

Initial Application Date: 2-21-08

Application # 0850019481

**COUNTY OF HARNETT LAND USE APPLICATION**

Central Permitting 108 E. Front Street, Lillington, NC 27546 Phone: (910) 893-7525 Fax: (910) 893-2793 www.harnett.org

LANDOWNER: Dail Builders Inc Mailing Address: PO Box 655  
City: Holly Springs State: NC Zip: 27540 Phone #: 919-524-2915  
APPLICANT: same Mailing Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_ Phone #: \_\_\_\_\_

PROPERTY LOCATION: State Road #: \_\_\_\_\_ SR Name: 401  
Parcel: 08 0655 0067 25 PIN: 0655-62-0517-000  
Zoning: R1A30 Subdivision: Magnolia Crest Lot #: 24 Lot Size: \_\_\_\_\_  
Flood Plain: None Panel: W Watershed: Q1V Deed Book/Page: 2477/36 Plat Book/Page: 2007/39

SPECIFIC DIRECTIONS TO THE PROPERTY FROM LILLINGTON: Take 401 N from Lillington. Take right onto Rawls Club Road Take Left into 1st entrance of Magnolia Crest. Then Take 1st Right & lot be on left

PROPOSED USE:  
 SFD (Size 61 x 60) # Bedrooms 3 # Baths 2.5 Basement (w/wo bath) \_\_\_\_\_ Garage 2x21 Deck Y Crawl Space / Slab  
 Modular: \_\_\_ On frame \_\_\_ Off frame (Size \_\_\_ x \_\_\_) # Bedrooms \_\_\_ # Baths \_\_\_ Garage \_\_\_ Deck \_\_\_  
 Multi-Family Dwelling No. Units \_\_\_\_\_ No. Bedrooms/Unit \_\_\_\_\_  
 Manufactured Home: \_\_\_ SW \_\_\_ DW \_\_\_ TW (Size \_\_\_ x \_\_\_) # of Bedrooms \_\_\_\_\_ Garage \_\_\_\_\_ Deck \_\_\_\_\_  
 Number of persons per household \_\_\_\_\_  
 Business Sq. Ft. Retail Space \_\_\_\_\_ Type \_\_\_\_\_  
 Industry Sq. Ft. \_\_\_\_\_ Type \_\_\_\_\_  
 Church Seating Capacity \_\_\_\_\_ Kitchen \_\_\_\_\_  
 Home Occupation (Size \_\_\_ x \_\_\_) # Rooms \_\_\_\_\_ Use \_\_\_\_\_  
 Accessory Building (Size \_\_\_ x \_\_\_) Use \_\_\_\_\_  
 Addition to Existing Building (Size \_\_\_ x \_\_\_) Use \_\_\_\_\_  
 Other \_\_\_\_\_

Water Supply: ( County) ( Well) (No. dwellings \_\_\_\_\_) ( Other)  
Sewage Supply: ( New Septic Tank (Need to fill out New Tank Checklist)) ( Existing Septic Tank) ( County Sewer) ( Other)  
Erosion & Sedimentation Control Plan Required (usually if clearing over 1 acre)? YES NO

Property owner of this tract of land own land that contains a manufactured home w/in five hundred feet (500') of tract listed above? YES NO  
Structures on this tract of land: Single family dwellings 1prop Manufactured homes \_\_\_\_\_ Other (specify) \_\_\_\_\_

Required Residential Property Line Setbacks: Comments: \_\_\_\_\_

Front	Minimum	35	Actual	36	<u>CF - NAME PIN</u>
Rear	25	41			
Side	10	46			
Corner	20	1			
Nearest Building on same lot	10	50			

If permits are granted I agree to conform to all ordinances and the laws of the State of North Carolina regulating such work and the specifications or plans submitted. I hereby swear that the foregoing statements are accurate and correct to the best of my knowledge. This permit is subject to revocation if false information is provided on this form.

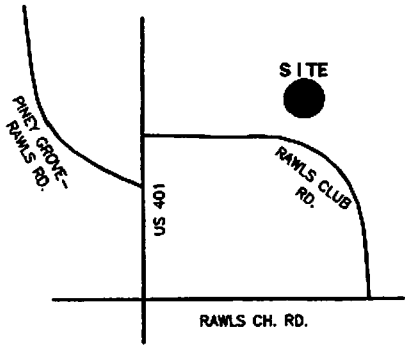
[Signature]  
Signature of Owner or Owner's Agent

2-21-08  
Date

**\*\*This application expires 6 months from the initial date if no permits have been issued\*\***

**A RECORDED SURVEY PLAT AND RECORDED DEED (OR OFFER TO PURCHASE) ARE REQUIRED WHEN APPLYING FOR LAND USE APPLICATION**

Please use Blue or Black Ink ONLY



VICINITY MAP (N.T.S.)

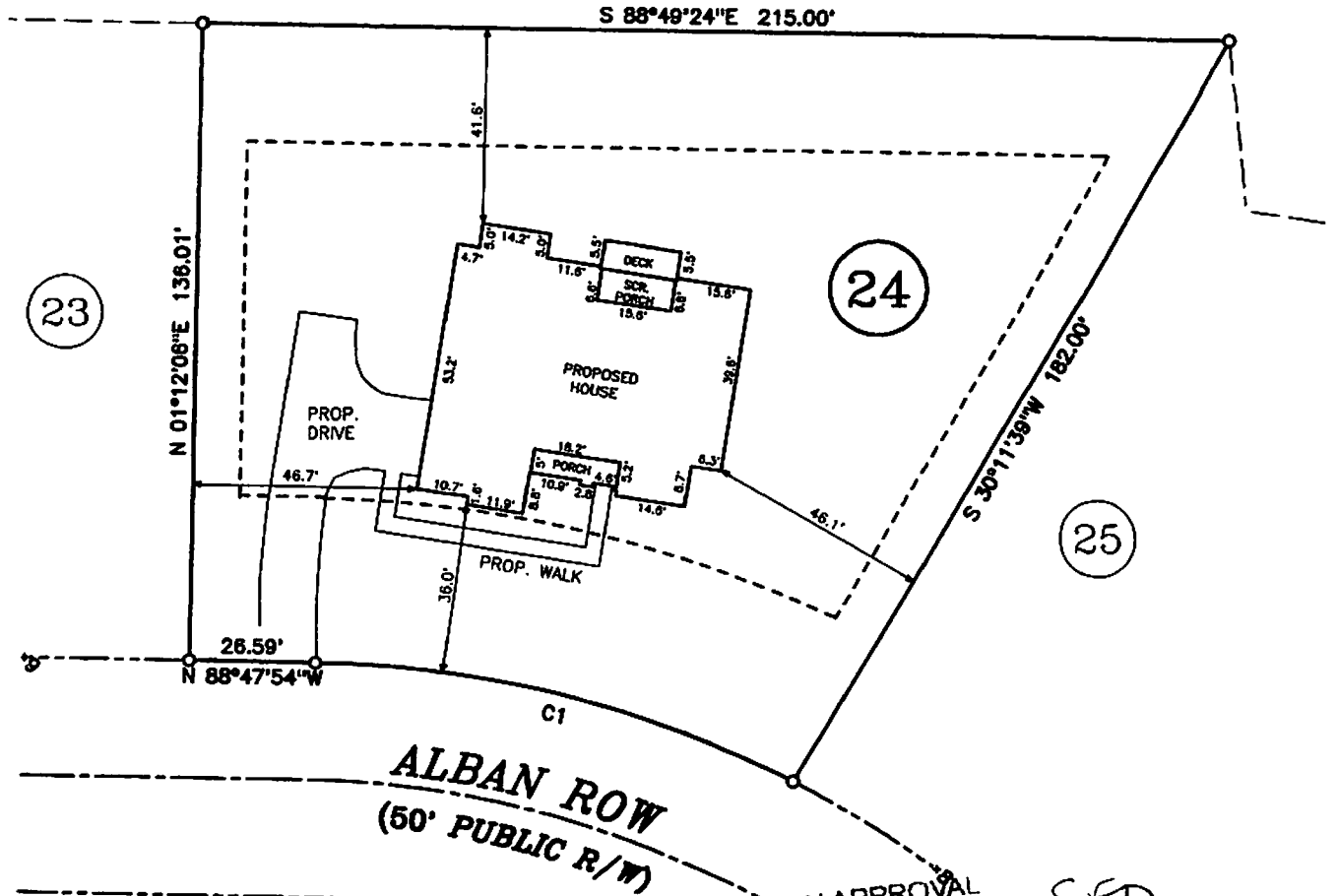
LEGEND

- NTS NOT TO SCALE
- EIP EXISTING IRON PIPE
- PP POWER POLE
- W/M WATER METER
- TB TELEPHONE BOX
- IPS IRON PIPE SET
- CP8L TRANSFORMER
- CATV CABLE TV BOX
- L. POLE LIGHT POLE
- OHPL OVERHEAD POWER LINE
- F.E.S. FLARED END SECTION (PIPE)
- RCP REINFORCED CONC. PIPE
- B.O.C. BACK OF CURB
- F.H. FIRE HYDRANT
- C/O SEWER CLEAN OUT
- EIS EXISTING IRON STAKE
- M.H. MANHOLE
- ECM EXISTING CONCRETE MONUMENT
- P.K. PARKER KALON NAIL
- W/V WATER VALVE

CURVE	RADIUS	LENGTH	CHORD	CH.BEARING
C1	228.91'	103.70'	102.82'	N 75°49'11"W

N  
N.C. GRID NORTH, NAD 83  
(MAP #2007 PG.39-40)

MICHAEL ADAM BRINKLEY, ET UX  
D.B.1101 PG.153  
P.C. #F, SLIDE 293-C



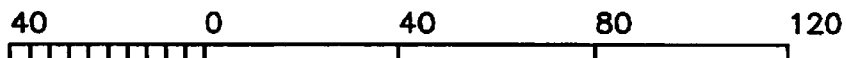
IMPERVIOUS SURFACE TABLE

HOUSE	3109
DRIVEWAY	1228
SIDEWALK	249
<b>TOTAL IMPERVIOUS AREA</b>	<b>4586</b>
<b>TOTAL LOT AREA</b>	<b>25,022</b>

PERCENTAGE OF IMPERVIOUS AREA 18.3%  
IMPERVIOUS SURFACE COVERAGE ALLOWED  
PER M.B. 2007 PG.39-40 IS 10,979 SQ. FT.

THE PLAN APPROVAL  
DISTRICT R1A30 USE SFD  
#BEDROOMS 3  
*[Signature]* 2/21/08  
ZONING ADMINISTRATOR

NOTE: SHOWN IS LOT 24 OF  
MAGNOLIA CREST S/D



**Departmental Checklist**  
**Harnett County Central Permitting**  
PO Box 65, Lillington, NC 27546  
910-893-7525 option 1 for Voice Permitting

CONF# \_\_\_\_\_

Notifi

#1

**Environmental Health New Septic Systems Test**

Environmental Health Code **800**

- Place "property flags" on each corner iron of lot. All property lines must be clearly flagged approximately every 50 feet between corners.
- Place "house corner flags" at each corner of where the house/manufactured home will sit. Use additional flagging to outline driveways, garages, decks, out buildings, swimming pools, etc.
- Place flags at locations as developed on site plan by Customer Service Technician and you.
- Place Environmental Health "orange" card in location that is easily viewed from road.
- If property is thickly wooded, Environmental Health requires that you clean out the undergrowth to allow the soil evaluation to be performed. Inspectors should be able to walk freely around site. *No grading of property should be done.*
- Call No Cuts to locate utility lines prior to scheduling inspection. 800-632-4949 (This is a free service)
- After preparing proposed site call the voice permitting system at 910-893-7525 and use code 800 (after selecting notification permit if multiple permits) for Environmental Health confirmation. Please note confirmation number given at end of recording for proof of request.
- Use Click2Gov or IVR to hear results. Once approved, proceed to Central Permitting for permits.

**Environmental Health Existing Tank Inspections**

Environmental Health Code **800**

- Place Environmental Health "orange" card in location that is easily viewed from road. Follow above instructions for placing flags on property.
- Prepare for inspection by removing soil over door as diagram indicates. Loosen trap door cover. (Unless inspection is for a septic tank in a mobile home park)
- After preparing trapdoor call the voice permitting system at 910-893-7525 & select notification permit if multiple permits, then use code 800 for Environmental Health confirmation. Please note confirmation number given at end of recording for proof of request.
- Use Click2Gov or IVR to hear results. Once approved, proceed to Central Permitting for remaining permits.

**Health and Sanitation Inspections**

- After submitting plans for food and lodging to Central Permitting, please allow approximately 7-10 working days for plan status. Use Click2Gov or IVR to hear results.
- Once all plans are approved, proceed to Central Permitting for remaining permits.

**Fire Marshal Inspections**

- After submitting plans for Fire Marshal review to Central Permitting, please allow approximately 7-10 working days for approval. Use Click2Gov or IVR to hear results. Once all plans are approved, proceed to Central Permitting for permits.
- Fire Marshal's letter must be placed on job site until work is completed.

**Public Utilities**

- Place stake with "orange" tape/name thirty feet (30) from the center of the road at the location you wish to have water tap installed.
- Allow four to six weeks after application for water/sewer taps. Call Utilities at 893-7575 for technical assistance.

**Building Inspections**

- After submitting plans for Building Inspections, please allow approximately 3 working days for review. Use Click2Gov or IVR to hear results. Once all plans are approved, proceed to Central Permitting for permits.
- For new housing/set up permits must meet E 911 / Addressing guidelines prior to scheduling final inspection.
- Use Click2Gov or IVR to hear results.

**E911 Addressing**

Addressing Confirmation Code **814**

- Address numbers shall be mounted on the house, 3 inches high (5" for commercial).
- Numbers must be a contrasting color from house, must be clearly visible night and day at entrance of driveway if home is 100 ft or more from road, or if mailbox is on opposite side of road.
- Once you purchase permits and footing inspection has been approved call the voice permitting system at 910-893-7525 and give code 814 for address confirmation. This must be called in even if you have contacted E911 for verbal confirmation. Check Click2Gov for results and address.
- Inspection results can be viewed online at <http://www.harnett.org/services-213.asp> then select Click2Gov

Applicant/Owner Signature

Date

2-21-08

OWNER NAME: David Builders Inc

APPLICATION #: 19481

*\*This application to be filled out only when applying for a new septic system.\**

**County Health Department Application for Improvement Permit and/or Authorization to Construct**

IF THE INFORMATION IN THIS APPLICATION IS FALSIFIED, CHANGED, OR THE SITE IS ALTERED, THEN THE IMPROVEMENT PERMIT OR AUTHORIZATION TO CONSTRUCT SHALL BECOME INVALID. The permit is valid for either 60 months or without expiration depending upon documentation submitted. (complete site plan = 60 months; complete plat = without expiration)

**DEVELOPMENT INFORMATION**

- New single family residence
- Expansion of existing system
- Repair to malfunctioning sewage disposal system
- Non-residential type of structure

**WATER SUPPLY**

- New well
- Existing well
- Community well
- Public water
- Spring

Are there any existing wells, springs, or existing waterlines on this property?  yes  no  unknown

**SEPTIC**

If applying for authorization to construct please indicate desired system type(s): can be ranked in order of preference, must choose one.

- Accepted  Innovative
- Alternative  Other
- Conventional  Any

The applicant shall notify the local health department upon submittal of this application if any of the following apply to the property in question. If the answer is "yes", applicant must attach supporting documentation.

- YES  NO Does The Site Contain Any Jurisdictional Wetlands?
- YES  NO Does The Site Contain Any Existing Wastewater Systems?
- YES  NO Is Any Wastewater Going To Be Generated On The Site Other Than Domestic Sewage?
- YES  NO Is The Site Subject To Approval By Any Other Public Agency?
- YES  NO Are There Any Easements Or Right Of Ways On This Property?

**I Have Read This Application And Certify That The Information Provided Herein Is True, Complete And Correct. Authorized County And State Officials Are Granted Right Of Entry To Conduct Necessary Inspections To Determine Compliance With Applicable Laws And Rules. I Understand That I Am Solely Responsible For The Proper Identification And Labeling Of All Property Lines And Corners And Making The Site Accessible So That A Complete Site Evaluation Can Be Performed.**

  
PROPERTY OWNERS OR OWNERS LEGAL REPRESENTATIVE SIGNATURE (REQUIRED)

2-21-08  
DATE



HARNETT COUNTY TAX ID#

08-0055-0067-25

2-20-08 BY KLO

FOR REGISTRATION REGISTER OF DEEDS  
KIMBERLY S. HERRING  
HARNETT COUNTY, NC  
2008 FEB 28 01:22:07 PM  
BK:2477 PG:36-38 FEE:\$17.00  
NC REV STAMP:\$84.00  
INSTRUMENT # 2008002678

**STATE OF NORTH CAROLINA  
COUNTY OF HARNETT**

**GENERAL  
WARRANTY DEED**

Excise Tax: \$84.00

Parcel ID Number: 080655 0067 25

Prepared by: The Law Office of Kathy Anderson Mercogliano, P.A., P.O. Box 1281, Fuquay-Varina, NC 27526

(No Title Search Performed; No Title Opinion Given; No Tax Advice Given)

Mail to: Grantee

Title Insurance Provided by: Rescon Title

THIS DEED made this 14th day of February, 2008, by and between

GRANTOR	GRANTEE
C & C Properties, a North Carolina General Partnership 3531 Chalybeate Springs Road Fuquay-Varina, NC 27526	Dail Builders, Inc., a North Carolina Corporation 104 Cliffcreek Drive Holly Springs, NC 27540

The designation Grantor and Grantee as used herein shall include said parties, their heirs, successors, and assigns, and shall include singular, plural, masculine, feminine or neuter as required by context.

**WITNESSETH:**

THAT the Grantor, for a valuable consideration paid by the Grantee, the receipt of which is hereby acknowledged, has and by these presents does grant, bargain, sell and convey unto the Grantee in fee simple, all that certain lot or parcel of land situated in Hectors Creek Township of said County and State, and more particularly described as follows:

BEING all of Lot 24 of Magnolia Crest Subdivision as shown on Map Number 2007-39, Harnett County Registry, reference to map is hereby made for greater accuracy of description.

The above described lot is conveyed subject to all easements, rights-of-way and restrictions shown on said map and listed on the public record, including, but not limited to, the protective covenants recorded in Deed Book 2330, Page 145, Harnett County Registry, the easement recorded in Deed Book 2233, Page 221, Harnett County Registry and to the 2008 ad valorem taxes.

See Deed Book 2161, Page 521, Harnett County Registry.

TO HAVE AND TO HOLD the above-described lot or parcel of land and all privileges and appurtenances thereto belonging to the Grantee in fee simple.

AND the Grantor covenants with the Grantee, that Grantor is lawfully seized of the premises in fee simple, has the right and power to convey the same in fee simple, that title is marketable and free from any and all encumbrances and that Grantor will forever warrant and defend the title against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, the Grantor has duly executed the foregoing in its name by its duly authorized agents as of the day and year first above written.

C & C Properties

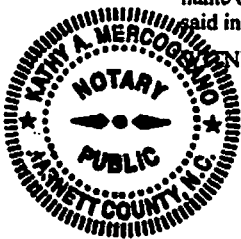
William S. Currin (SEAL)  
By William S. Currin, General Partner

C & C Properties

Gerald W. Currin (SEAL)  
By Gerald W. Currin, General Partner

STATE OF NORTH CAROLINA  
COUNTY OF HARNETT

I, Kathy A. Mercogliano, a Notary Public of the County and State aforesaid, certify that William S. Currin with whom I am personally acquainted personally came before me, being duly sworn by me, says that he is a general partner of C & C Properties, the general partnership described herein and which executed the foregoing instrument; and that the name of the general partnership was subscribed thereto by said general partner and that said instrument is the act and deed of said general partnership.



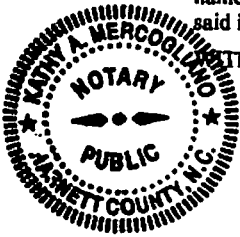
WITNESS my hand and notarial stamp or seal this 14<sup>TH</sup> day of February, 2008.

Kathy A. Mercogliano  
Notary Public

My commission expires December 6, 2010.

STATE OF NORTH CAROLINA  
COUNTY OF HARNETT

I, Kathy A. Mercogliano, a Notary Public of the County and State aforesaid, certify that Gerald W. Currin with whom I am personally acquainted personally came before me, being duly sworn by me, says that he is a general partner of C & C Properties, the general partnership described herein and which executed the foregoing instrument; and that the name of the general partnership was subscribed thereto by said general partner and that said instrument is the act and deed of said general partnership.



WITNESS my hand and notarial stamp or seal this 14<sup>TH</sup> day of February, 2008.

Kathy A. Mercogliano  
Notary Public

My commission expires December 6, 2010.



KIMBERLY S. HARGROVE  
REGISTER OF DEEDS, HARNETT  
305 W CORNELIUS HARNETT BLVD  
SUITE 200  
LILLINGTON, NC 27546

.....  
Filed For Registration: 02/20/2008 01:22:07 PM  
Book: RE 2477 Page: 36-38  
Document No.: 2008002670  
DEED 3 PGS \$17.00  
NC REAL ESTATE EXCISE TAX: \$84.00  
Recorder: ANGELA J BYRD

State of North Carolina, County of Harnett

KIMBERLY S. HARGROVE , REGISTER OF DEEDS

**DO NOT DISCARD**

**\*2008002670\***

2008002670