
ADDRESS . . : 153 DUCK LN
CONTRACTOR : DUSTIN BLACKWELL, INC
OWNER . . . : FLAHERTY PAUL & JENNIFER #421
PARCEL . . . : 03-9587-01- -0156- - -
APPL NUMBER: 08-50019474 CP NEW RESIDENTIAL (SFD)
DIRECTIONS : BUFFALO LAKES #421-27W TO BUFFALO LAKE
RD TO VIC KEITH RD TO DUCK LN.JD

SUBDIV: BUFFALOE LAKES MAP NO 10
PHONE : (919) 606-4696
PHONE : (919) 795-4287

STRUCTURE: 000 000 57X76 4BR 3.5BATH,BSMT 1/2BATH

FLOOD ZONE : FLOOD ZONE X
BEDROOMS : 4.00
SEPTIC - EXISTING? : NEW
PROPOSED USE : SFD
WATER SUPPLY : COUNTY

PERMIT: CPSF 00 CP * SFD

TYP/SQ	REQUESTED COMPLETED	INSP RESULT	DESCRIPTION RESULTS/COMMENTS
B101 01	3/19/09	MR	R*BLDG FOOTING / TEMP SVC POLE VRU #: 001744887
	3/19/09	CA	
B101 02	3/20/09	TI	R*BLDG FOOTING / TEMP SVC POLE VRU #: 001745348
	<u>3-20-09</u>	<u>AP-MR</u>	

----- COMMENTS AND NOTES -----

Observed aug - letters on pilings and stone fill

ADDRESS . . : 153 DUCK LN
 CONTRACTOR : DUSTIN BLACKWELL, INC
 OWNER . . . : FLAHERTY PAUL & JENNIFER #421
 PARCEL . . . : 03-9587-01- -0156- - -
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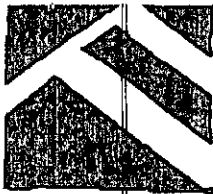
STRUCTURE: 000 000 57X76 4BR 3.5BATH,BSMT 1/2BATH
 FLOOD ZONE : FLOOD ZONE X
 # BEDROOMS : 4.00
 SEPTIC - EXISTING? : NEW

SUBDIV: BUFFALOE LAKES MAP NO 10
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 PROPOSED USE : SFD
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	3/20/09	AP	observed eng. letters on pilings and stone fill
A814 01	3/24/09	TI	ADDRESS CONFIRMATION VRU #: 001746536
B103 01	3/24/09	TI	R*BLDG FOUND & TEMP SVC POLE VRU #: 001746528
	<u>3-24-9</u>	<u>AP-MR</u>	

----- COMMENTS AND NOTES -----



GeoStructural Engineering, Inc.

Structural & Foundation Engineering
Construction Testing & Assessment Services

1708 Glen Eden Dr., | Raleigh, NC 27612

Phone: 919/ 881-9960

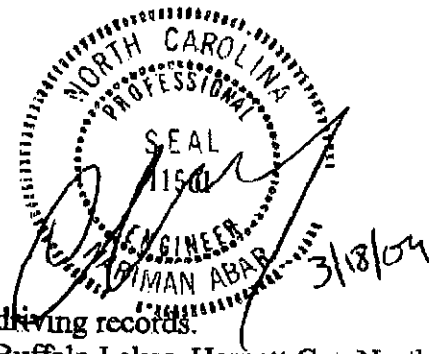
Fax: 919/571-3355

March 18, 2009

Mr. Dustin Blackwell
Blackwell Homes
P.O. Box 427
Mamers, NC 27552

Att: Inspection Dept., Harnet Co., NC
Permit No: 0850019474
Gse Pj. No: DB050309

Subject: Structural evaluation of timber pile driving records.
Reference: 153 Duck Lane Lillington, Lot 421 Buffalo Lakes, Harnett Co., North Carolina.



1

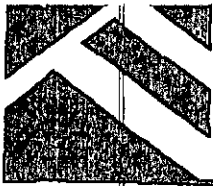
This is in reference to Dustain's request concerning the structural evaluation of timber pile driving records that was faxed to our office on 3/17/09 for the reference subject project.

This letter is to present the results of our March 18, 2009, review of the timber piling driving records for total of 60 piles and our comments. The following commends are made based on our engineering evaluation and past experience with similar projects.

As indicated the piles are 8"x8" square timber piles and driven to the 10 ton safe bearing capacity. The information indicated that the piles are penetrated between 18 to 27 ft. into the ground and achieve between 15 blows to 32 blows per ft. at end of the drive

Based on our engineering evaluation and dynamic pile driving analysis we found that the piles are achieved the required 10 ton safe bearing capacity. Therefore, the piles are acceptable to be used in the foundation underneath the grade beams to support the required design loads.

It is the sole responsibility of the contractor or builder to meet all the criteria of standards, provisions, method of construction and usage of proper material in buildings or structures provided by the North Carolina State Building Code, any local agencies and according to proper engineering practice.



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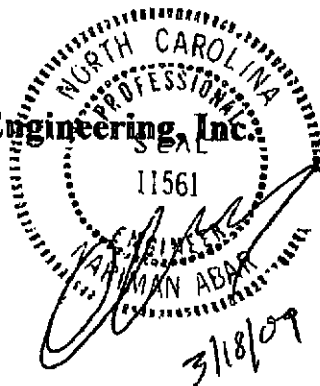
Subject: Structural evaluation of timber pile driving records.
Reference: 153 Duck Lane Lillington, Lot 421 Buffalo Lakes, Harnett Co., North Carolina.

It has been our pleasure to provide you and your company our services, If you should have any questions on this matter, or if we may be of additional services, please do not hesitate to call us.

Sincerely;

GeoStructural Engineering, Inc.

Nari Abar, P. Eng.
Principal Engineer





Project: Buffalo Lakes – 153 Duck Lane
Location: Harnett County, North Carolina
Client: Tri City Contractors

Project: 090001.02
Date: Wednesday 3-5-09
Weather: 40 Sunny
Arrive: 9:00 AM
Depart: 9:30 AM
Travel: 2.25 Hours/120 Miles

The undersigned arrived on site as requested to observe the soil subgrade for the proposed basement slab of the residential structure

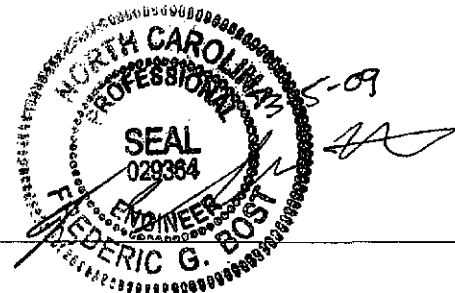
TEP met with Will Atkinson (Tri City Contractors) and a representative of Blackwell Homes (home builder) on site. Timber piles are currently being driven for the foundation/grade beams for the proposed residential structure (TEP did not prepare the pile foundation design). Blackwell Homes has requested a design to provide additional stabilization for the basement slab subgrade soil. Based on the site conditions and proposed residential structure, TEP recommends the following:

1. Remove all soils that have been piled within the basement footprint and that have sloughed from the sidewalls of the excavation to create a level basement soil subgrade. Caution should be exercised to not disturb the existing timber piles.
2. Place thin layers of rip rap (8 to 10 inches in diameter or less) or large surge stone across the basement soil subgrade. Stone should be “mashed” or “pushed” into the subgrade utilizing the flat end of a trackhoe bucket. This process should be repeated across the entire basement subgrade until approximately 18 to 24 inches of stone have been “mashed” into the subgrade. Caution should be taken around the existing piles – stone placement should be kept away from existing piles a minimum of 1 foot. Please see the

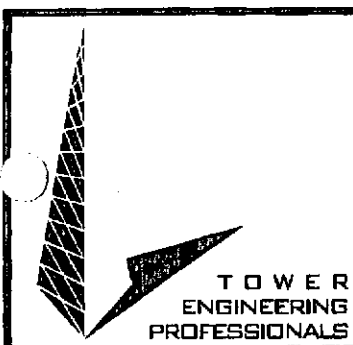


attached figure for a cross section of stone placement.

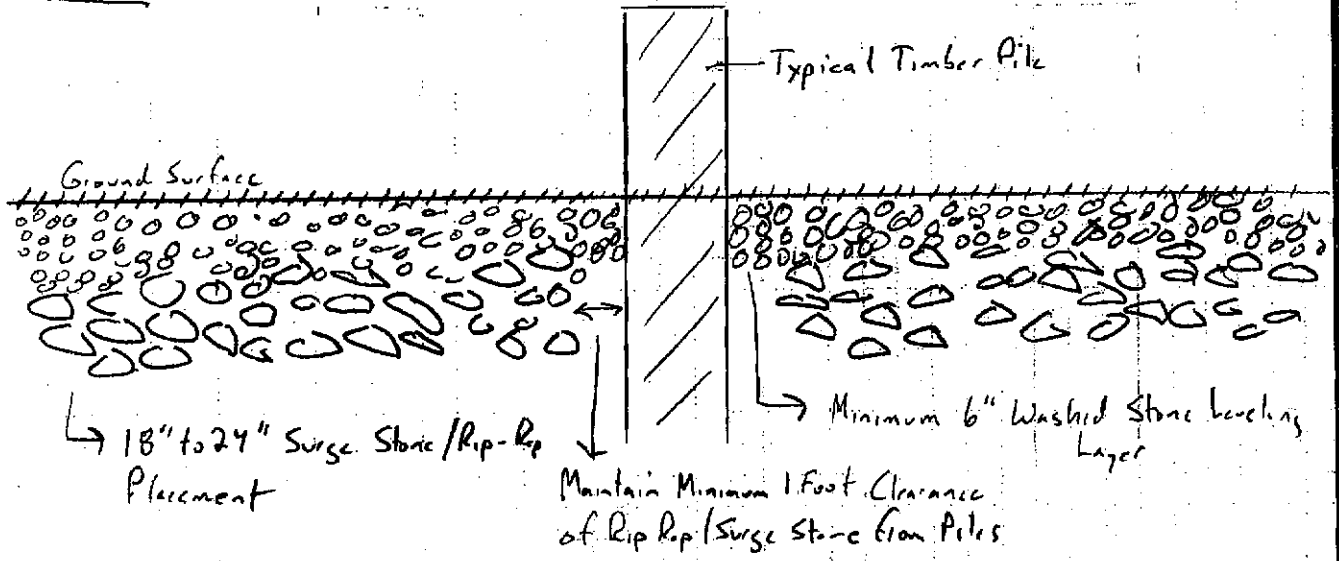
3. A layer of washed stone (57 stone or equivalent) should be placed across the rip rap layer to design elevation for concrete slab placement. TEP recommends a minimum of 6 inches of washed stone be placed. Foundations/grade beams can be hand excavated through the washed stone layer if necessary.
4. TEP recommends a vapor barrier be placed on the washed stone prior to concrete placement. TEP also recommends #4 bars 24 inches on center each way be placed for the basement slab.
5. TEP also recommends french drain installation to alleviate potential water build-up under the proposed basement slab. Drains can be installed from the back two corners of the basement within the top foot of the rip-rap/washed stone layer and run to the back of the lot. A minimum of 2% slope should be maintained to the back of the drain trench. The trench should be approximately 18 inches by 18 inches. The trench should be lined with non-woven geotextile fabric with overlay at the top to cover the top of the trench upon completion of stone and drain pipe placement. A 6 to 8 inch layer of washed stone should be placed at the bottom of the trench. A 6 inch diameter ADC sock drain pipe should be placed in the center of the trench. The trench should be backfilled with washed stone to the top and the fabric lapped over the stone. Soil backfill can then be placed over the drain. Please see the attached figure for the drain detail.



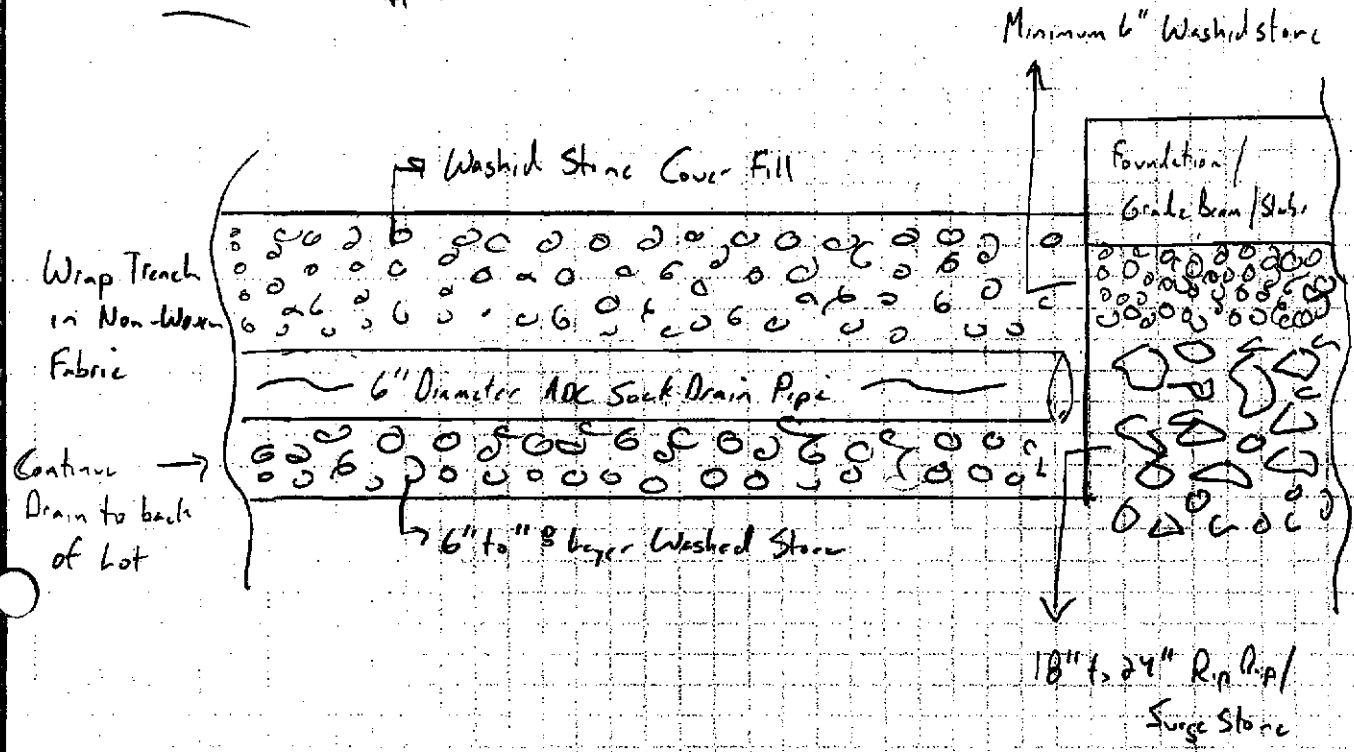
By: **Cory Bauer**

 <p>TOWER ENGINEERING PROFESSIONALS</p>	PROJECT	Buffalo Lakes - 153 Duck Lane	FIGURE NO.	1	JOB NO.	090001.02
	TITLE	Basement Slab Surge Stabilization + French Drain Details		SCALE	N.T.S.	
				BY	C. Bauer	
				DATE	3-4-09	

Detail 1



Detail 2 → Approx 18" x 18" Drain Trench



Harnett County

INSPECTOR: IVR

DATE 3/30/09

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PARCEL : 03-9587-01- -0156- - -
APPL NUMBER: 08-50019474 CP NEW RESIDENTIAL (SFD)

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FLOOD ZONE : FLOOD ZONE X

BEDROOMS : 4.00

PROPOSED USE : SFD

SEPTIC - EXISTING? : NEW

WATER SUPPLY : COUNTY

PERMIT: CPSF 00 CP * SFD

Table with 4 columns: TYP/SQ, REQUESTED COMPLETED, INSP RESULT, DESCRIPTION RESULTS/COMMENTS. Contains 7 rows of permit data including B101 01, B101 02, A814 01, B103 01, and P309 01.

Handwritten notes: 3-30-09 DA-MR

COMMENTS AND NOTES

HARNETT COUNTY

Building Inspections Dept.

108 E. Front St.

Lillington, NC 27546

910-893-7525

DO NOT REMOVE

DATE: 3-30-09

PERMIT# 08-50019474

ADDRESS: 153 Duck

VIOLATIONS:

1. No plans
2. 10' water test required

Harnett County Building Department

Mike Rearic cell# (910) 984- 4772

ADDRESS : 153 DUCK LN
CONTRACTOR : DUSTIN BLACKWELL, INC
OWNER : FLAHERTY PAUL & JENNIFER #421
PARCEL : 03-9587-01- -0156- - -
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	3/20/09	AP	observed eng. letters on pilings and stone fill
A814 01	3/24/09	MR	ADDRESS CONFIRMATION VRU #: 001746536
	3/24/09	AP	
B103 01	3/24/09	MR	R*BLDG FOUND & TEMP SVC POLE VRU #: 001746528
	3/24/09	AP	
P309 01	3/30/09	MR	R*PLUMB UNDER SLAB TIME: 17:00 VRU #: 001749233
	3/30/09	DA	1. no plans on site 2. water test with 10' head required
P309 02	3/31/09	TI	R*PLUMB UNDER SLAB VRU #: 001749571
	<u>3-31-9</u>	<u>AP-MR</u>	

COMMENTS AND NOTES

PREPARED
Harnett County

4/02/09, 13:59:24

INSPECTION TICKET
INSPECTOR: IVR

PAGE 4
DATE 4/03/09

ADDRESS : 153 DUCK LN
CONTRACTOR : DUSTIN BLACKWELL, INC
OWNER : FLAHERTY PAUL & JENNIFER #421
APPL NUMBER: 08-00019474 CP NEW RESIDENTIAL (SFD)
DIRECTIONS : BUFFALO LAKES #421-27W TO BUFFALO LAKE
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STRUCTURE: 000 000 57X76 4BR 3.5BATH, BSMT 1/2BATH

FLOOD ZONE : FLOOD ZONE X

BEDROOMS : 4.00

SEPTIC - EXISTING? : NEW

PROPOSED USE : SFD

WATER SUPPLY : COUNTY

PERMIT: CPSF 00 CP * SFD

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	3/24/09	AP	
P309 01	3/30/09	MR	R*PLUMB UNDER SLAB TIME: 17:00 VRU #: 001749233
	3/30/09	DA	1. no plans on site
			2. water test with 10' head required
P309 02	3/31/09	MR	R*PLUMB UNDER SLAB VRU #: 001749571
	3/31/09	AP	
B111 01	4/03/09	TI	R*BLDG SLAB INSP TIME: 17:00 VRU #: 001750819

439 AP-MR

COMMENTS AND NOTES

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FLOOD ZONE : FLOOD ZONE X

BEDROOMS : 4.00

PROPOSED USE : SFD

SEPTIC - EXISTING? : NEW

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	3/31/09	AP	
B111 01	4/03/09	MR	R*BLDG SLAB INSP TIME: 17:00 VRU #: 001750819
	4/03/09	AP	
H824 01	4/20/09	OT	ENVIR. OPERATIONS PERMIT TIME: 17:00 VRU #: 001758390
	4/20/09	AP	
R427 01	4/22/09	TI	FOUR TRADE ROUGH IN >2500 VRU #: 001757996

4229 DA-MR

COMMENTS AND NOTES

OK to Brick

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	4/03/09	AP	
H824 01	4/20/09	OT	ENVIR. OPERATIONS PERMIT TIME: 17:00 VRU #: 001758390
	4/20/09	AP	
R427 01	4/22/09	MR	FOUR TRADE ROUGH IN >2500 VRU #: 001757996
	4/22/09	DA	OK to install brick siding
R427 02	4/23/09	HI	FOUR TRADE ROUGH IN >2500 VRU #: 001759172

4-23-9 DA-MR

COMMENTS AND NOTES

HARNETT COUNTY

Building Inspections Dept.

108 E. Front St.

Lillington, NC 27546

910-893-7525

DO NOT REMOVE

DATE: 4-23-09

PERMIT# 08-50019474

ADDRESS: 153 duck lane

VIOLATIONS:

1. Trusses A-2 , A-2a are not supported at all points
2. Fireblock and draft stop at all walls
3. Washer in basement is crown vented
4. Tempered windows needed in MBR bath area at final
5. Draft stop basement ac room by final
6. Ok to insulate

Harnett County Building Department

Mike Rearic cell# (910) 984- 4772

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 CONTRACTOR : DUSTIN BLACKWELL, INC PHONE : (919) 606-4696
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	4/20/09	AP	
R427 01	4/22/09	MR	FOUR TRADE ROUGH IN >2500 VRU #: 001757996
	4/22/09	DA	OK to install brick siding
R427 02	4/23/09	MR	FOUR TRADE ROUGH IN >2500 VRU #: 001759172
	4/23/09	DA	1. trusses a2,a2a are not supported at all points 2. fireblock and draftstop all walls 3. washer in basement is crown vented 4. temp win dows needed at final in mbr bath 5. draft stop basement ac room ceiling ok to insul.
I129 01	4/28/09	TI	R*INSULATION INSPECTION VRU #: 001760693
	4.28.9	AP-MR	
R427 03	4/28/09	TI	FOUR TRADE ROUGH IN >2500 TIME: 17:00 VRU #: 001761022
	4.28.9	AP-IVR	

COMMENTS AND NOTES

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	4/22/09	DA	OK to install brick siding
R427 02	4/23/09	MR	FOUR TRADE ROUGH IN >2500 VRU #: 001759172
	4/23/09	DA	1. trusses a2,a2a are not supported at all points 2. fireblock and draftstop all walls 3. washer in basement is crown vented 4. temp win dows needed at final in mbr bath 5. draft stop basement ac room ceiling ok to insul.
I129 01	4/28/09	MR	R*INSULATION INSPECTION VRU #: 001760693
	4/28/09	AP	
R427 03	4/28/09	MR	FOUR TRADE ROUGH IN >2500 TIME: 17:00 VRU #: 001761022
	4/28/09	AP	
R431 01	7/07/09	MR	FOUR TRADE FINAL >2500 VRU #: 001790617
	7/07/09	CA	T/S: 07/07/2009 01:01 PM MREARIC -----
R231 01	7/08/09	TI	FOUR TRADE FINAL>2500 VRU #: 001791128

7-8-9 AP-MR - 4

----- COMMENTS AND NOTES -----

**COUNTY OF HARNETT
DEPARTMENT OF BUILDING INSPECTION
AND PLANNING/DEVELOPMENT
CERTIFICATE OF OCCUPANCY**

This certificate issued pursuant to the requirements of Section 105 of the North Carolina State Building Code and the Harnett County Zoning Ordinance certifies at the time of issuance this structure was in compliance with the various ordinances of the County of Harnett regulating development and building construction or use. For the following:

Use Classification: R-3

Conditional Use Permit No.: _____

Type of Construction: T

Building Permit No.: 08-50019474

Owner of Building: Dustin Blackwell, Inc

Electrical Permit No.: 1

Building Address: 153 Duck Lane

Insulation Permit No.: 1

Zoning District: _____

Plumbing Permit No.: 1

Zoning Permit No.: _____

Mech. Permit No.: 1

Date: 7-8-9

Envir. C.O. No.: _____

T. Michael Ream

Building Official

Zoning Official