04200 A, 4"
REV/CLOUD NOTE

REF. N 08°41'21" W 217.21'
S 68°28'01" E 220.58'

NORTH ARROW

DOOR MARK XXX

WINDOW MARK XXX

KEYNOTE MARK XXX

LEGEND REF. 04200 A

DEMO MARK XXX

REVISION MARK AREA

ROOM NAME XXX

PLAN NOTES

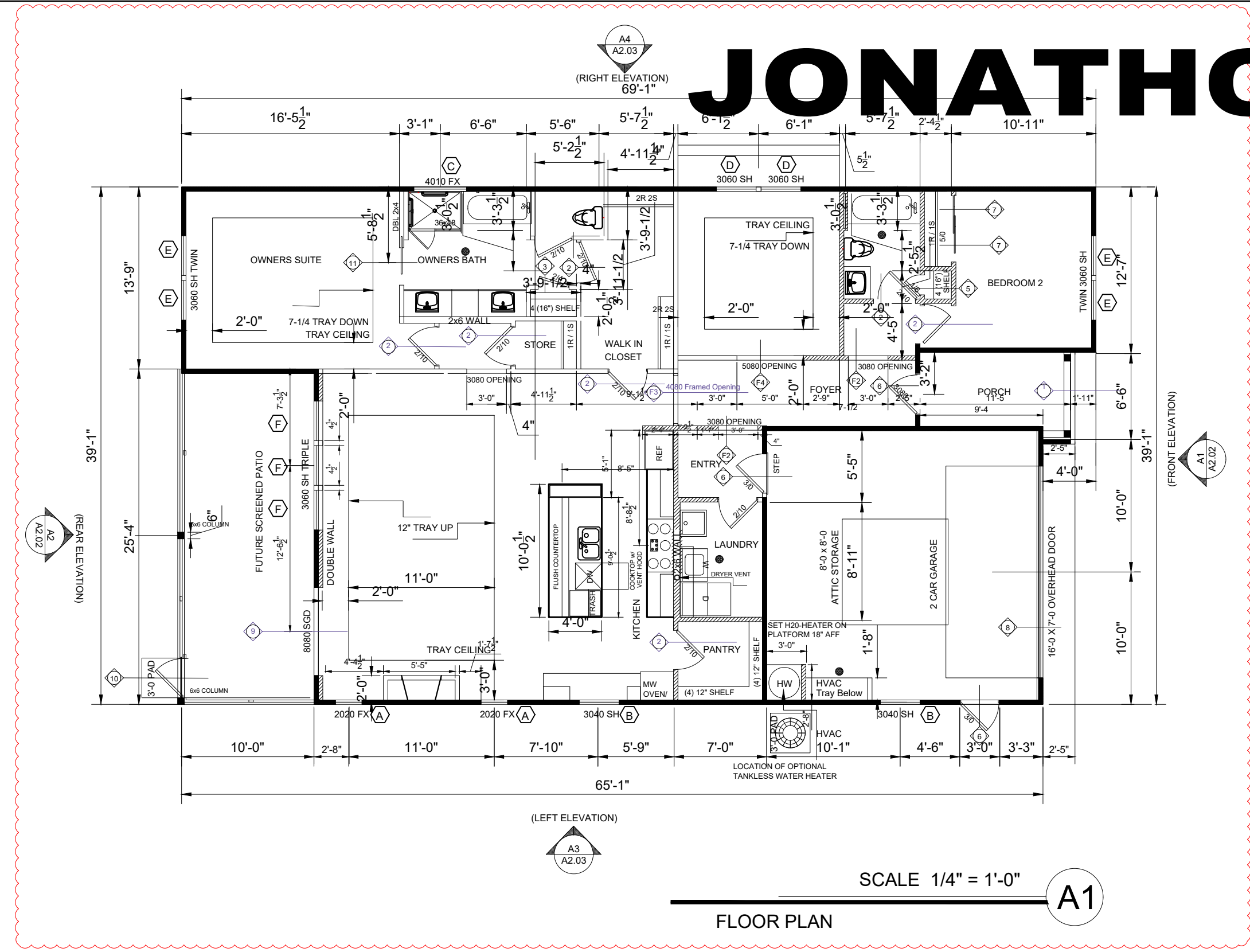
ITEM	REFERENCE
1.	ALL INSTALLATIONS TO MEET REQUIREMENTS OF LOCAL MUNICIPALITIES ADOPTED CODES.
2.	THE ATTACHED PLANS & SPECIFICATIONS ARE THE SOLE PROPERTY OF C.C. GAHEY, INC. ANY UNAUTHORIZED USE OF THE PLANS WITHOUT WRITTEN CONSENT OF C.C. GAHEY, INC. IS STRICTLY PROHIBITED.
3.	ALL FRAMED WALLS TO BE 2x4 UNLESS NOTED OTHERWISE.
4.	2x6 1/2" HOT WATER HEATER PLATFORM TO BE 1" ABOVE FINISHED FLOOR LEVEL. PROVIDE ENCLOSURE AS REQUIRED BY LOCAL CODE - SEE DETAIL.
5.	THERE SHALL BE NO STEP AT GARAGE ENTRANCE AS ALLOWED BY GARAGE CONCRETE OPENINGS BETWEEN GARAGE & RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1-3/4" IN THICKNESS. SOLID OR HOME/COMBO CORE STEEL DOORS NOT LESS THAN 1-3/4" THICK. OR 20 MINUTE FIRE-RATED DOORS PER IBC.
6.	GARAGE CONCRETE SLAB TO SLOPE 1/8" PER LINEAL FOOT FROM GARAGE ENTRY DOOR TOWARDS GARAGE OVERHEAD DOOR. PROVIDE 12" x 16" x 3/4" GARAGE SLAB LEAVOUT.
7.	ALL PORCH AND PATIO CONCRETE SLABS TO DROP 3-1/2" AND SLOPE 1/8" PER LINEAL FOOT TOWARD EXTERIOR.
8.	A/C PAD IS APPROXIMATE LOCATION IN FIELD - MOVE AS REQUIRED BY LOCAL CODE OR DRAINAGE RESTRICTIONS. ADD ADDITIONAL PADS PER HVAC REQUIREMENTS AS SPECIFIED BY HVAC CONTRACTOR.
9.	ALL WALLS LOCATED IN CLOSET TO BE FINISHED: - DRYWALL & WALLS (PAPEDED ONLY, NO PAINT) - DRYWALL & CEILING (PAPEDED ONLY, NO PAINT) - FIRE BLOCK CEILING - NO BASEBOARD TRIM - NO FLOORING EXPOSED CONCRETE OR SUB-FLOOR - CONDENSATE DRAIN RESIST TO BE INTO PLUMBING PER MANUF. SPECS.
10.	2ND FLOOR WINDOWS: ANY OPERABLE WINDOW THAT IS MORE THAN 7'2" ABOVE GRADE MUST COMPLY PER IRC CODE - MIN. SILL HEIGHT.
11.	THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 1/2" GYP. BOARD APPLIED TO THE GARAGE SIDE. THE GARAGE SHALL BE SEPARATED FROM ALL HORIZONTAL ROOMS ADJACENT TO THE GARAGE BY NOT LESS THAN 5/8" TYPE "X" GYP. BOARD OR EQUIVALENT. ALL WALLS INVOLVED ARE ADJACENT TO AIR-CONDITIONED SPACE SHALL BE INSULATED PER ENERGY CALCULATIONS.
12.	SHOWER DOORS TO BE 24" TEMPERED U.L.O. SHOWER ENCLOSURES ARE REQUIRED TO BE TEMPERED PER IRC.
13.	ALL GUARDRAILS TO BE MIN. 36" A.F.F. W/MAXIMUM SPINDLE SPACING OF 4" PER IRC.
14.	PROVIDE MIN. 1/2" GYP. BOARD ON BOTTOM SIDE OF STAIRS PER IRC.
15.	DRYER TO BE LOCATED TO THE RIGHT OF WASHING MACHINE.
16.	OPT. TANKLESS WATER HEATER TO BE INSTALLED ON EXTERIOR WALL IN GARAGE IN PLACE OF WATER HEATER LOCATION.
17.	OPT. WATER SOFTENER TO BE INSTALLED AT REAR OF GARAGE ADJACENT TO WATER HEATER.

JONATHON TUCKER RESIDENCE

Apex, North Carolina

Area 2547.3413 square ft.
Perimeter 235'-2 1/2"

Porch area (240.4063 sq. ft.)
Garage area (416.4097 sq. ft.)



Design Approval

Owner's Signature _____

Contractor's Signature _____

Date _____

This plan is approved as shown.

This plan is approved with revisions as shown on the sheets.

This plan is not approved.

Approval of the plan issues from this day forward changes to the plan and does not change any and shall apply to the project delivery date.

Concurrent Review Approval

City of Raleigh - Plans Authorized for Construction

Plans for the proposed use have been reviewed for general compliance with applicable codes. This review does not constitute a guarantee or warranty of the accuracy or completeness of the information provided by the applicant and the applicant is responsible for the accuracy and completeness of the information provided. The applicant is responsible for the accuracy and completeness of the information provided. This approval is not a guarantee of the accuracy or completeness of the information provided. All Contractors must be a member of the local chapter of the International Brotherhood of Builders and Contractors.

Transparency Field Review

Public Utilities _____

Stormwater _____

Planning / Zoning _____

Fire _____

Urban Forestry _____

Site Accessibility _____

NOTICE TO CONTRACTOR

All construction must comply with current NC Building Codes and is subject to field inspection and verification.

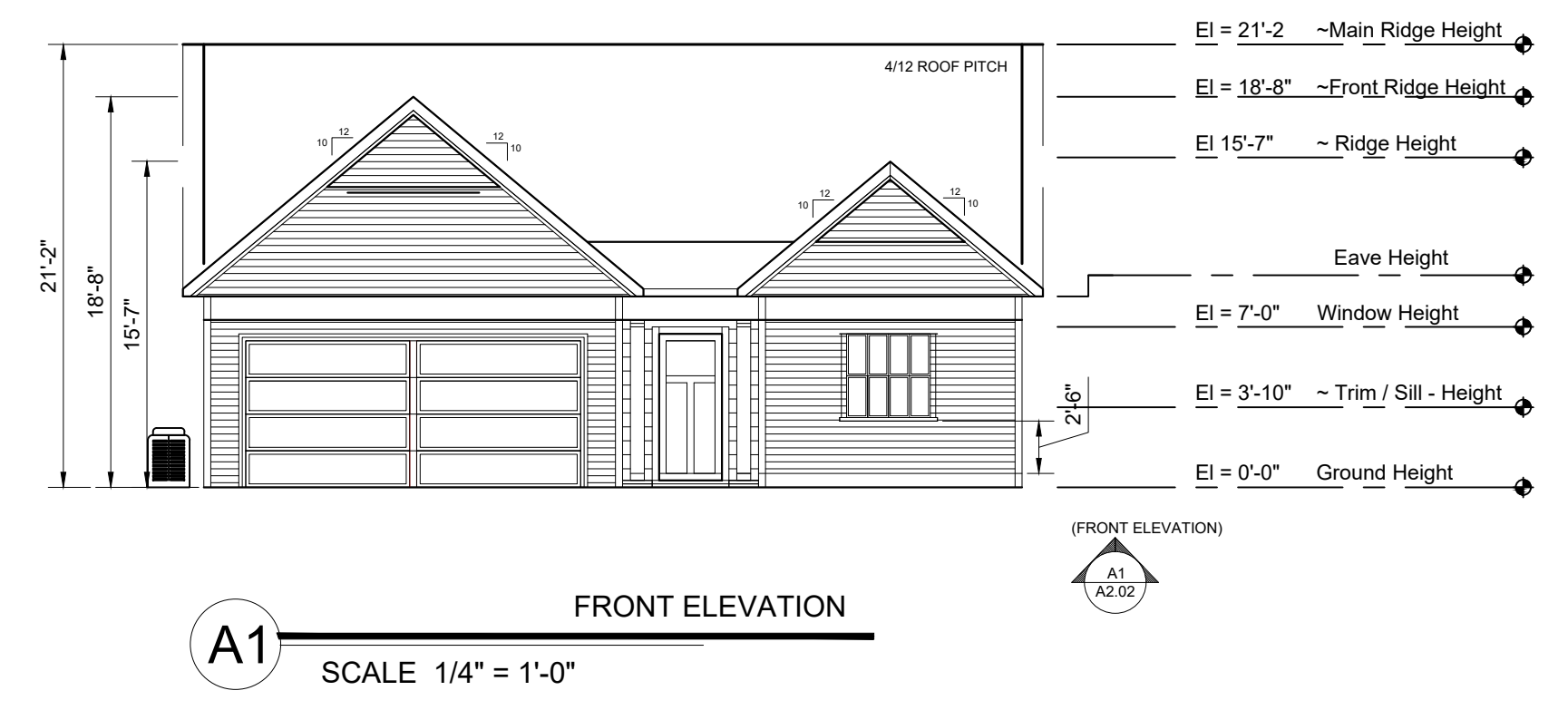
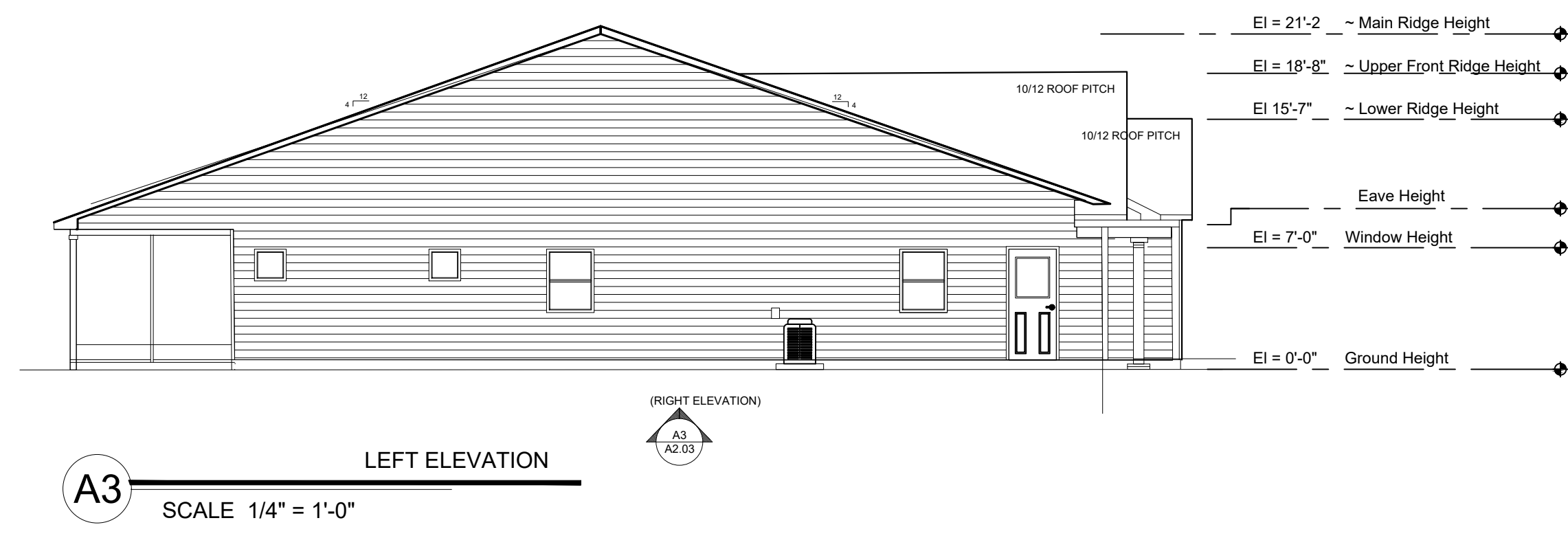
APPROVED

Limited building only review.
Permit holder responsible for full compliance with the code.

05/28/2021

[Signature]

Harnett County
NORTH CAROLINA



Vicinity Map

15 Donnibrook Run
Lot 1, Donnibrook Pines
Map Number 99-478
PIN: 0651-18-1524.000

Owned by and Plot Plan for:
Jonathan S. Tucker

Hector;s Creek Twp. Harnett County

Drawing Index

Category	Description	Sheet Number	Structural
GENERAL	COVER SHEET	A0.01	
	SITE PLAN	AS.01	
ARCHITECTURAL	FLOOR PLAN	A1.01	
	ELEVATION - 1	A1.02	
	ELEVATION - 2	A1.03	
	SCHEDULES	A1.10	
	KITCHEN LAYOUTS	A1.12	
	ROOF PITCH PLAN	A5.01	
	BATH ELEVATIONS	A6.01	
	KITCHEN DETAILS	A6.02	
	SECTION - TYPICAL	A6.03	
Structural	Framing/Lintels	S2.01	
	Framing Details	S4.01	

C GAHEY
DESIGN

123 Raleigh Street, Fuquay-Varina, North Carolina 27526
919.321.0123 • 919.422.0265 info@cgaheydesign.com

C GAHEY DESIGN
53338

JOHN MORRIS
REGISTERED ARCHITECT
9803
4.21.21

Jonathan Tucker Residence
Apex, North Carolina

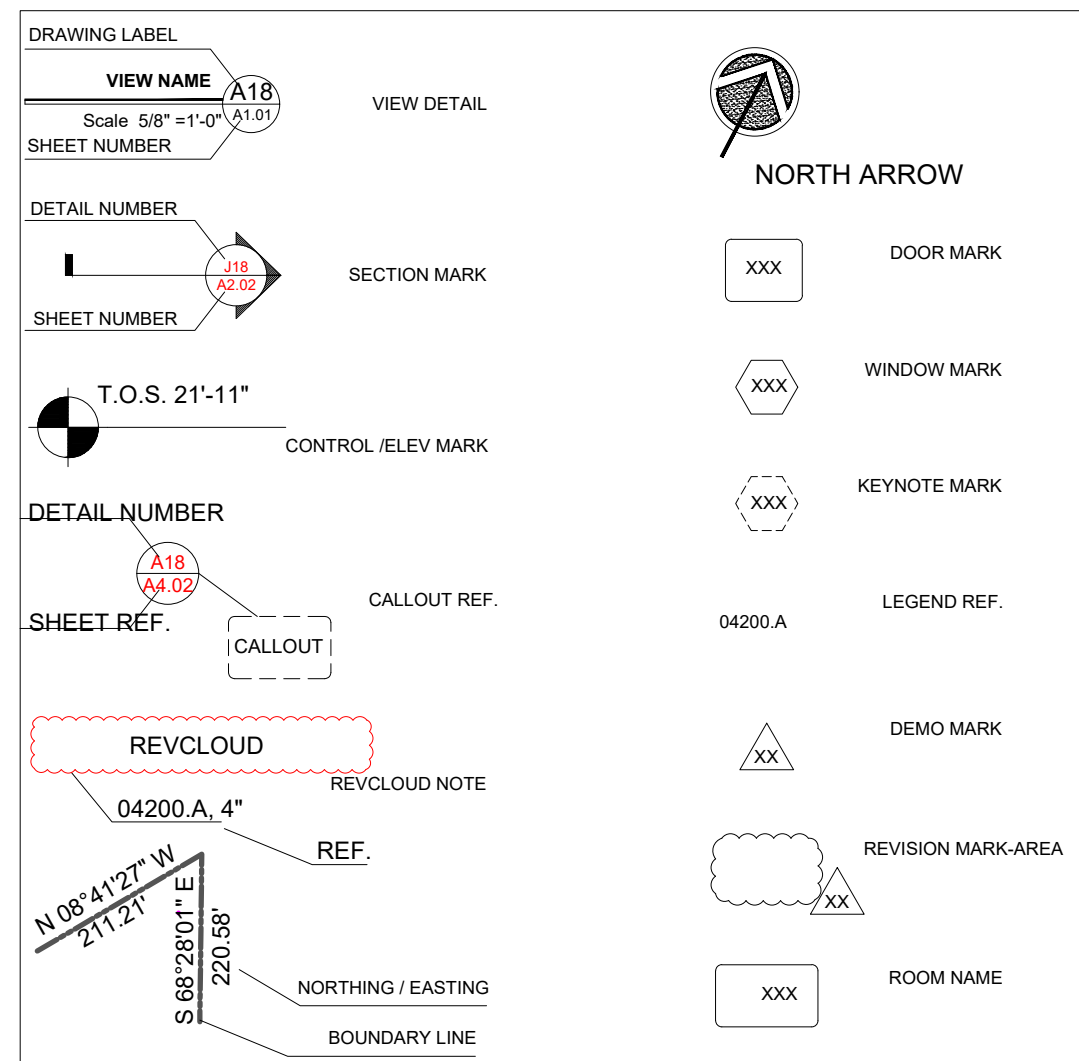
PROJECT: 2021-10
DATE ISSUED: 04.12.2021
REVISIONS: _____ DATE _____

DRAWN BY: BM
CHECK BY: JMM

Cover Sheet

A0.01

KEY LEGEND



ATTIC VENTILATION CALCS	
ATTIC VENTILATION - (300 SQ. FT. ATTIC SPACE / 1 SQ FT VENTILATION) w/ 40% - 50% REQ. VENTS GREATER THAN OR EQUAL TO 3'-0 ABOVE EAVE CORNICE VENTS PER IRC R806.2	
ELEVATIONS "LC 102" 2276 SQ FT UNDER ROOF ATTIC / 300 SQ FT / 1 SQ FT = 7.59 SQ FT VENTILATION	
RIDGE VENT 18 SQ IN = (.125 SQ FT)	
BOX VENT 50 SQ IN = (.3472 SQ FT)	
SOFFIT VENT 9 SQ IN = (.0625 SQ FT)	
7.59 SQ FT x 50% = 3.7935 SQ FT RIDGE. 7.59 SQ FT x 50% = 3.7935 SQ FT SOFFIT	
RIDGE VENT 3.793 SQ FT x 50% = 30.3 SQ FT OF RIDGE VENT 0.125 SQ FT	OR w/ HIP, BOX VENT 3.793 SQ FT = 10.9 BOX VENT(S) 0.3472 SQ FT
SOFFIT VENT 3.793 SQ FT = 60.7 FEET OF SOFFIT VENT 0.0625 SQ FT	

PLAN NOTES

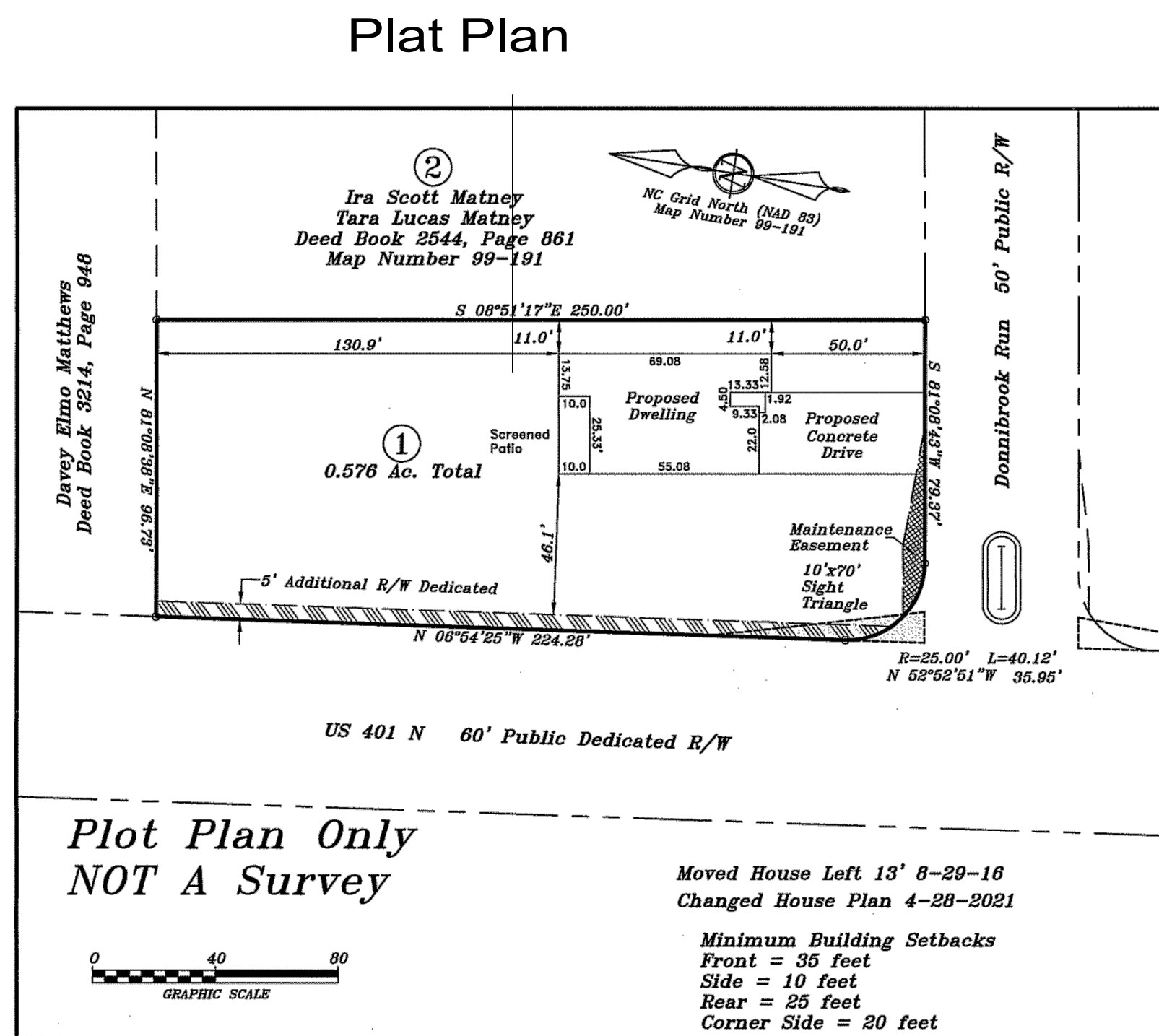
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3.	ALL FRAMED WALLS TO BE 2x4 UNLESS NOTED OTHERWISE.
4.	28" x 28" HOT WATER HEATER PLATFORM TO BE 18" ABOVE FFL (FINISHED FLOOR LEVEL. (PROVIDE ENCLOSURE AS REQUIRED BY LOCAL CODE - SEE DETAIL.
5.	THERE SHALL BE NO STEP AT GARAGE ENTRANCE AS ALLOWED BY GRADE CONDITION. OPENINGS BETWEEN GARAGE & RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1-3/8" IN THICKNESS. SOLID OR HONEYCOMB-CORE STEEL DOORS NOT LESS THAN 1-3/8" THICK. OR 20 MINUTE FIRE-RATED DOORS PER IRC.
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10.	2ND FLOOR WINDOWS: ANY OPERABLE WINDOW THAT IS MORE THAN 72" ABOVE GRADE MUST COMPLY PER IRC CODE - MIN. SILL HEIGHT.
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FRAMING NOTES

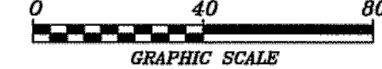
- ALL EXTERIOR WALLS ARE SHOWN AT 3-1/2" UNLESS OTHERWISE SPECIFIED.
- ALL INTERIOR WALLS ARE SHOWN AT 3-1/2" UNLESS OTHERWISE SPECIFIED.
- SOLID BLOCK ALL GIRDERS & BEAMS TO THE FOUNDATION.
- ALL INTERIOR NON-LOAD BEARING WALLS TO BE 16" O.C.
- ALL LOAD BEARING WALLS TO 16" O.C.
- ALL HEADERS TO BE (2) PLY U.N.O. 2x4 AND 2x8 TO BE SPF OR SP No. 2 OR BETTER. HEADERS GREATER THAN 2x6 TO BE SP No. 2 OR BETTER.
- PROVIDE SOLID BLOCKING OR BLOCKING PER JOIST MANUFACTURER BETWEEN ALL JOISTS AT ALL COLUMN POINT LOADS, BEAMS, GIRDERS, AND LOAD BEARING WALLS.
- FLOOR SYSTEM ENGINEERED BY OTHERS. INSTALL PER MANUFACTURERS RECOMMENDATION, NOTES & DETAILS, CHANGES OR MODIFICATIONS TO THESE DOCUMENTS ARE NOT PERMITTED WITHOUT A LETTER FROM THE ENGINEER OF RECORD.
-

TRUSS NOTES

- UNLESS OTHERWISE NOTED
- TRUSS STRAPS TO BE SIMPSON H2.5A w/10d NAILS MIN. (2) M2.5A TO BE USED TO MULTI-PLY TRUSS (1) EACH SIDE w/8d NAILS MIN.
- K2.5T TRUSS STRAPS ARE TO BE USED U.O. H2.5A WHEN EXTERIOR SHEATHING IS NOT NAILED TO THE TOP PLATE OF THE WALL.
- THESE PLANS ARE ENGINEERED BASED ON TRUSS LAYOUTS AND ENGINEERING PROVIDED BY TRUSS MANUFACTURER, CHANGES OR MODIFICATIONS ARE NOT PERMITTED WITHOUT A LETTER FROM THE ENGINEER OF RECORD.
- FOR GABLE END BRACING, START AT ROOF SIDELINE AND BRACE PER DETAIL REFER TO STRUCTURAL DETAILS FOR ADDITIONAL INFORMATION.
- HIP JACKS TO BE TOE NAILED w/ (3) 10d NAILS MIN. TO HIP ORDER TRUSS
- WALL SHEATHING TO BE CONTINUOUS THROUGH FLOOR SYSTEM. BLOCK ALL SEAMS.

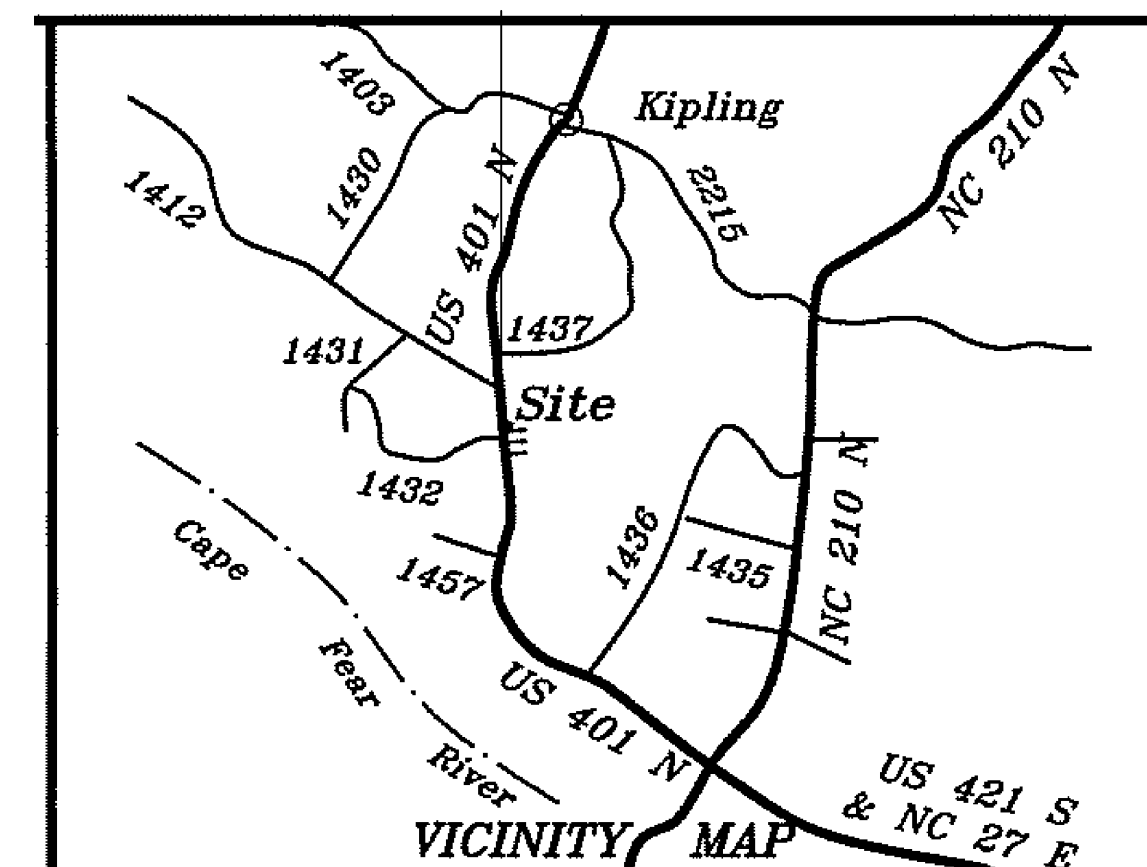


Plot Plan Only
NOT A Survey



Moved House Left 13' 8-29-16
Changed House Plan 4-28-2021
Minimum Building Setbacks
Front = 35 feet
Side = 10 feet
Rear = 25 feet
Corner Side = 20 feet

Vicinity Map



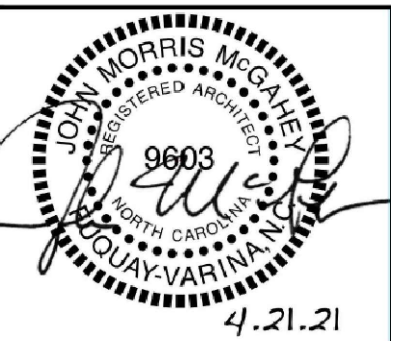
15 Donnbrook Run
Lot 1, Donnbrook Pines
Map Number 99-478
PIN: 0651-18-1524.000
Owned by and Plot Plan for:
Jonathan S. Tucker
Hector;s Creek Twp. Harnett County
Scale: 1" = 40' Date: 6-24-16

JONATHON TUCKER RESIDENCE

Apex, North Carolina

Area 2547.3413 square ft.
Perimeter 235'-2 1/2"

Porch area (240.4063 sq. ft.)
Garage area (416.4097 sq. ft.)



Jonathan Tucker Residence
Apex, North Carolina

PROJECT:	2021-10
DATE ISSUED:	04.12.2021
REVISIONS:	DATE
DRAWN BY:	JMM
CHECK BY:	JMM
Cover Sheet	

A0.02

KEY LEGEND

DRAWING LABEL

VIEW NAME: A18
Scale: 5/8" = 1'-0" (1/2")
SHEET NUMBER: 2/2

VIEW DETAIL

DETAIL NUMBER: 1/2
SECTION MARK

T.O.S. 21'-11"

CONTROL / ELEV MARK

DETAIL NUMBER: A18
SHEET REF. 04.02

CALLOUT REF. [CALLOUT]

REVCLLOUD: 04200.A, 4"
REVCLLOUD NOTE

REF.

NORTHING / EASTING: N 08°41'27" W, 217.21', 220.85', 9.6822801° E

BOUNDARY LINE

NORTH ARROW

DOOR MARK: XXX

WINDOW MARK: XXX

KEYNOTE MARK: XXX

LEGEND REF.: 04200.A

DEMO MARK: XX

REVISION MARK AREA: [REVISION MARK AREA]

ROOM NAME: XXX

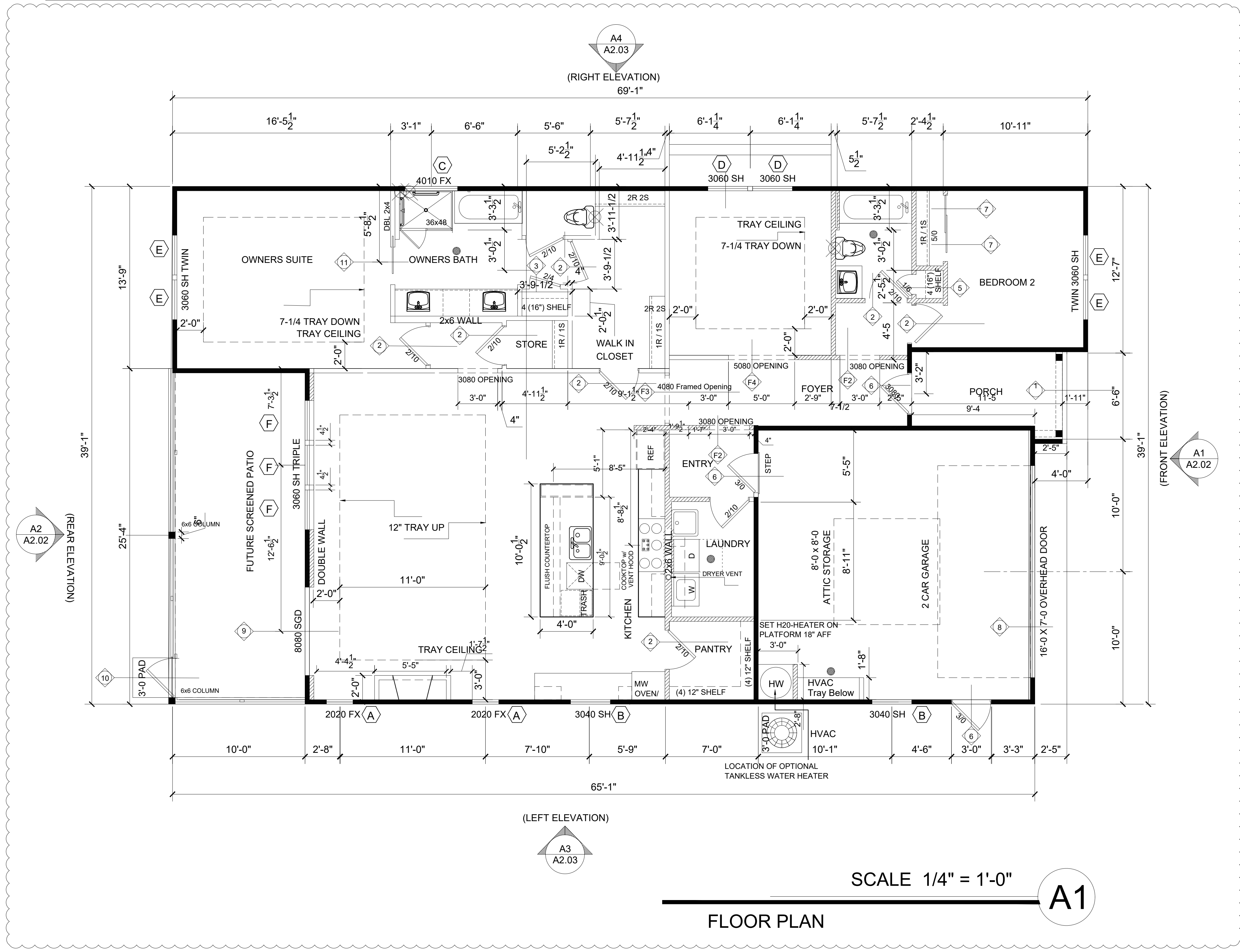
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-

TUCKER RESIDENCE - APEX, NC
 Area 2547.3413 square ft.
 Perimeter 235'-2 1/2"
 Porch area (240.4063 sq. ft.)
 Garage area (416.4097 sq. ft.)

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FLOOR PLAN

SCALE 1/4" = 1'-0"

A1

TUCKER RESIDENCE

2 Overall Floor Plan
Scale: 1/4" = 1'-0"

1 Key Plan
Not to Scale

CGAHEY DESIGN
 123 Raleigh Street, Fayetteville, North Carolina 27526
 919.321.0123 • 919.422.0265 info@cgahaydesign.com

CGAHEY DESIGN
 53338
 FAYETTEVILLE, NC

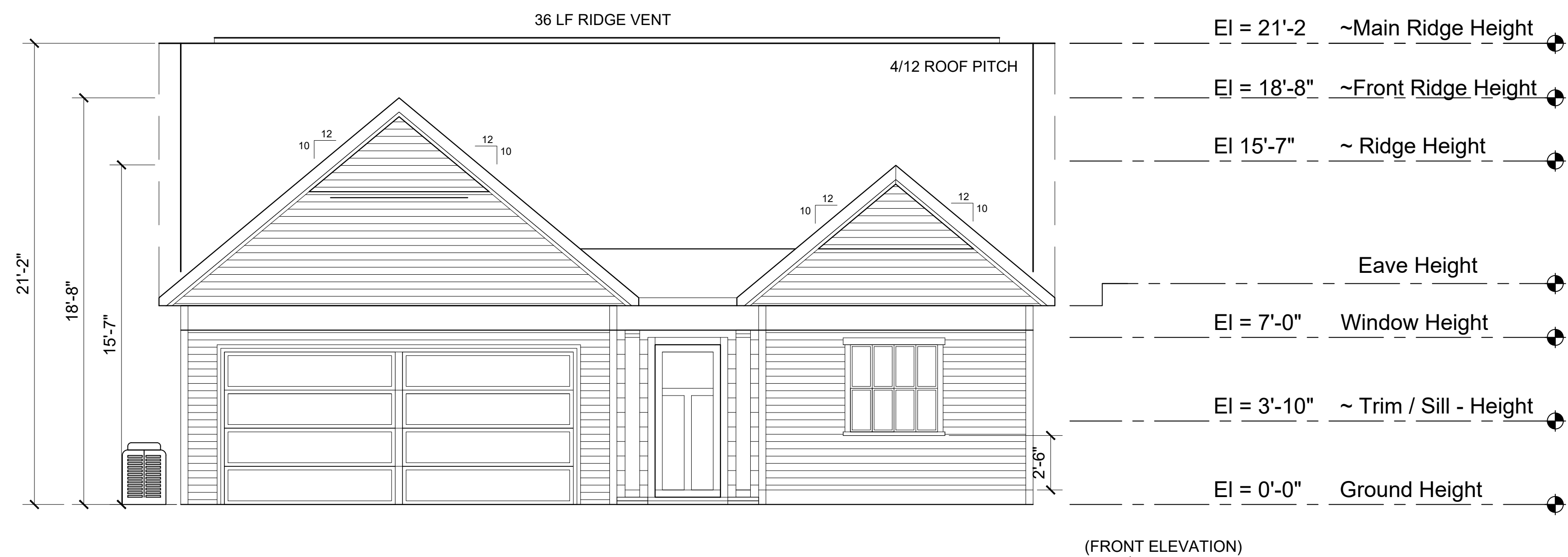
MORRIS WOOD
 9603
 FAYETTEVILLE, NC
 4.21.21

**TUCKER RESIDENCE
 LEFT SIDE GARAGE**

PROJECT: 2021-10
 DATE ISSUED: 04.12.21
 REVISIONS: [REVISIONS]

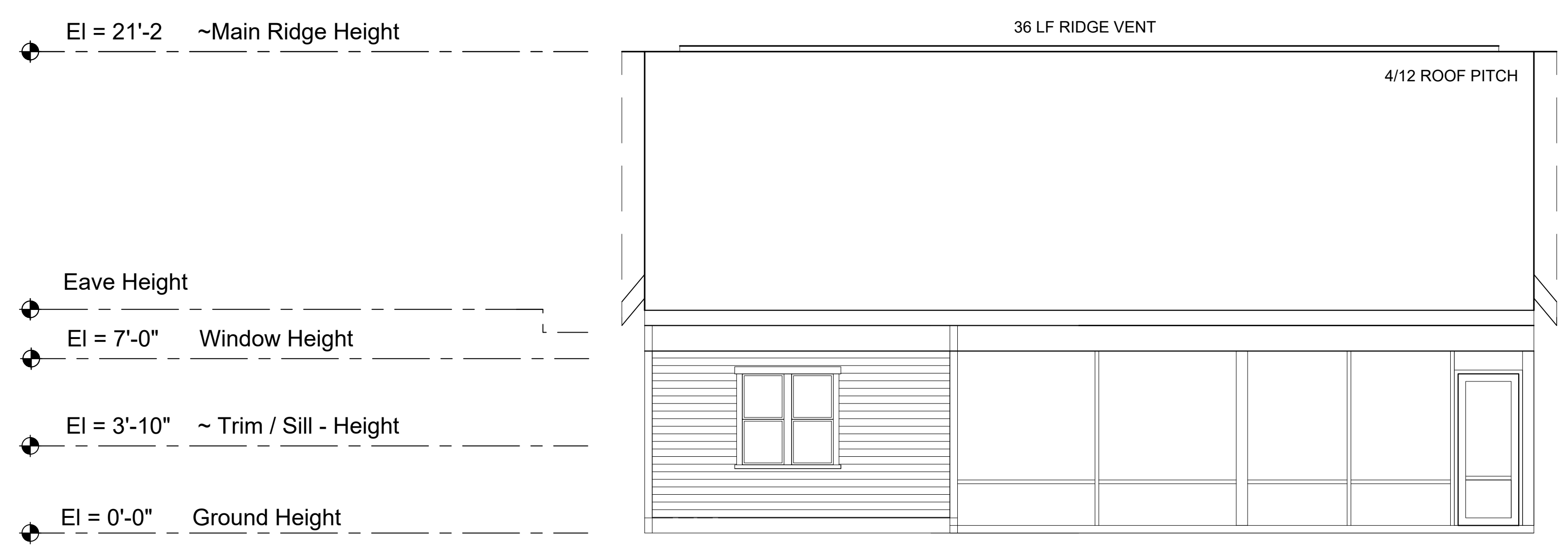
DRAWN BY: BM
 CHECK BY: JMM
 Floor Plan

A1.01



A1 FRONT ELEVATION
SCALE 1/4" = 1'-0"

(FRONT ELEVATION)
A1
A2.02



A2 REAR ELEVATION
SCALE 1/4" = 1'-0"

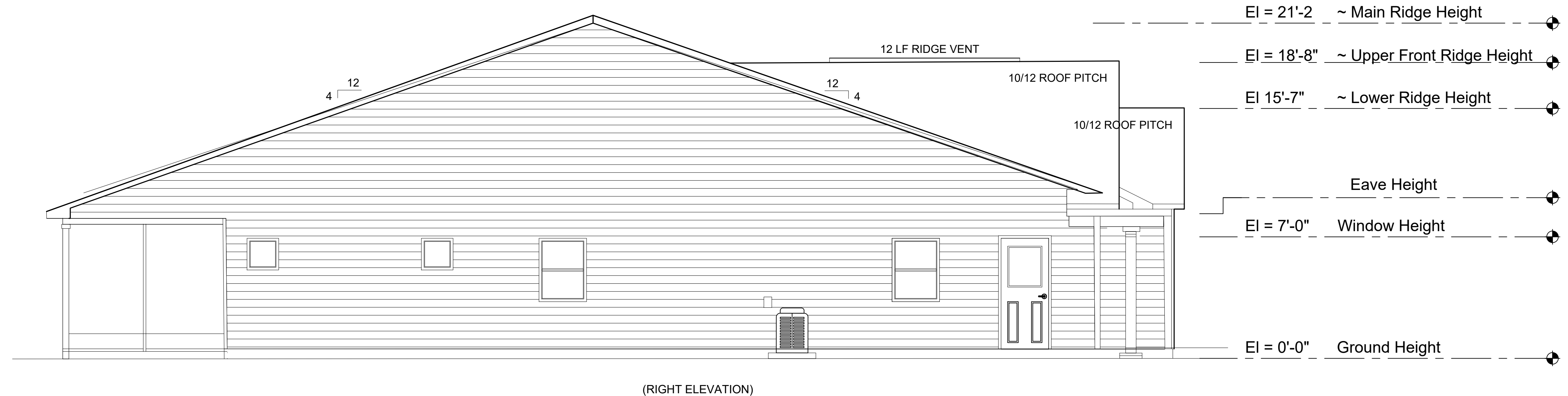
(REAR ELEVATION)
A2
A2.02

PROJECT:	2021-10
DATE ISSUED:	04.12.21
REVISIONS:	DATE

DRAWN BY: BM
CHECK BY: JMM
Floor Plan & Details

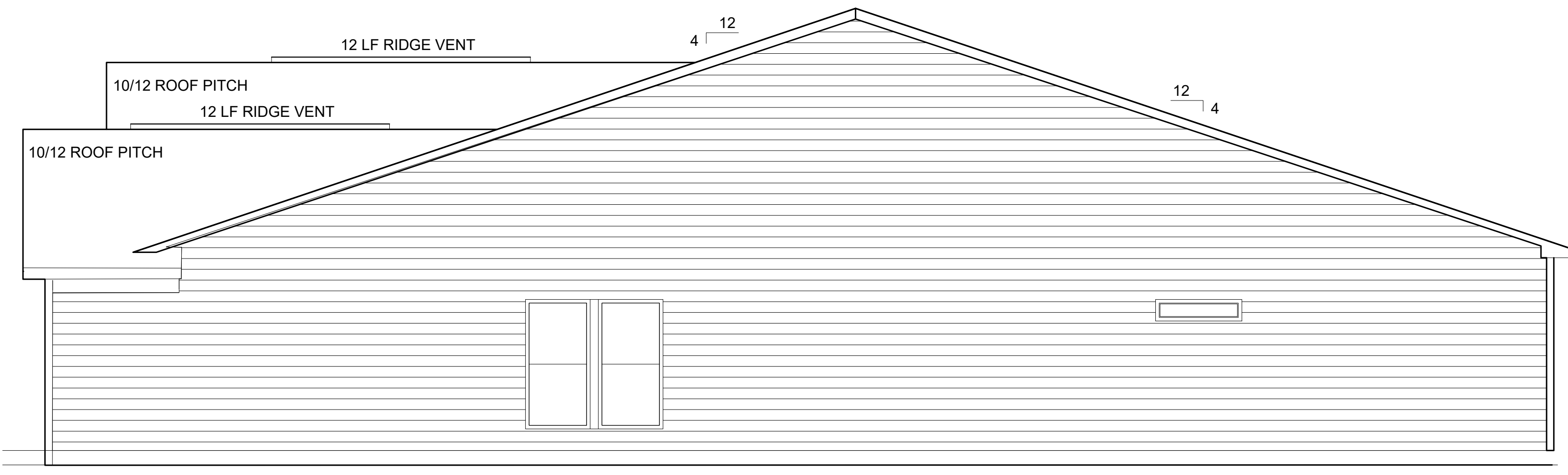
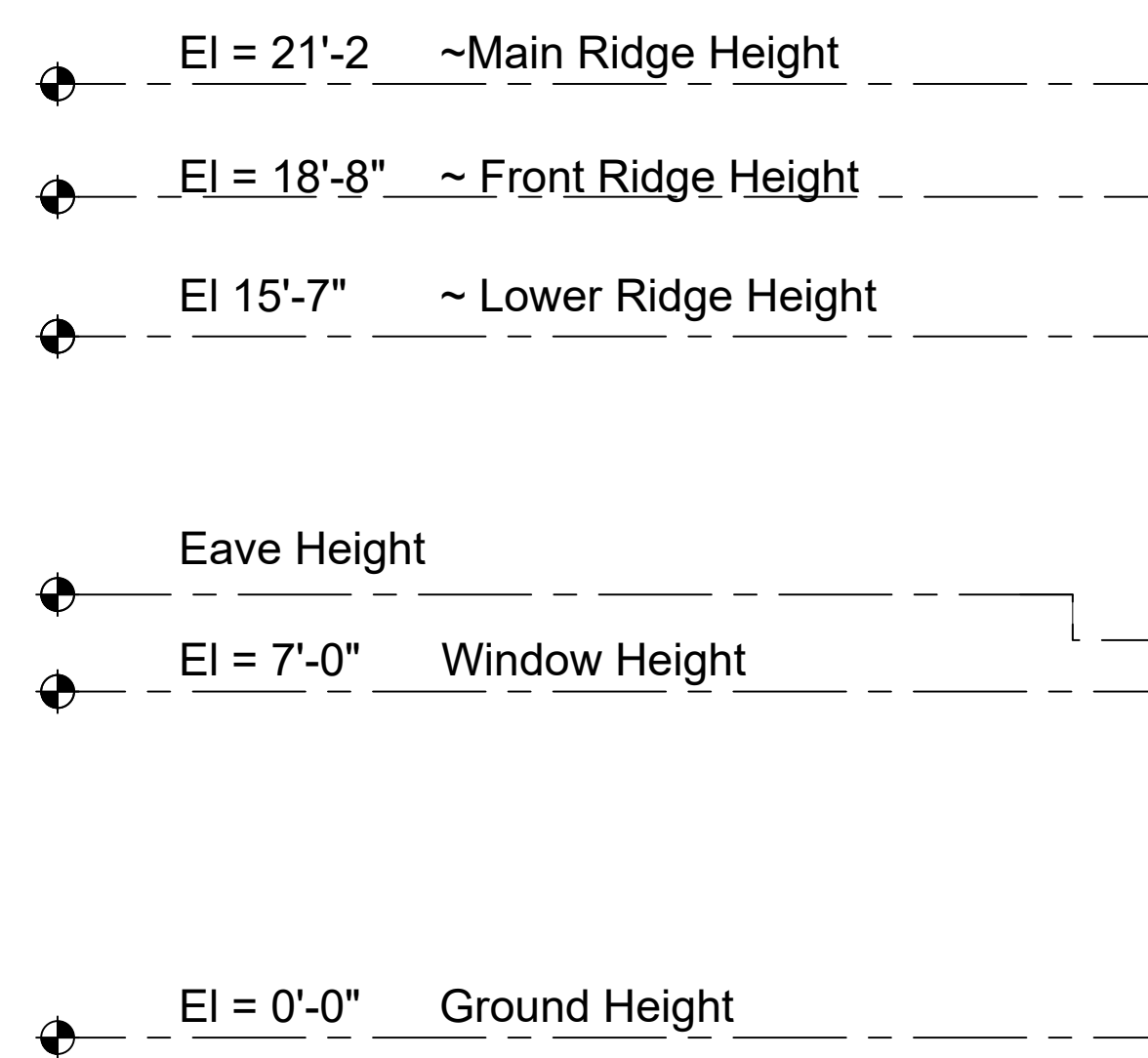
TUCKER RESIDENCE
 LEFT SIDE GARAGE

PROJECT:	2021-10
DATE ISSUED:	04.12.21
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Floor Plan & Details	



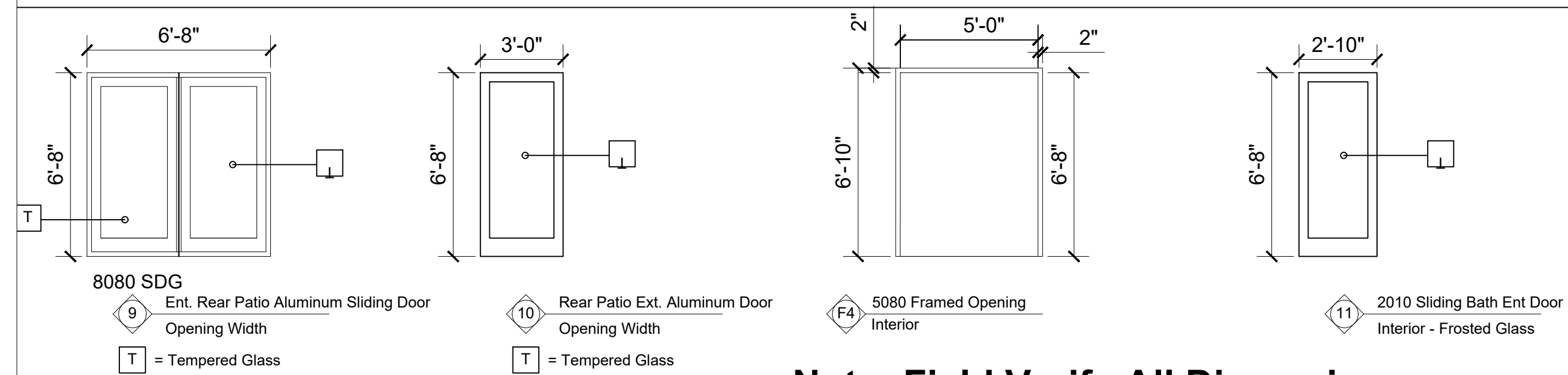
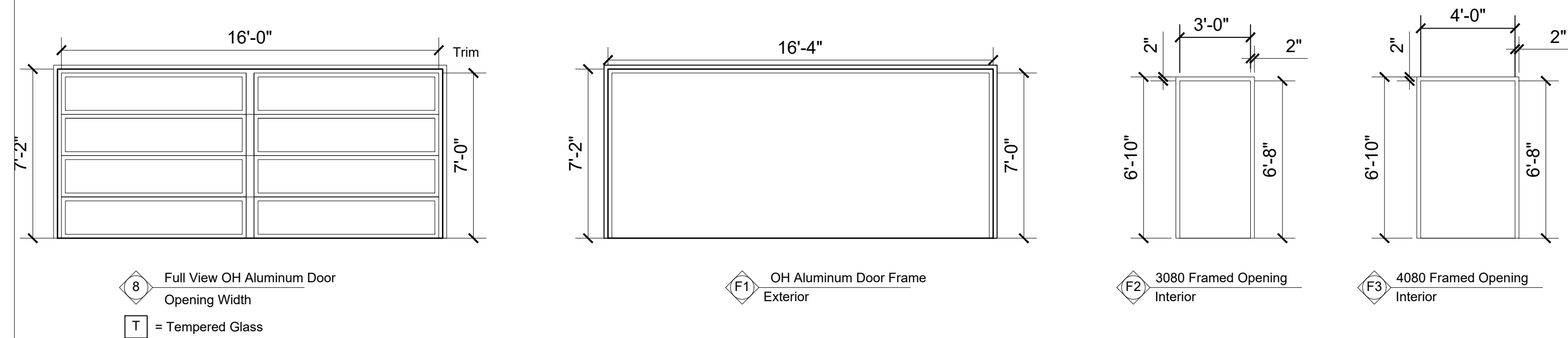
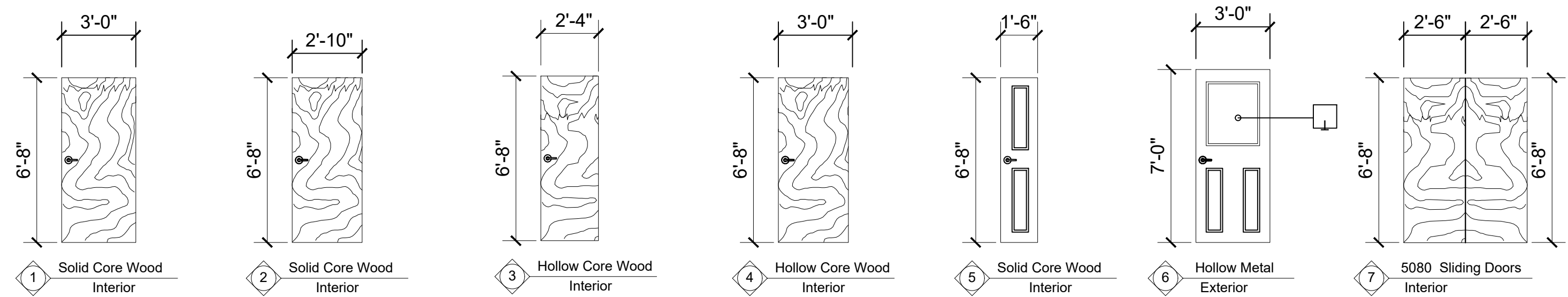
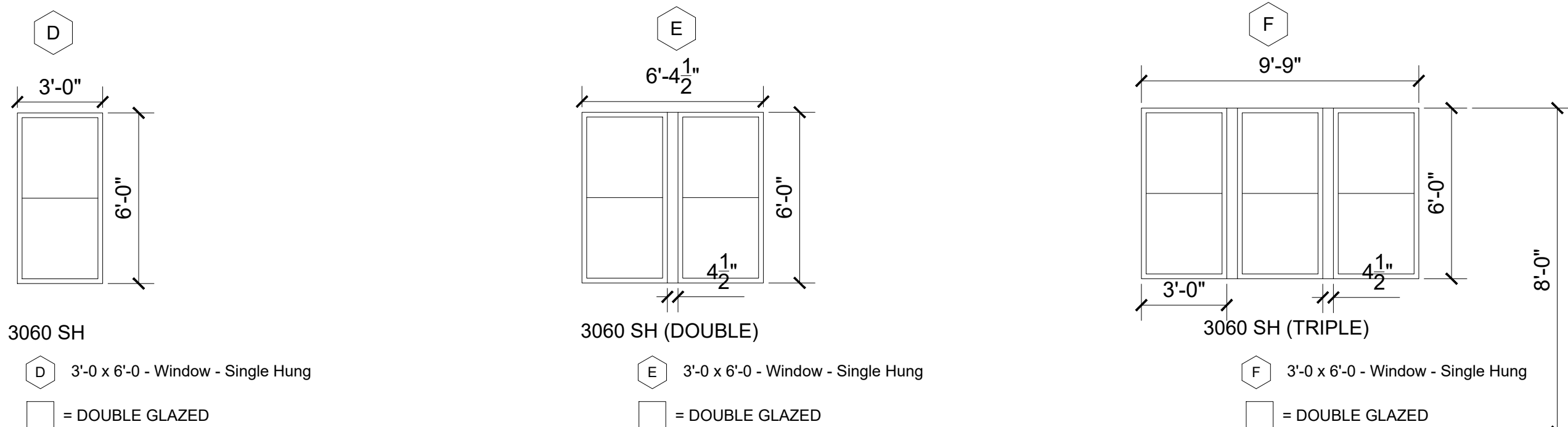
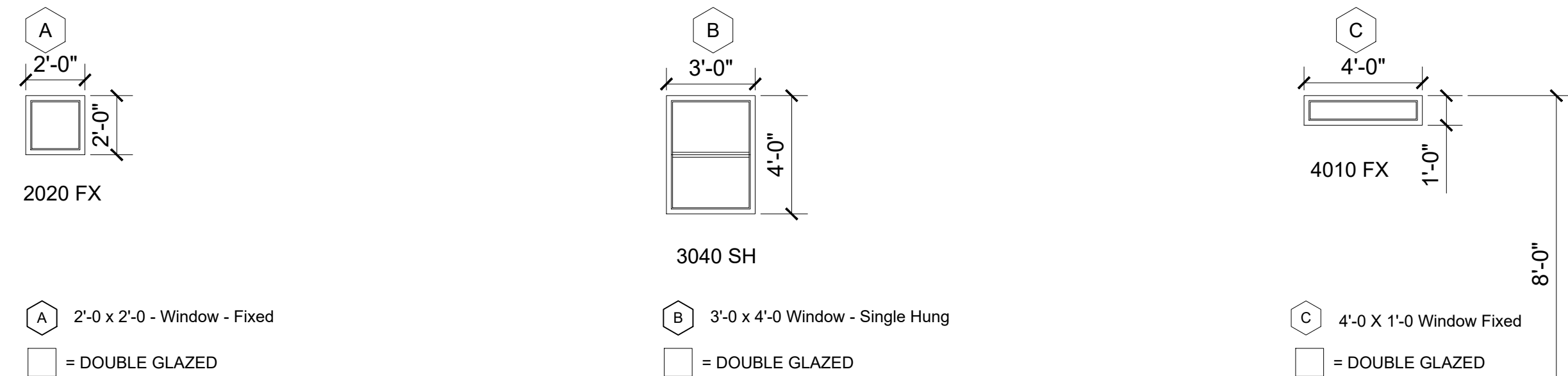
(RIGHT ELEVATION)
 A3
 A2.03

A3 LEFT ELEVATION
 SCALE 1/4" = 1'-0"



(LEFT ELEVATION)
 A4
 A2.03

A4 RIGHT ELEVATION
 SCALE 1/4" = 1'-0"



Note: Field Verify All Dimensions.

Room Finish Schedule

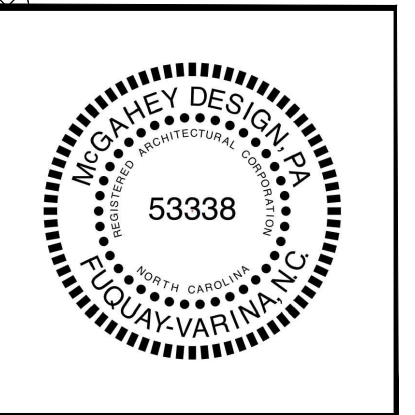
Mark	Room Name	Floor	Base	Wall	Ceiling	Clg. Hgt.	Remarks
100	2 Car Garage	Sealed Concrete	NA	Painted Drywall	5/8 Gypsum	9'-0"	Fireproof
101	Pantry	Ceramic	Baseboard	Painted Drywall	Sheetrock	9'-0"	Waterproof
102	Laundry Room	Ceramic	Ceramic	Painted Drywall	Sheetrock	9'-0"	Waterproof
103	Entry Area	Oak Floor	Baseboard	Painted Drywall	Sheetrock	9'-0"	---
104	Foyer Area	Oak Floor	Baseboard	Painted Drywall	Sheetrock	9'-0"	---
105	Porch	Ceramic	Ceramic	Painted Drywall	Sheetrock	9'-0"	---
106	Kitchen	Ceramic	Ceramic	Painted Drywall	Sheetrock	9'-0"	Waterproof
107	Main Room	Oak Floor	Baseboard	Painted Drywall	Sheetrock	9'-0"	Tray Ceiling
108	Screened Patio	Ceramic	Ceramic	Painted Drywall	Sheetrock	9'-0"	Waterproof
109	Owners Suite	Oak Floor	Baseboard	Painted Drywall	Sheetrock	9'-0"	Tray Ceiling
110	Owners Bath	Ceramic	Ceramic	Painted Drywall	Sheetrock	9'-0"	Wet Room
111	Walk-in-Closet	Oak Floor	Baseboard	Painted Drywall	Sheetrock	9'-0"	---
112	Flex Space	Oak Floor	Baseboard	Painted Drywall	Sheetrock	9'-0"	Tray Ceiling
113	Second Bath	Ceramic	Ceramic	Painted Drywall	Sheetrock	9'-0"	Wet Room
114	Second Bedroom	Oak Floor	Baseboard	Painted Drywall	Sheetrock	9'-0"	---
115	HVAC Closet	Ceramic	Ceramic	Painted Drywall	Sheetrock	9'-0"	Fireproof
116	Store Room	Oak Floor	Baseboard	Painted Drywall	Sheetrock	9'-0"	Fireproof

Door Schedule

Mark	Door			Frame		Remarks
	Size	Mat'l	Type	Mat'l	Interior/Exterior	
1	3'-0" X 7'-0"	Wood	Interior	Wood	Interior	Interior Door
2	2'-10" X 6'-8"	Wood	Interior	Wood	Interior	Interior Door
3	2'-4" X 6'-8"	Wood	Interior	Wood	Interior	Interior Door
4	3'-0" X 6'-8"	Wood	Interior	Wood	Interior	Interior Door
5	1'-6" X 6'-8"	Wood	Interior	Wood	Interior	Interior Door
6	3'-0" X 7'-0"	Alum	Interior	Wood	Interior	Interior Door
7	2'-6" X 6'-8" Pair	Wood	Interior	Wood	Interior	Interior Door
8	16'-0" X 7'-0"	Alum	Exterior	Wood	Exterior	Full OH Door - Grey Tint Glass
9	6'-8" X 6'-8"	Alum	Exterior	Alum	Exterior	8080-Sliding Door-Grey Tint Glass
10	3'-0" X 6'-8"	Alum	Exterior	Alum	Exterior	Alum. Door-Grey Tint Glass
11	2'-10" X 6'-8"	Wood	Interior	Wood	Interior	Sliding Door-Frosted Glass
F2	3'-0" X 6'-8"	---	---	Wood	Interior	3080 Framed Opening
F3	4'-0" X 6'-8"	---	---	Wood	Interior	4080 Framed Opening
F4	4'-0" X 6'-8"	---	---	Wood	Interior	5080 Framed Opening

Window Schedule

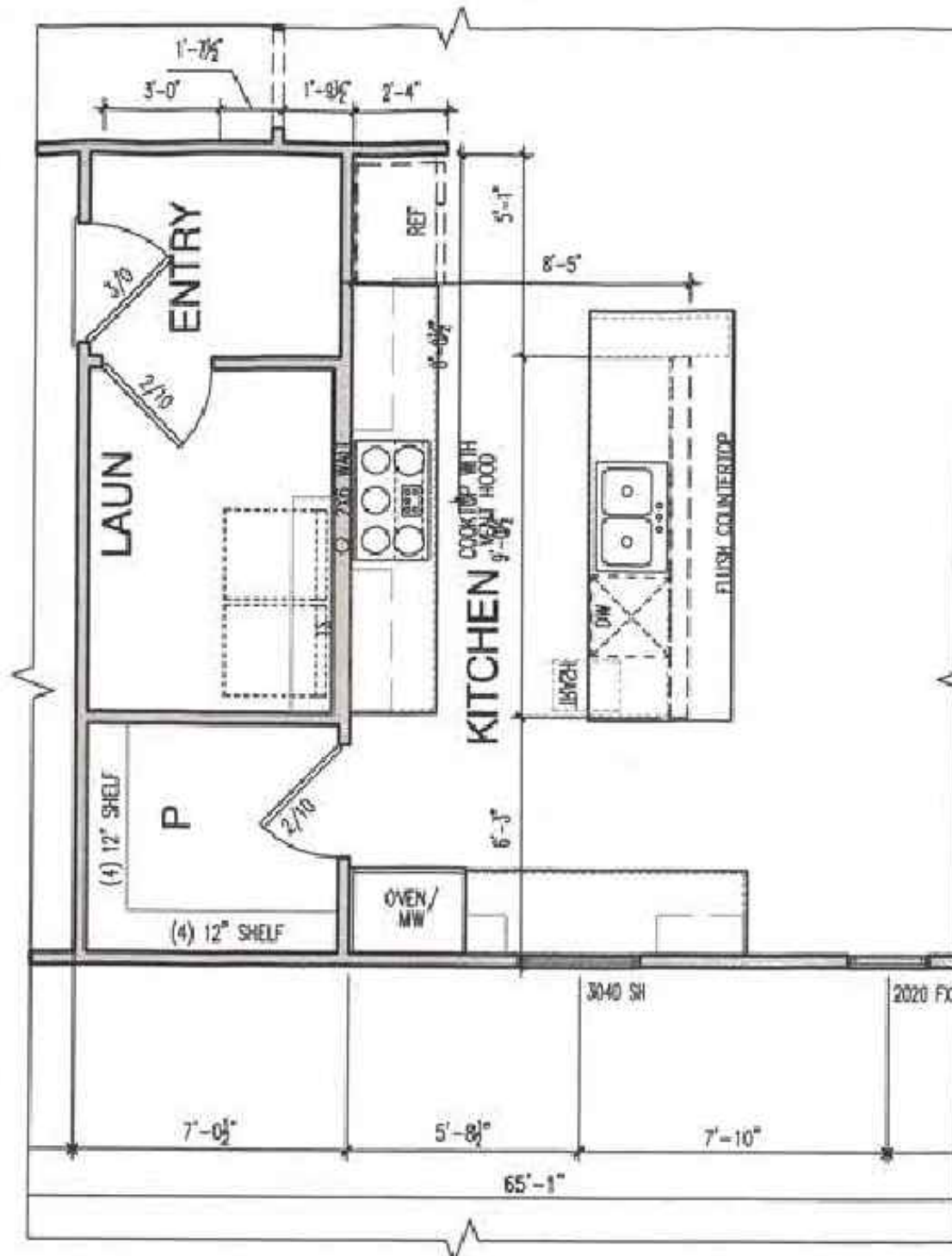
Mark	W	Size	H	Type	Material	Glass	Remarks
A	2'-0	x 2'-0		FIXED	Alum	3/4" Insul. Glass	SINGLE
B	3'-0	x 4'-0		SINGLE HUNG	Alum	3/4" Insul. Glass	SINGLE
C	4'-0	x 1'-0		FIXED	Alum	3/4" Insul. Glass	SINGLE
D	3'-0	x 6'-0		SINGLE HUNG	Alum	3/4" Insul. Glass	SINGLE
E	3'-0	x 6'-0		SINGLE HUNG	Alum	3/4" Insul. Glass	TWIN
F	3'-0	x 6'-0		SINGLE HUNG	Alum	3/4" Insul. Glass	TRIPLE



**TUCKER RESIDENCE
LEFT SIDE GARAGE**

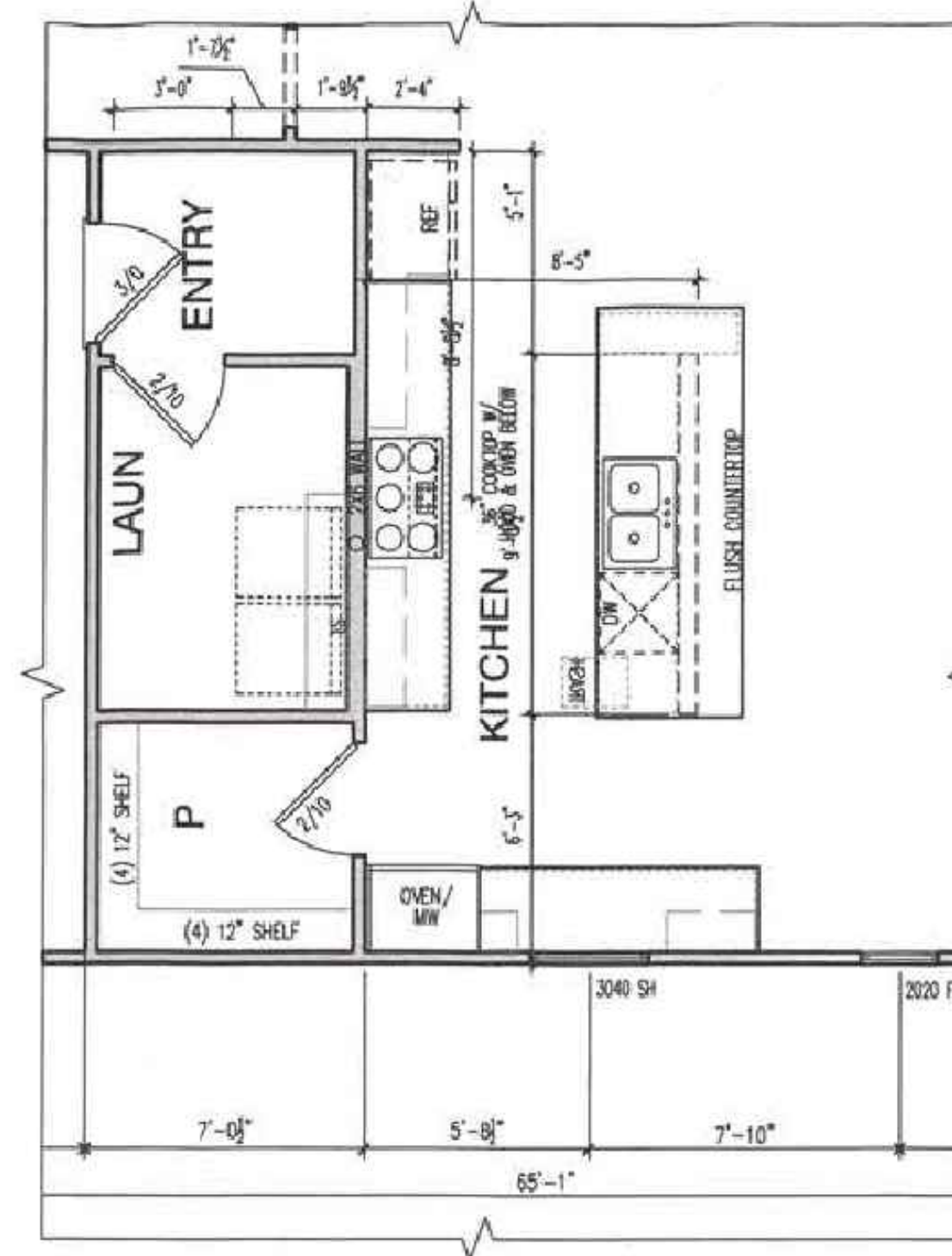
PROJECT: 2021-10
DATE ISSUED: 04.12.21
REVISIONS: DATE

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CHECK BY: JMM
Floor Plan & Details



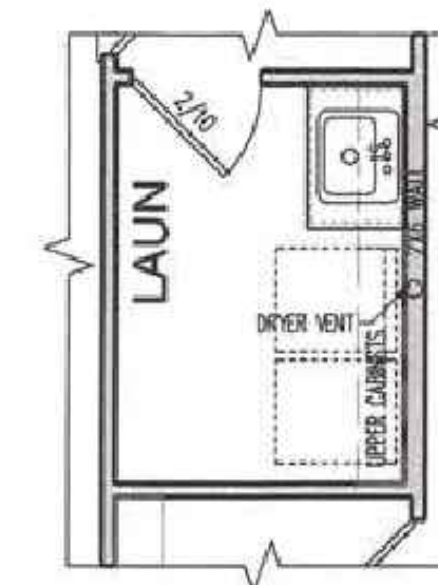
KITCHEN LAYOUT 4

SCALE 1/4" = 1'-0" (NOTE: SCALE 1/8"=1'-0" ON 11X17 PAPER)



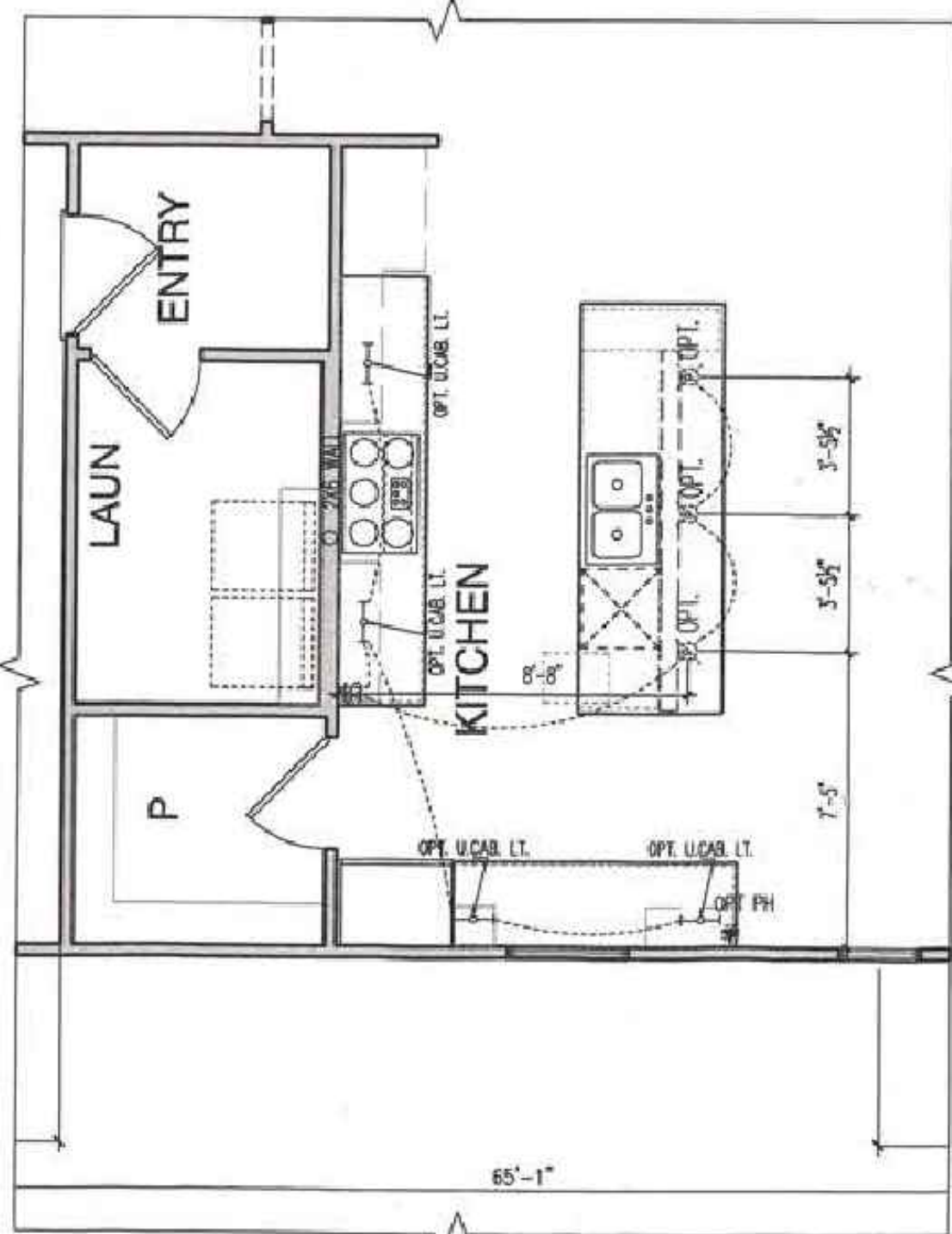
KITCHEN LAYOUT 5

SCALE 1/4" = 1'-0" (NOTE: SCALE 1/8"=1'-0" ON 11X17 PAPER)



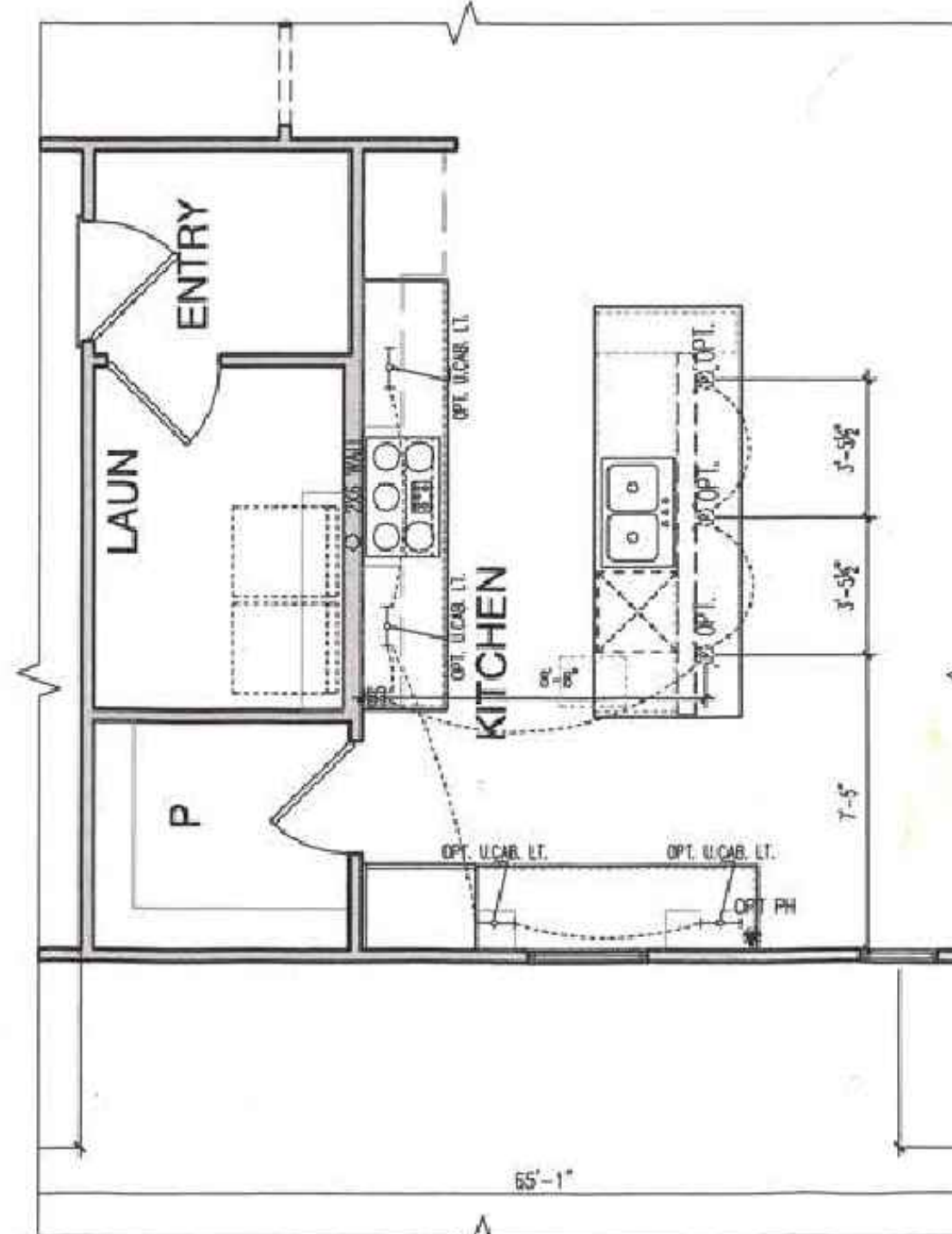
LAUNDRY LAYOUT 3

SCALE 1/4" = 1'-0" (NOTE: SCALE 1/8"=1'-0" ON 11X17 PAPER)



**KITCHEN LAYOUT 4
OPTIONAL UTILITY PLAN**

SCALE 1/4" = 1'-0" (NOTE: SCALE 1/8"=1'-0" ON 11X17 PAPER)

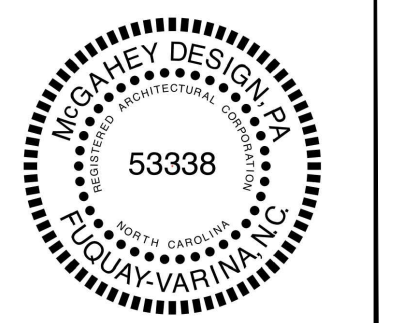


**KITCHEN LAYOUT 5
OPTIONAL UTILITY PLAN**

SCALE 1/4" = 1'-0" (NOTE: SCALE 1/8"=1'-0" ON 11X17 PAPER)

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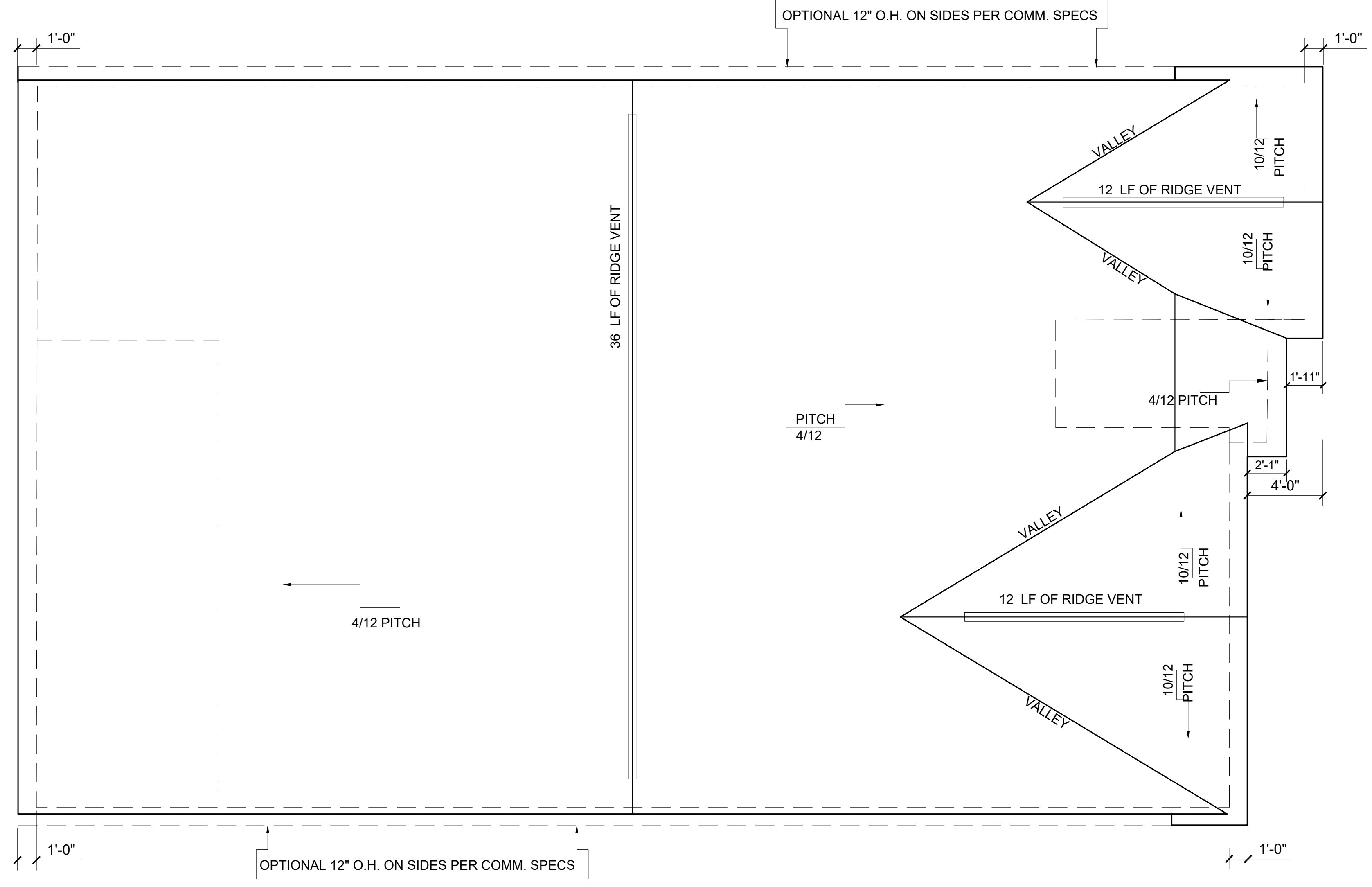
**TUCKER RESIDENCE
LEFT SIDE GARAGE**

Flakstone
 BELMONT ENGINEERING, PLLC
 Project # P-0328
 5400 AUSTIN RD., SUITE 200
 AUSTIN, TX 78745
 TEL: 512.452.4055
 RYAN RAMSDEEN, PE
 P.E.# 038194
 THOMAS A. WEBER, PE
 P.E.# 038201
 NORTH CAROLINA

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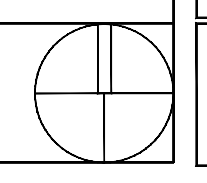
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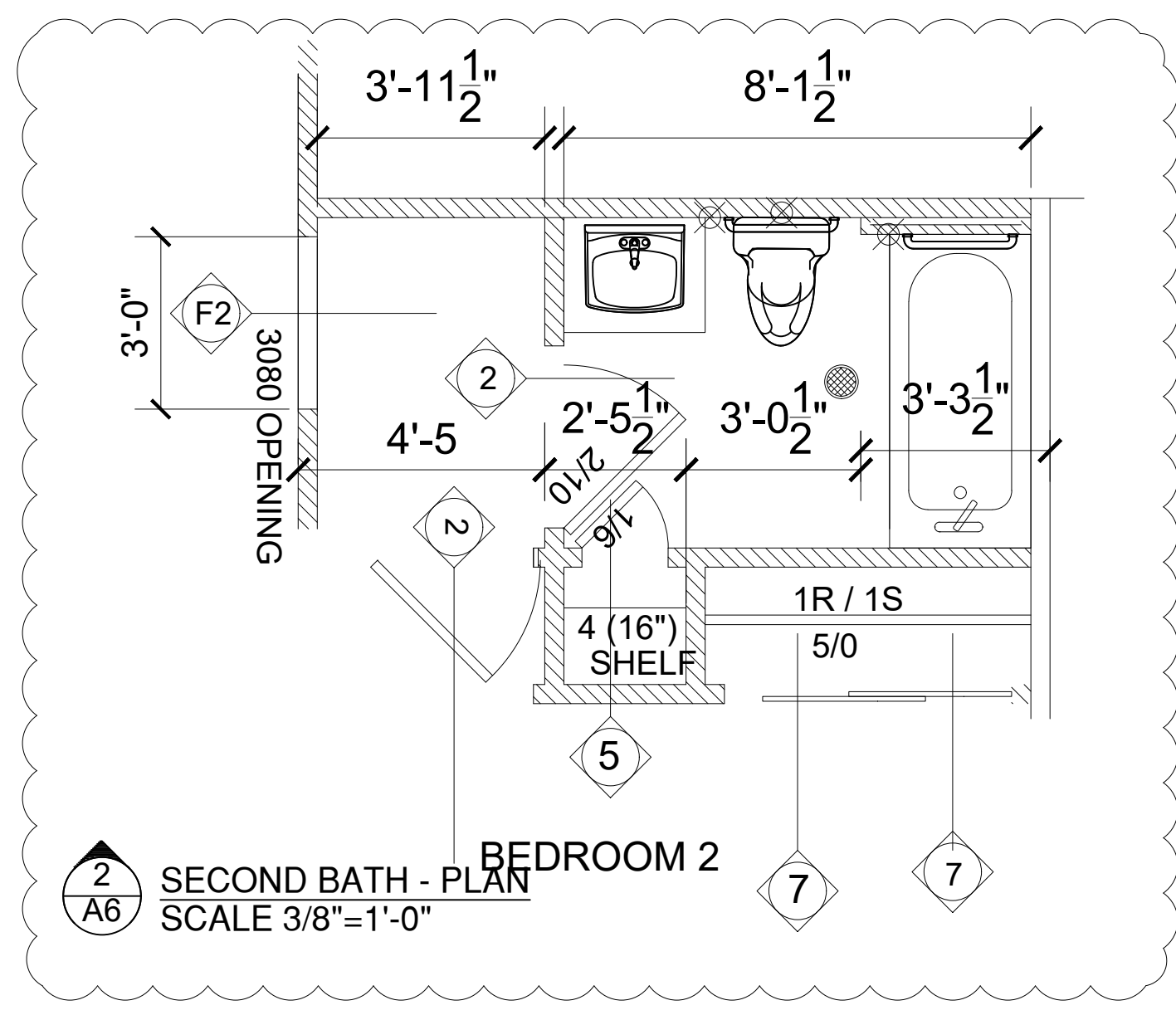
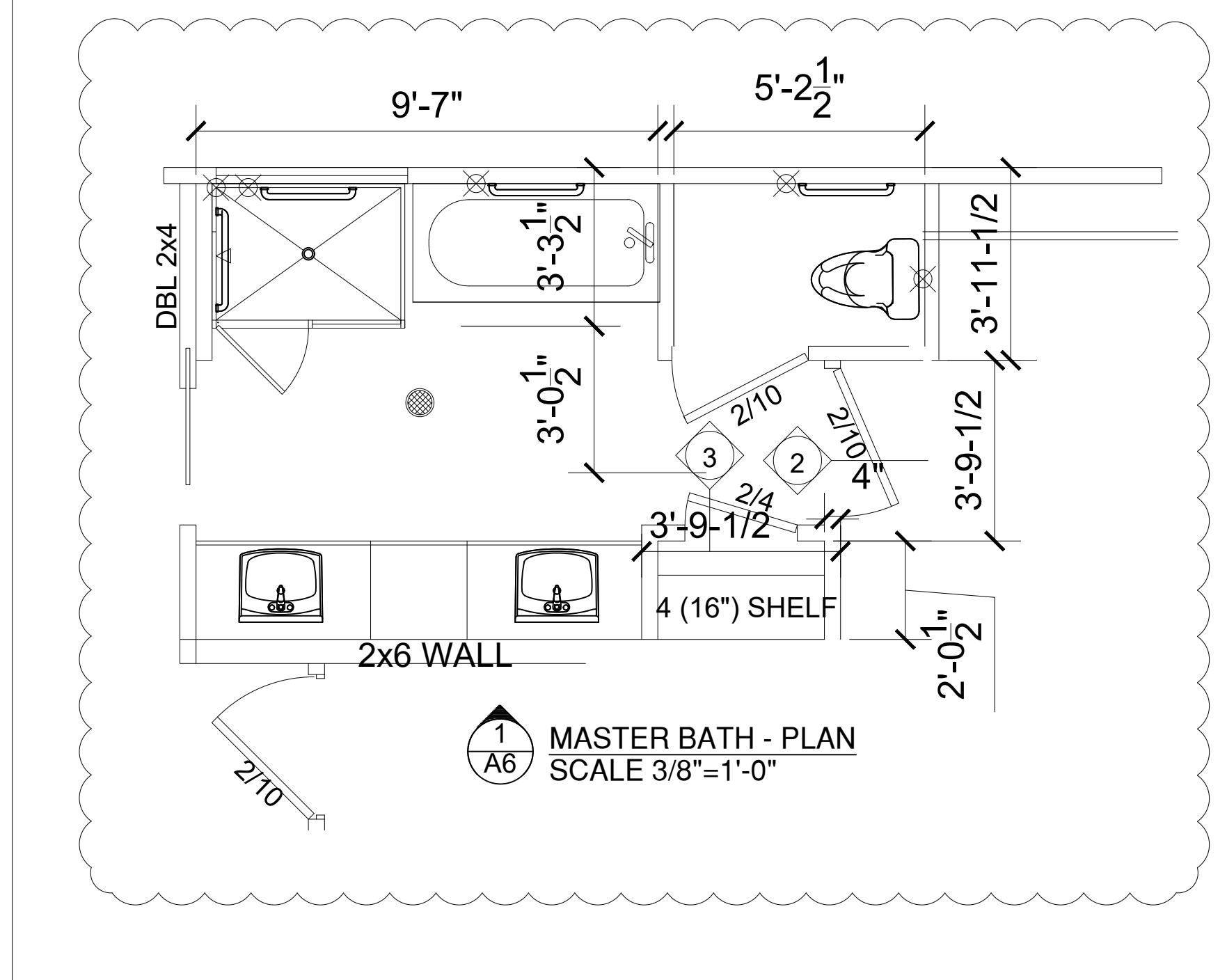
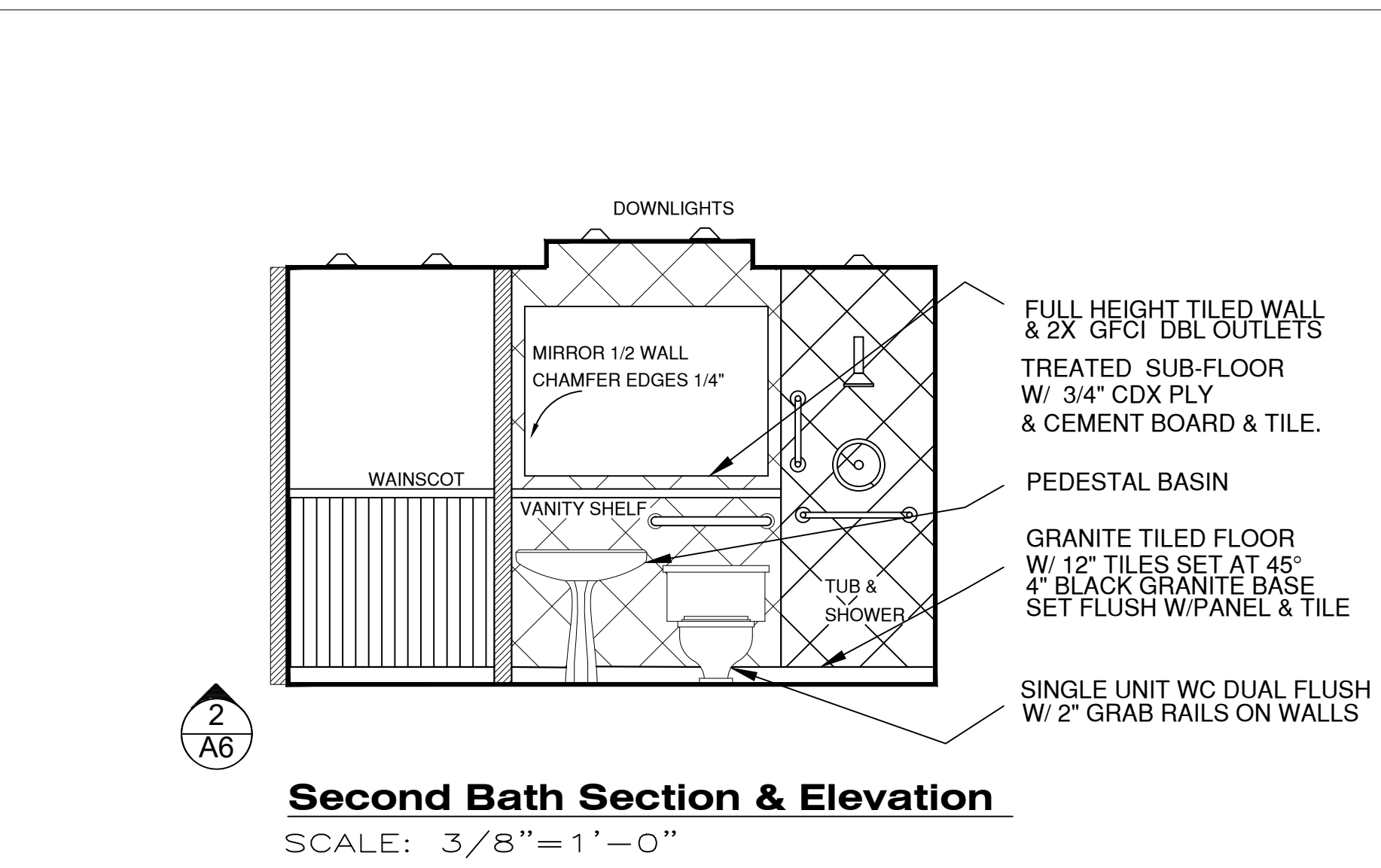
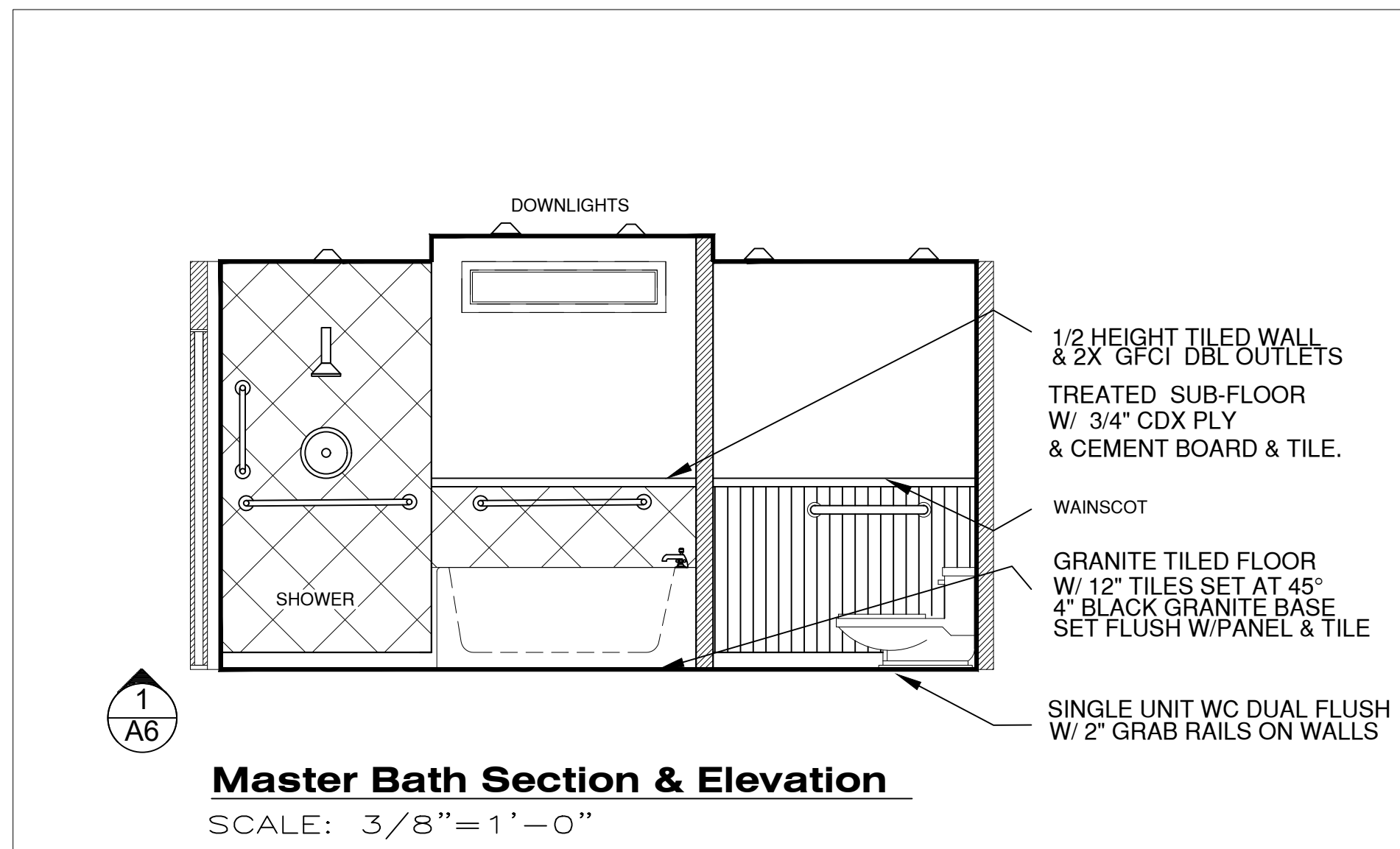
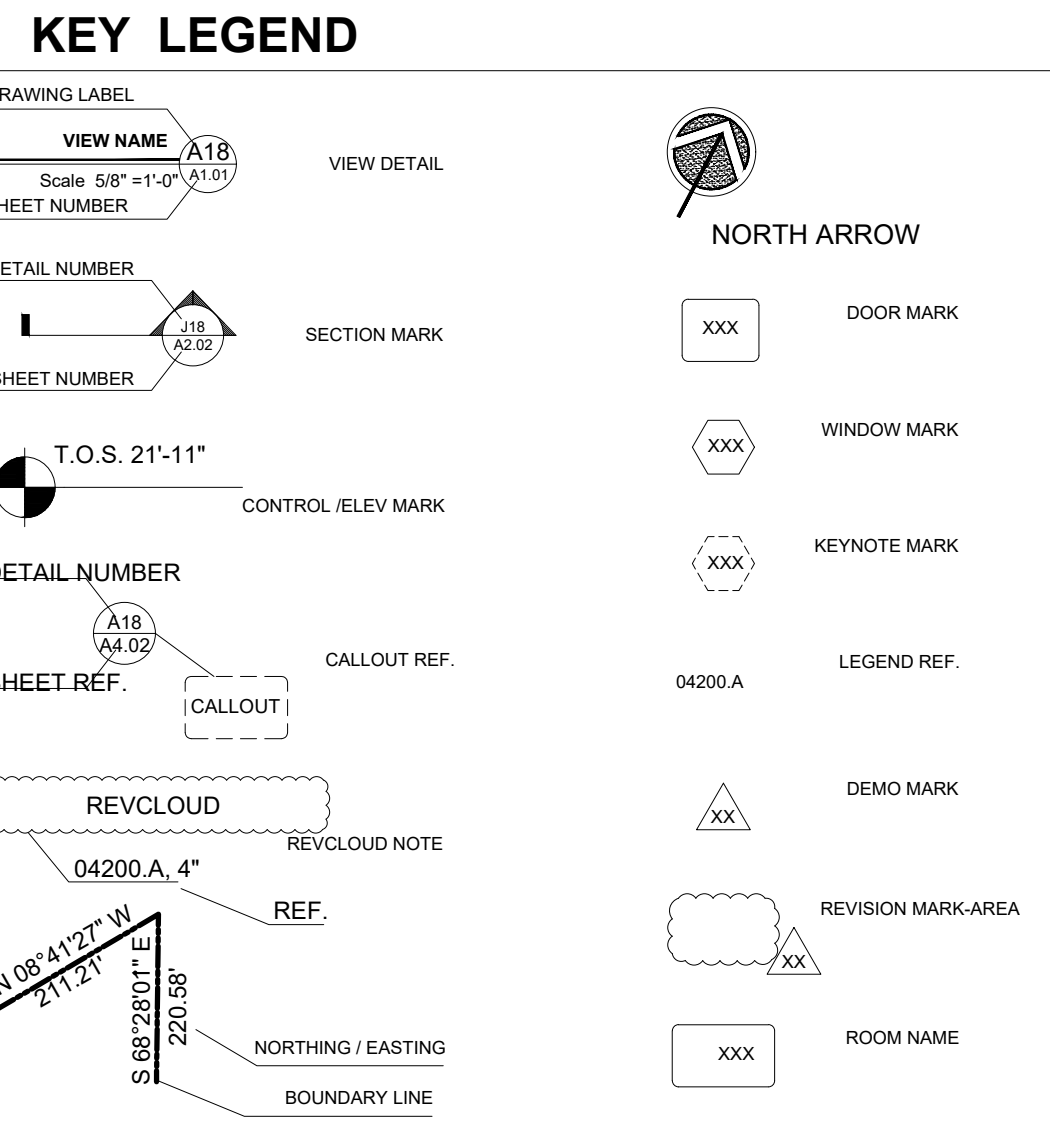


ROOF PITCH PLAN
 SCALE 1/4" = 1'-0" **A7**

ATTIC VENTILATION CALCS	
ATTIC VENTILATION - (300 SQ. FT. ATTIC SPACE / 1 SQ FT VENTILATION) w/ 40% - 50% REQ. VENTS GREATER THAN OR EQUAL TO 3'-0 ABOVE EAVE CORNICE VENTS PER IRC R806.2	
ELEVATIONS "LC 102" 2276 SQ FT UNDER ROOF ATTIC / 300 SQ FT / 1 SQ FT = 7.59 SQ FT VENTILATION	
RIDGE VENT 18 SQ IN = (.125 SQ FT) BOX VENT 50 SQ IN = (.3472 SQ FT) SOFFIT VENT 9 SQ IN = (.0625 SQ FT)	7.59 SQ FT x 50% = 3.7935 SQ FT RIDGE. 7.59 SQ FT x 50% = 3.7935 SQ FT SOFFIT
RIDGE VENT 3.793 SQ FT x 50% = 30.3 SQ FT OF RIDGE VENT 0.125 SQ FT	OR w/ HIP, BOX VENT 3.793 SQ FT = 10.9 BOX VENT(S) 0.3472 SQ FT
SOFFIT VENT 3.793 SQ FT = 60.7 FEET OF SOFFIT VENT 0.0625 SQ FT	

TUCKER RESIDENCE





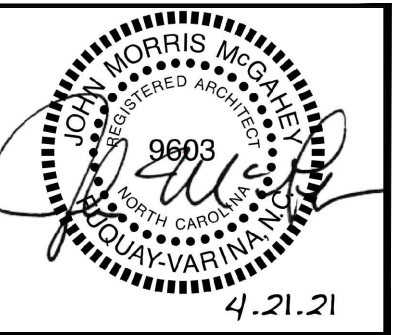
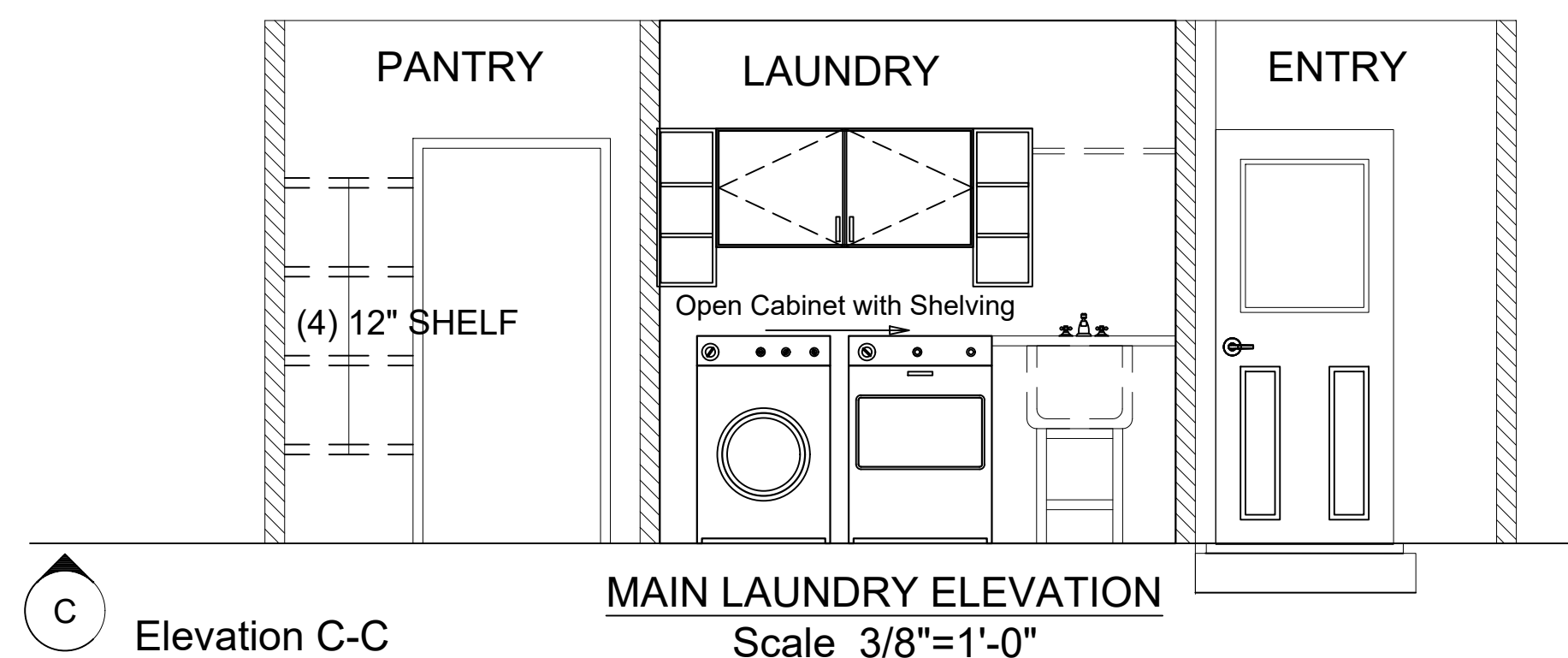
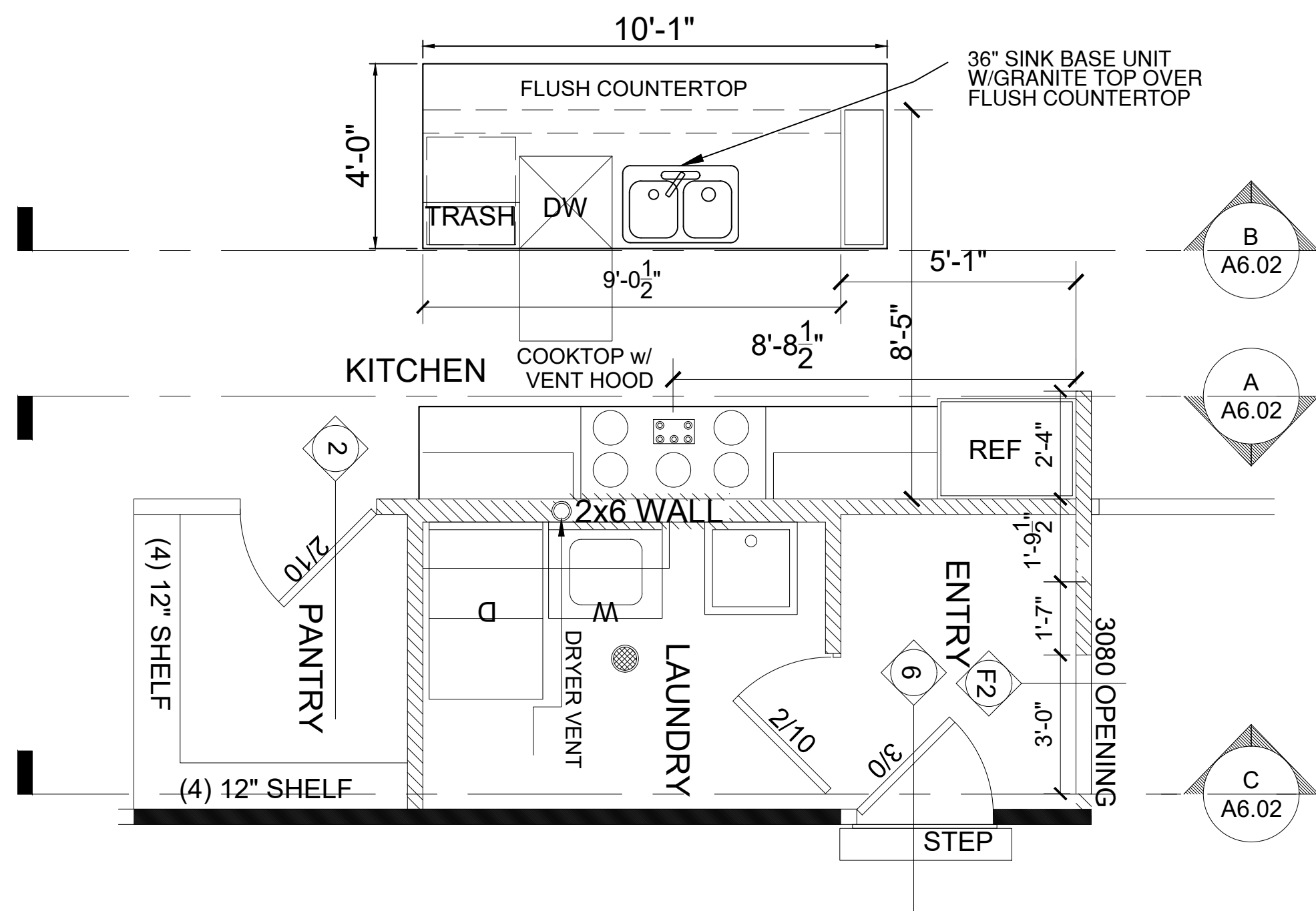
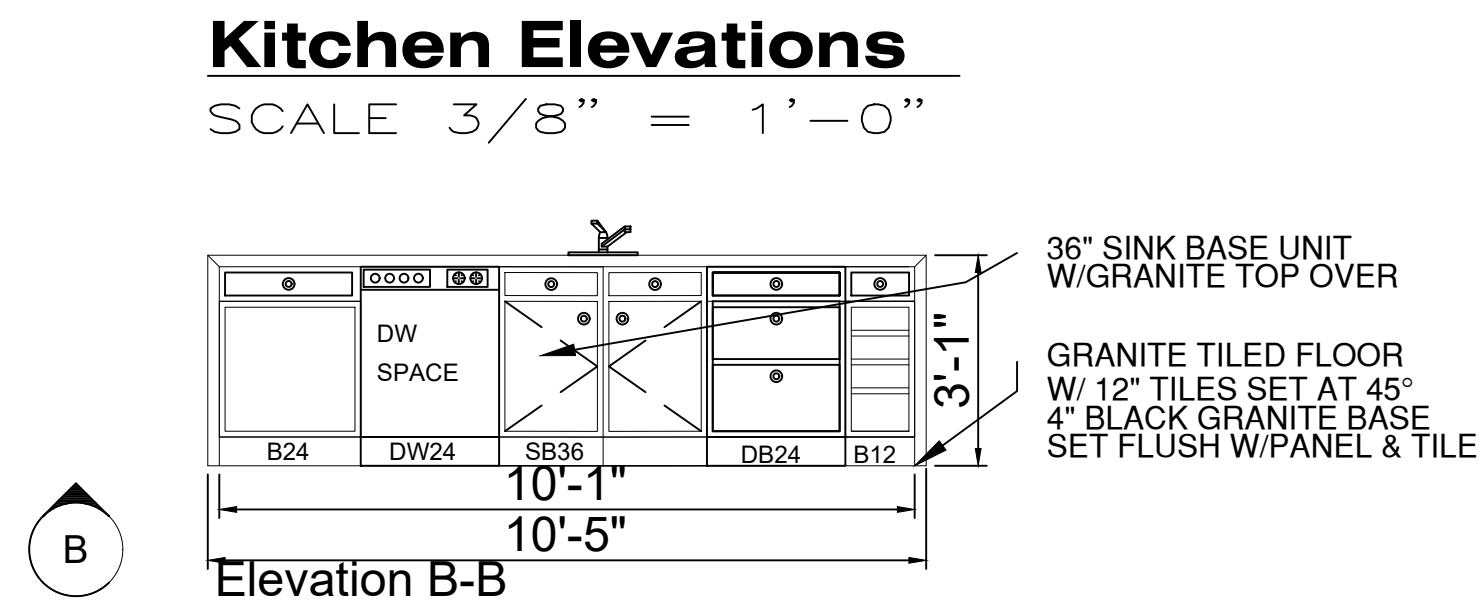
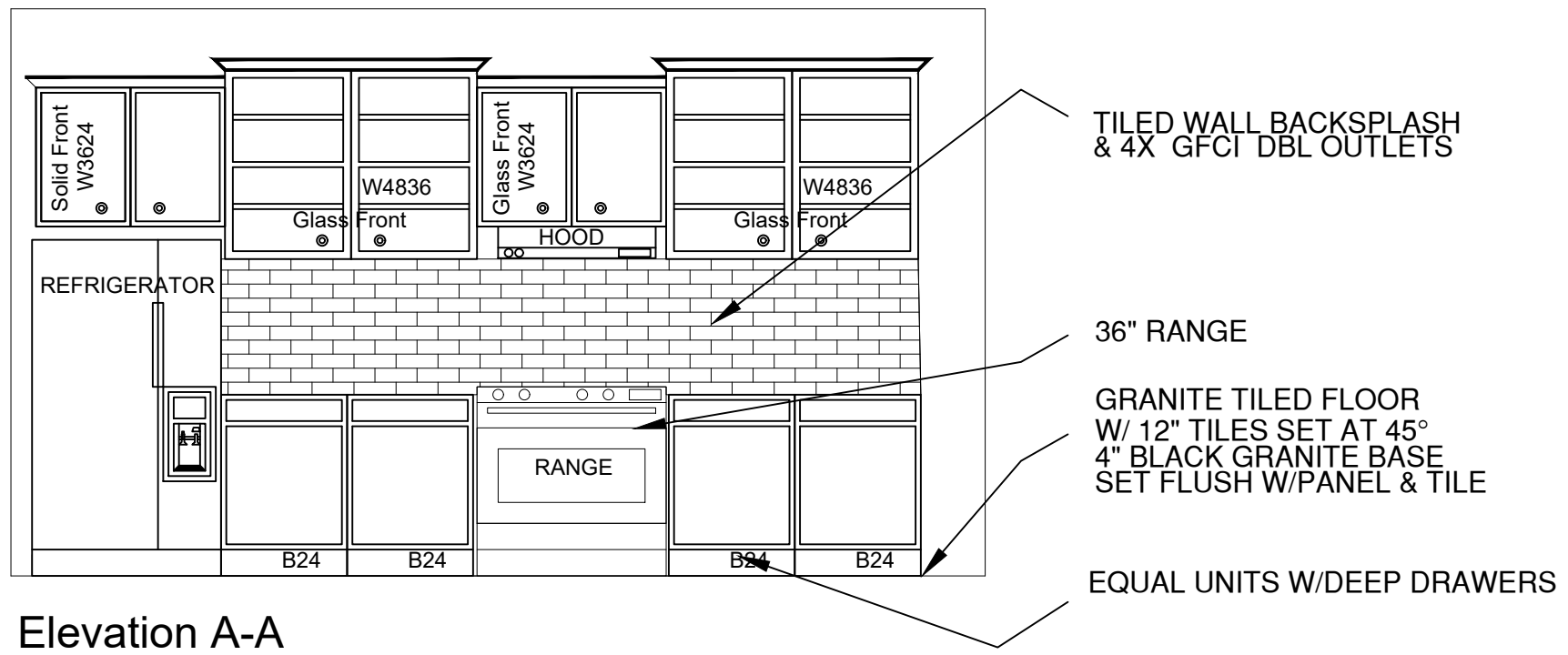
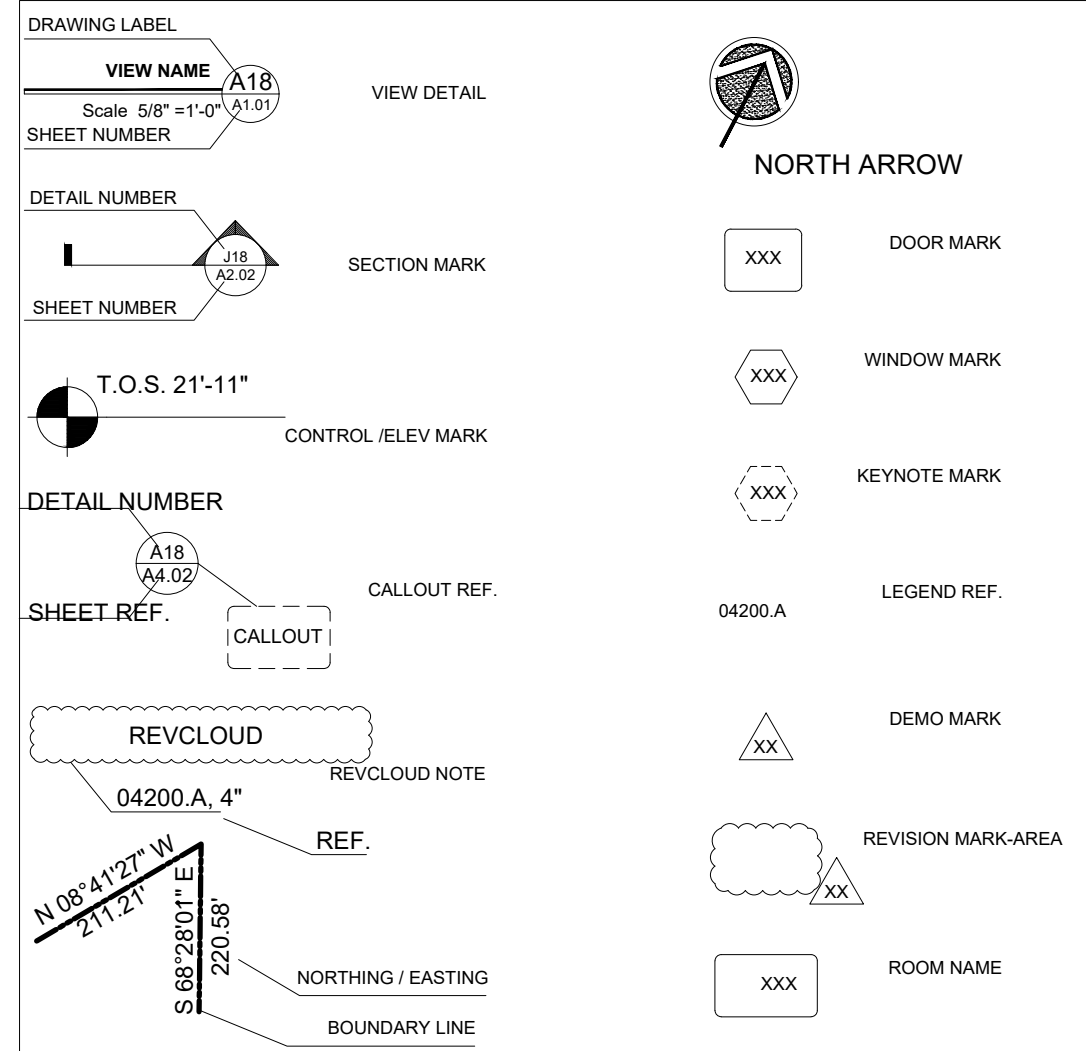
CCGAHEY DESIGN
123 Raleigh Street, Fayetteville, North Carolina 27526
919.321.0123 • 919.422.0265 info@cgaheydesign.com

**TUCKER RESIDENCE
LEFT SIDE GARAGE**

PROJECT:	2021-10
DATE ISSUED:	04.12.21
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DRAWN BY:	BM
CHECK BY:	JMM
Floor Plan & Details	

A6.01

KEY LEGEND



**TUCKER RESIDENCE
 LEFT SIDE GARAGE**

PROJECT: 2021-10
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DRAWN BY: BM
 CHECK BY: JMM
 Floor Plan & Details

KEY LEGEND

DRAWING LABEL

VIEW NAME: A18
Scale: 5/8" = 1'-0" (1:1.5)

SHEET NUMBER

DETAIL NUMBER

SHEET NUMBER

T.O.S. 21'-11"

CONTROL / ELEV MARK

DETAIL NUMBER

SHEET REF.

CALLOUT

REV/CLOUD

04200.A, 4"

REF.

N 08°41'21" W
217.21'

S 68°28'01" E
220.88'

NORTHING / EASTING

BOUNDARY LINE

NORTH ARROW

DOOR MARK

WINDOW MARK

KEYNOTE MARK

LEGEND REF.

DEMO MARK

REVISION MARK AREA

ROOM NAME

FRAMING NOTES

- ALL EXTERIOR WALLS ARE SHOWN AT 3-1/2" UNLESS OTHERWISE SPECIFIED.
- ALL INTERIOR WALLS ARE SHOWN AT 3-1/2" UNLESS OTHERWISE SPECIFIED.
- SOLID BLOCK ALL GIRDERS & BEAMS TO THE FOUNDATION.
- ALL INTERIOR NON-LOAD BEARING WALLS TO BE 16" O.C.
- ALL LOAD BEARING WALLS TO 16" O.C.
- ALL HEADERS TO BE (2) PLY U.N.O. 2x4 AND 2x8 TO BE SPF OR SP No. 2 OR BETTER. HEADERS GREATER THAN 2x8 TO BE SP No. 2 OR BETTER.
- PROVIDE SOLID BLOCKING OR BLOCKING PER JOIST MANUFACTURER BETWEEN ALL JOISTS AT ALL COLUMN POINT LOADS, BEAMS, GIRDERS, AND LOAD BEARING WALLS.
- FLOOR SYSTEM ENGINEERED BY OTHERS. INSTALL PER MANUFACTURERS RECOMMENDATION, NOTES & DETAILS. CHANGES OR MODIFICATIONS TO THESE DOCUMENTS ARE NOT PERMITTED WITHOUT A LETTER FROM THE ENGINEER OF RECORD.
-

TRUSS NOTES

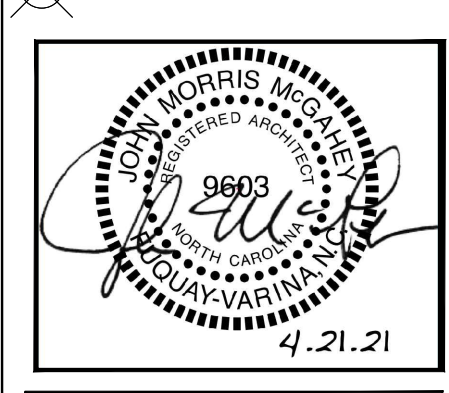
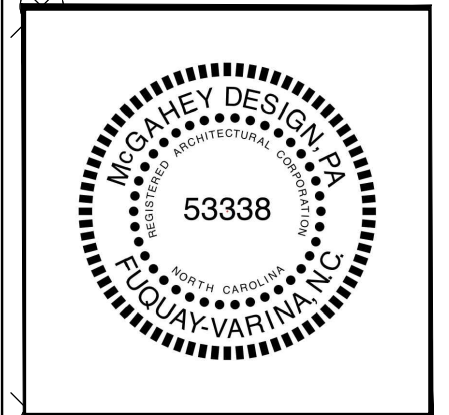
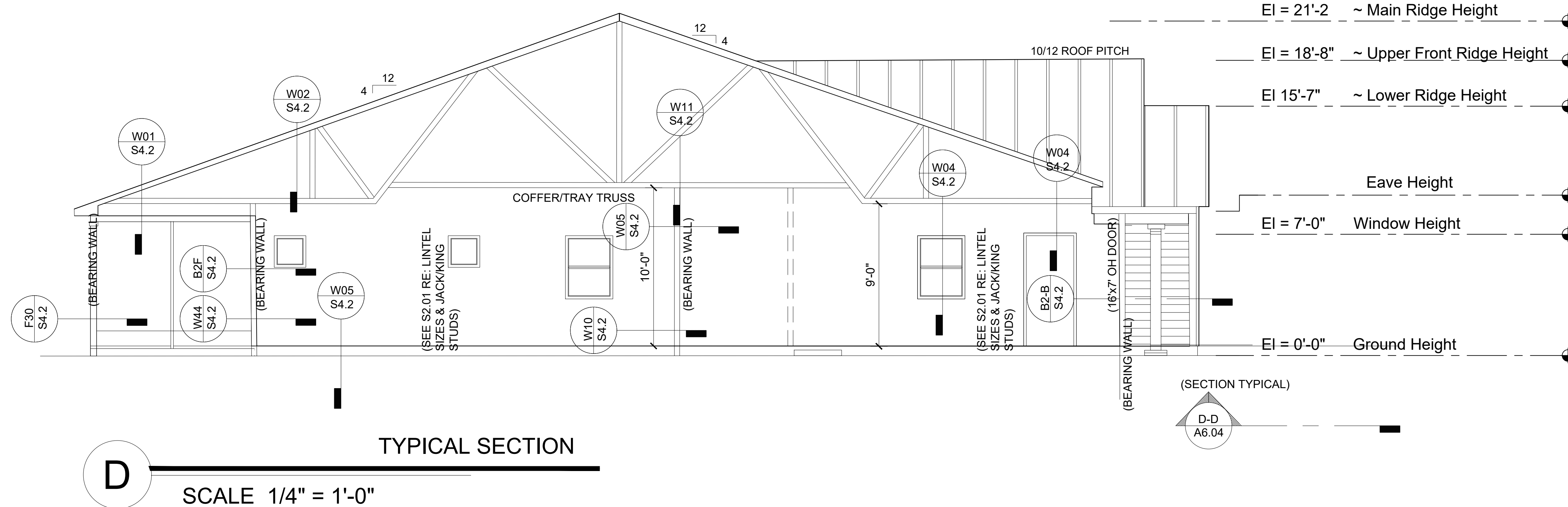
- UNLESS OTHERWISE NOTED
- TRUSS STRAPS TO BE SIMPSON H2.5A w/10d NAILS MIN. (2) M2.5A TO BE USED TO MULTI-PLY TRUSS (1) EACH SIDE w/8d NAILS MIN.
- K2.5T TRUSS STRAPS ARE TO BE USED U.O. H2.5A WHEN EXTERIOR SHEATHING IS NOT NAILED TO THE TOP PLATE OF THE WALL.
- THESE PLANS ARE ENGINEERED BASED ON TRUSS LAYOUTS AND ENGINEERING PROVIDED BY TRUSS MANUFACTURER. CHANGES OR MODIFICATIONS ARE NOT PERMITTED WITHOUT A LETTER FROM THE ENGINEER OF RECORD.
- FOR GABLE END BRACING, START AT ROOF SIDELINE ANDS BRACE PER DETAIL REFER TO STRUCTURAL DETAILS FOR ADDITIONAL INFORMATION.
- HIP JACKS TO BE TOE NAILED w/ (3) 10d NAILS MIN. TO HIP ORDER TRUSS
- WALL SHEATHING TO BE CONTINUOUS THROUGH FLOOR SYSTEM. BLOCK ALL SEAMS.

ATTIC VENTILATION CALCS

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w/ 40% - 50% REQ. VENTS GREATER THAN OR EQUAL TO 3'-0 ABOVE EAVE CORNICE VENTS PER IRC R806.2

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RIDGE VENT	3.793 SQ FT x 50% = 30.3 SQ FT OF RIDGE VENT	OR w/ HIP, BOX VENT
0.125 SQ FT		3.793 SQ FT = 10.9 BOX VENT(S)
SOFFIT VENT	3.793 SQ FT = 60.7 FEET OF SOFFIT VENT	0.3472 SQ FT
0.0625 SQ FT		



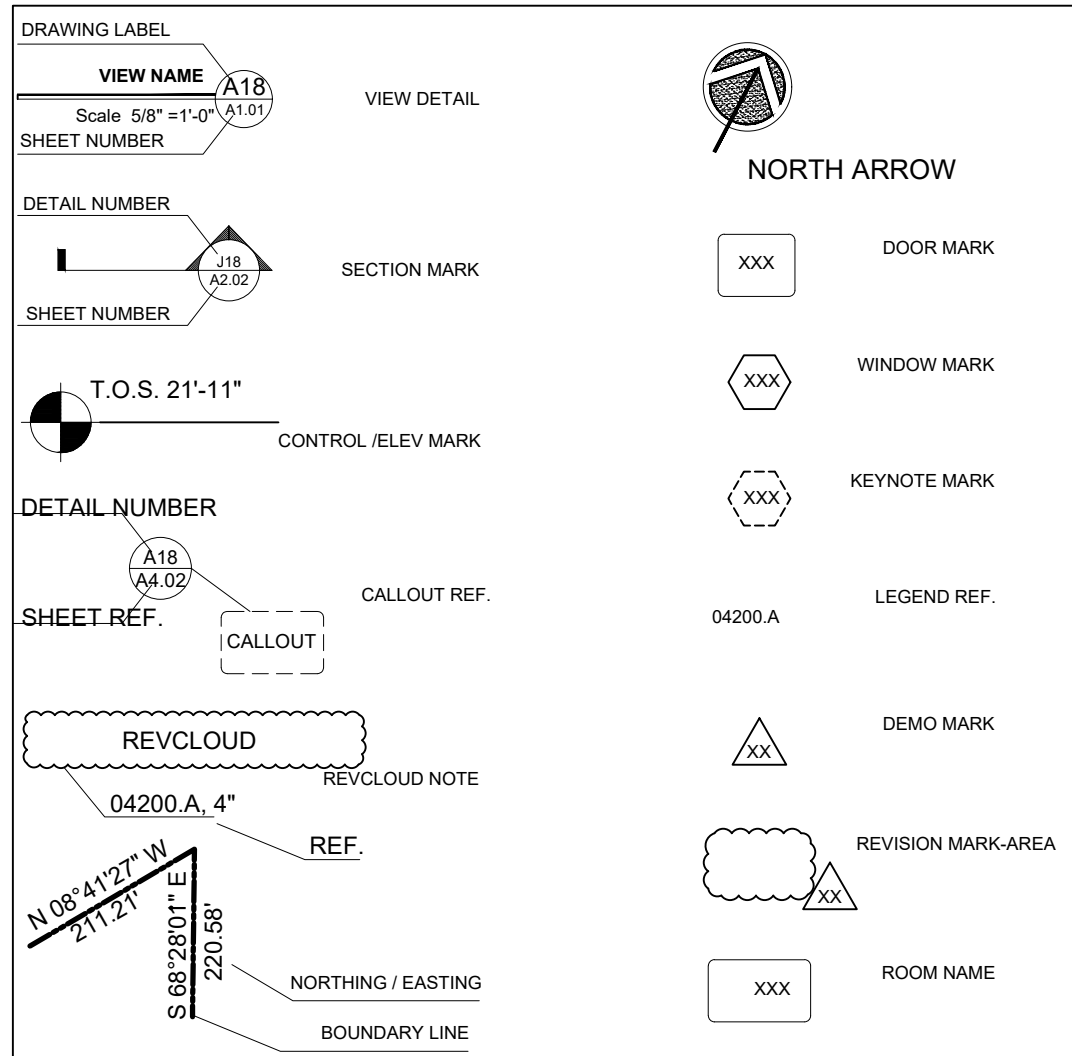
**TUCKER RESIDENCE
LEFT SIDE GARAGE**

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CHECK BY: JMM
Floor Plan & Details

KEY LEGEND

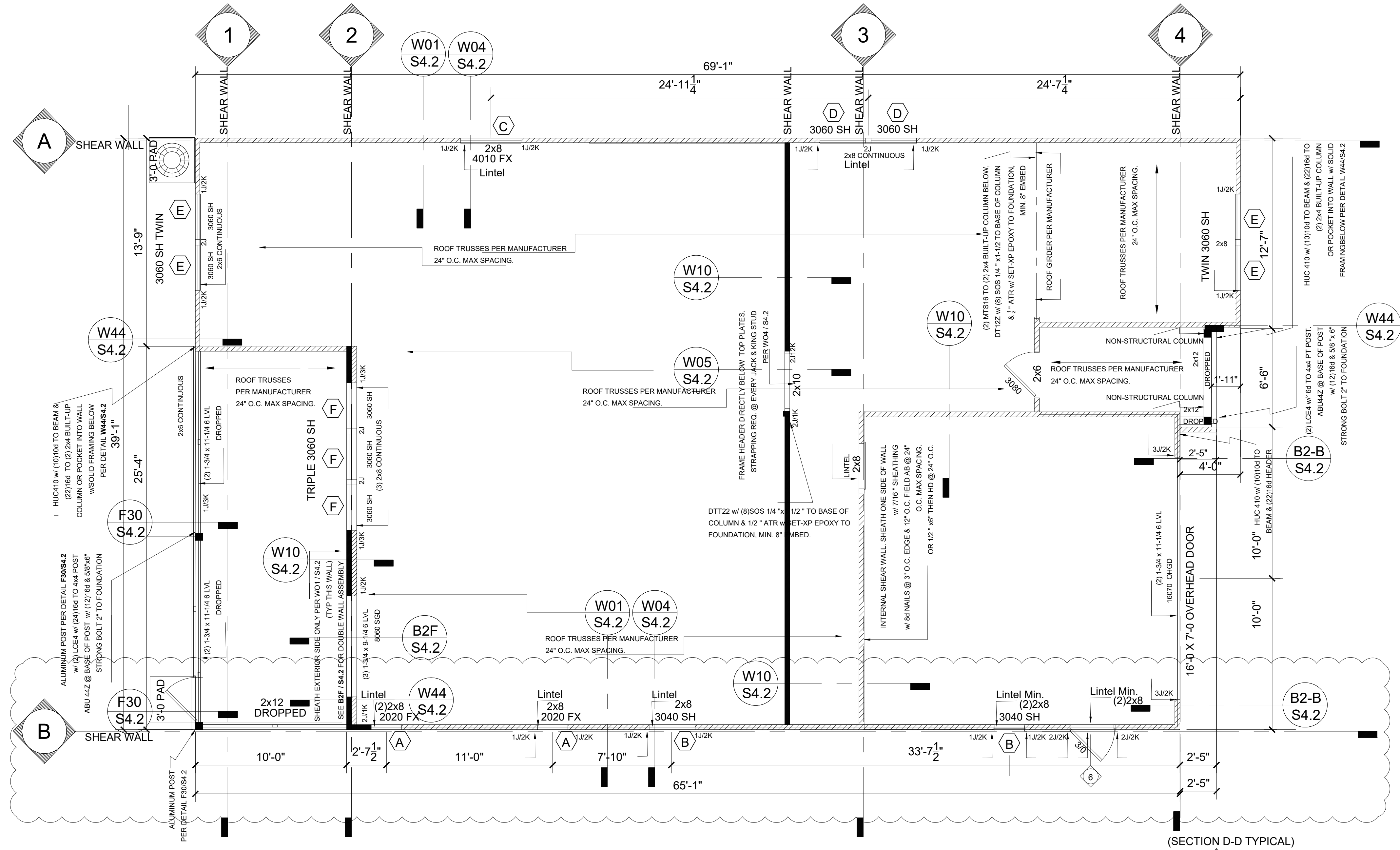


FRAMING NOTES

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- PROVIDE SOLID BLOCKING OR BLOCKING PER JOIST MANUFACTURER BETWEEN ALL JOISTS AT ALL COLUMN POINT LOADS, BEAMS, GIRDERS, AND LOAD BEARING WALLS.
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TRUSS NOTES

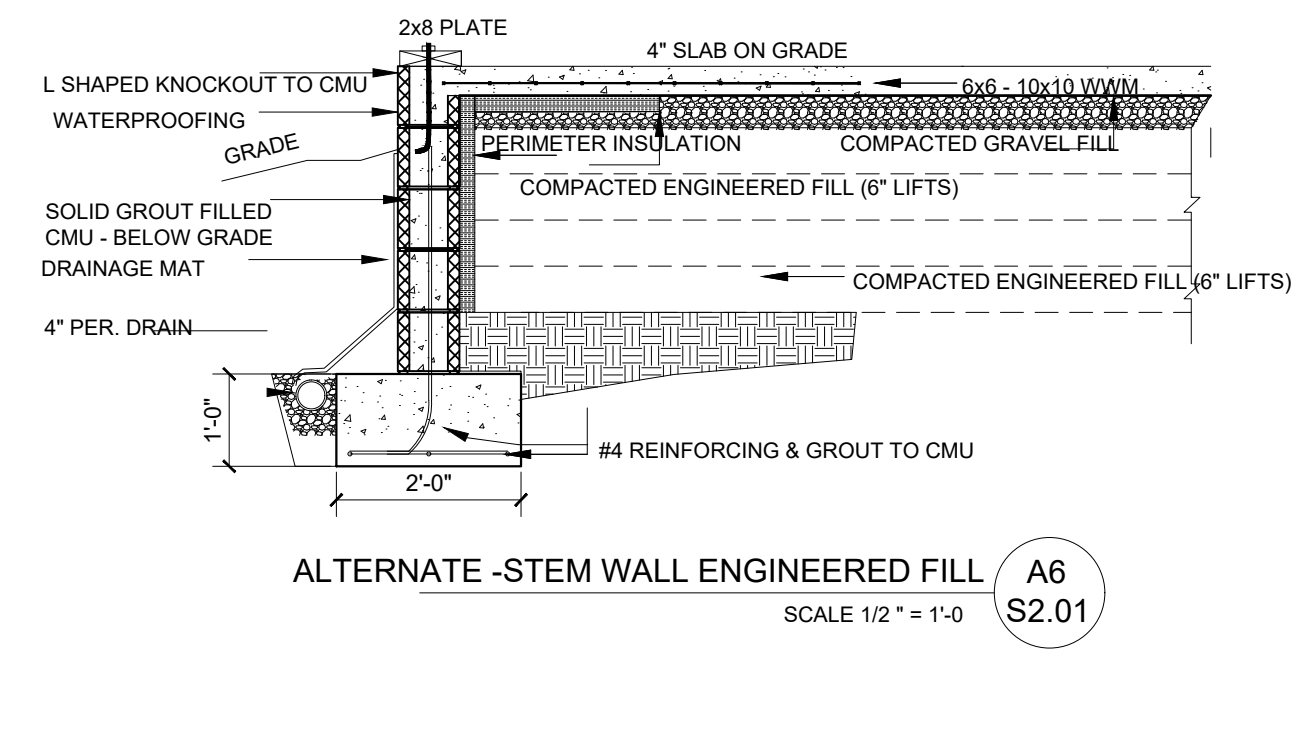
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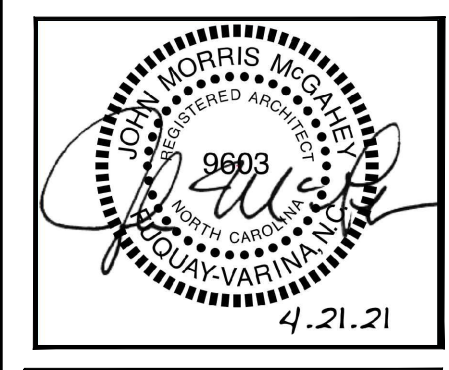
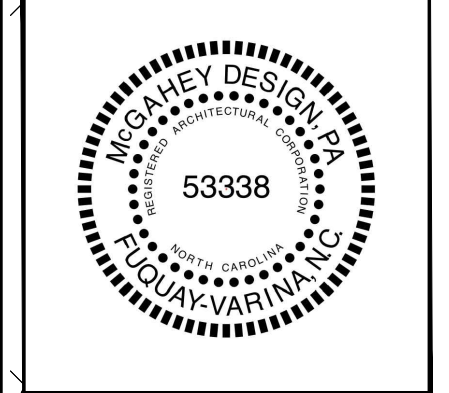
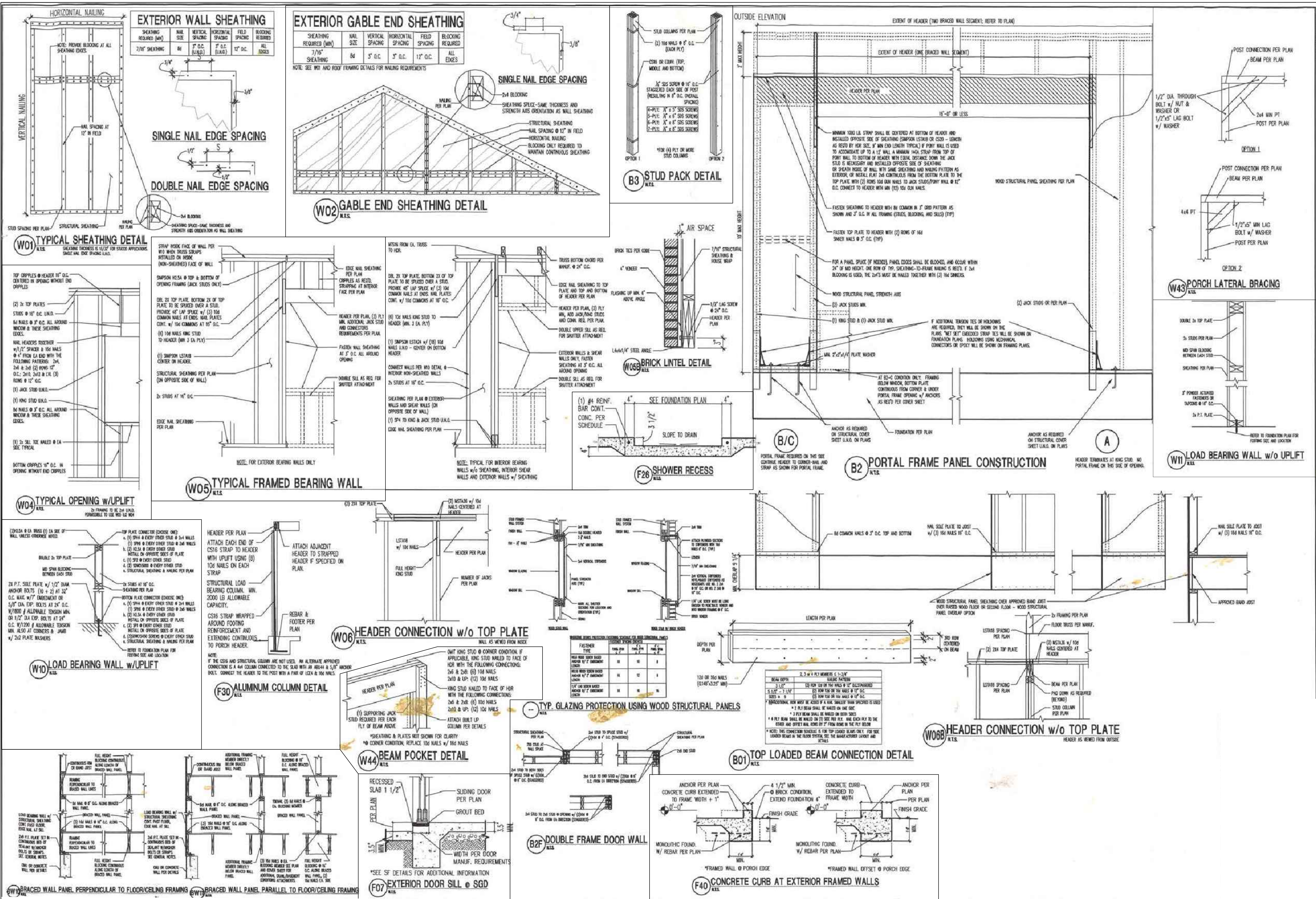


FRAMING & LINTEL PLAN

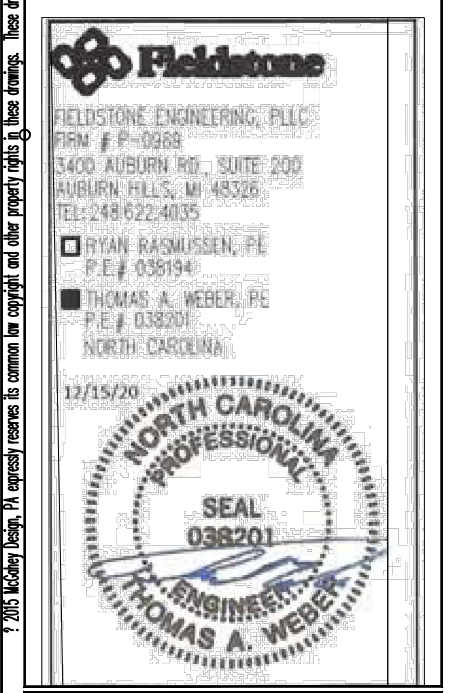
SCALE 1/4" = 1'-0"

A5





TUCKER RESIDENCE
LEFT SIDE GARAGE



PROJECT: 2021-10
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 REVISIONS:

NO.	DATE	DESCRIPTION

DRAWN BY: BM
 CHECK BY: JMM
 Floor Plan & Details