



Plan Review, Inspection, and Permit Fees

Application Number : 18-50043658

\$200.00	<input type="checkbox"/>	Explosive Material (90 Days)	\$	-
\$100.00	<input type="checkbox"/>	Explosive Materials (72 Hours)	\$	-
\$100.00	<input type="checkbox"/>	Fireworks Public Display	\$	-
\$50.00	<input checked="" type="checkbox"/>	Final Inspection	\$	50.00
\$35.00 + \$2.00 per device	<input type="checkbox"/>	Fire Alarm Testing	\$	-
\$35.00 + \$2.00 per nozzle	<input type="checkbox"/>	Fixed Fire Suppression	\$	-
\$75.00	<input type="checkbox"/>	Insecticide Fog/Fumigation	\$	-
\$100.00	<input type="checkbox"/>	Pipe Test/UST/AGST	\$	-
\$50.00	<input checked="" type="checkbox"/>	Plans up to 5000 sq ft	\$	50.00
\$100.00	<input type="checkbox"/>	Plans 5001 sq ft to 10,000 sq ft	\$	-
\$150.00	<input type="checkbox"/>	Plans 10,001 sq ft to 25,000 sq ft	\$	-
\$250.00	<input type="checkbox"/>	Plans 25,001 sq ft and over	\$	-
\$35.00 + 2.00 per head	<input type="checkbox"/>	Sprinkler Certification Test	\$	-
\$50.00	<input type="checkbox"/>	Standpipe Testing	\$	-
\$50.00	<input type="checkbox"/>	Special Assembly (ie. amusement buildings, carnivals, fairs)	\$	-
\$75.00	<input type="checkbox"/>	Tents/Canopies/Air Supported Structure	\$	-
\$100.00	<input checked="" type="checkbox"/>	Tank Installation (charge for each tank)	\$	-
\$100.00	<input type="checkbox"/>	Tank Removal (charge for each tank)	\$	-
		Total Devices/Heads	\$	-
		Total Cost	\$	100.00

Code Enforcement Official

D. Banks Wallace

5/14/2018



Fire Marshal Division

May 11, 2018

Ronnie Currin
P.O. Box 1166
Fuquay – Varina, NC 27526

**Re: Concrete Supply
243 Progress Drive
Fuquay – Varina, NC 27526**

Application Number 18-50043658

Mr. Currin,

Thank you for submitting the plans for the concrete supply plant. The plans have been carefully reviewed by a qualified code enforcement official to examine for compliance with the North Carolina Fire Prevention Code and all other fire protection regulatory documents. There are some items that were found during the plan review process that need to be addressed before a final inspection of the new facility can be given. These items are outlined and described below.

- **505.1 Address Numbers**
 - The physical address shall be installed on the building so that it is visible from the approach side.
 - Numbers should 6 inches in height and contrasting color.

- **506.1 Knox Box**
 - A secure key box shall be installed on the new building that houses all keys to all the doors within the building in which the fire department would need access to in the event of an emergency.
 - The box shall be mounted not to exceed 48 – 60 inches in height.
 - An order form is included with this letter.

- **906.1 Fire Extinguishers**
 - Fire extinguishers shall be placed in approved locations as indicated on the plan, and verified on the final inspection.
 - The fire extinguishers provided shall have a minimum rating of 2A 10 B: C and shall not be installed higher than 5 feet above the finished floor.



- **507.5.1 Fire Hydrant**
 - Where portions of the building are more than 400 feet from a hydrant a hydrant must be installed.

- **503.1.1 Apparatus Access Roads**
 - An approved fire apparatus road shall be provided and extend to within 150 feet of all portions of the building's exterior.

- **907.4.1 Duct smoke detectors**
 - Activation of duct smoke detectors shall initiate a visible and audible supervisory signal at a constantly attended location and shall perform the intended fire safety function in accordance with the International Mechanical code.
 - Duct detectors shall be tested and approved at final inspection.

- **Fuel Tank Requirements:**

Pending requirements before tank permit issuance:

- Submit engineered plans for the installation of each Aboveground Storage Tank (AGST) used for fleet-fueling and/or motor fuel dispensing operations. Approved and listed piping systems and all ancillary equipment for a complete installation shall be indicated on the plans as prescribed in the NC State Fire Code and NFPA 30.
- It is also important to remember that the NC State Board of Registration for Professional Engineers and Land Surveyors require that a Professional Engineer (PE) seal all plans regarding ASTs/USTs Installations, piping, ancillary equipment upgrades, and vapor recovery system installations. Small tanks of 1,100 gals. or less capacity for commercial or noncommercial purposes and tanks used for storing heating oil for consumptive use on the premises where stored and the storage of Class IIIB combustibles are excluded from the PE rule.

- Supports, foundations and anchorage for above-ground tanks shall be designed and constructed in accordance with NFPA 30 and the NC State Building Code. Submit plans that show approved design for each tank.
- Submit tank manufacture sheets supporting the type UL approved tanks to be installed.
- Provide quantity in gallons for each tank being installed and shown on the site plan.
- Clarify if tanks will be used for dispensing into motor-vehicles?
- Submit an approved site plan showing tank locations in relation to property lines, distance from buildings and roadways.
- Draining control and diking is required unless listed secondary containment tanks are used.
- Provide a description of each tanks use and methods of dispensing from tanks.
- Dispensers used shall be approved and listed for appropriate fuel oil.



- Provide Safety Data Sheets from the manufacture of each type of flammable or combustible liquid stored or dispensed from each tank.

After permit is issued and before final approval:

- Installation shall be in accordance with all North Carolina Fire prevention codes and NFPA 30 standards.
- All hydrostatic and pressure tests for tanks and piping shall be witnessed by the Fire Marshal's Office.
- Contact the Fire Marshal's Office to witness the setting of tanks.
- A final Fire inspection is required at the end of the project.
- Call (910) 893-0743 to schedule all fire inspections.

Thank you again for submitting the plans for the new concrete supply plant. Please review the plans and adhere to any notes and alterations that were made in addition to the original drawings. These remarks are for the plans that were submitted and its original intent. These remarks do not apply if the original intent changes or what was submitted on the above date changes. If you have any questions, please do not hesitate to call this office.

Sincerely,



D. Banks Wallace
Chief Deputy Fire Marshal



Approved By: Banks Wallace,
Chief Deputy Fire Marshal
05/14/2018 3:20:32 PM

Application for Plan Review

Application # 43658

Date Received: _____ Received By: _____

Name of Project: Concrete Supply

Physical Address of Project: 243 Progress Drive

Fuquay-Varina, NC 27526

Plans Submitted By: Ronnie Currin

Project Phone: (919) 552-6609

Contact Person/Address: Ronnie Currin

P.O. Box 1166

Fuquay-Varina, N.C. 27526

Contact Email: nicolecurrin@hotmail.com
dedwards@jbcurrinandsons.com

Contact Phone: (919) 552-6609

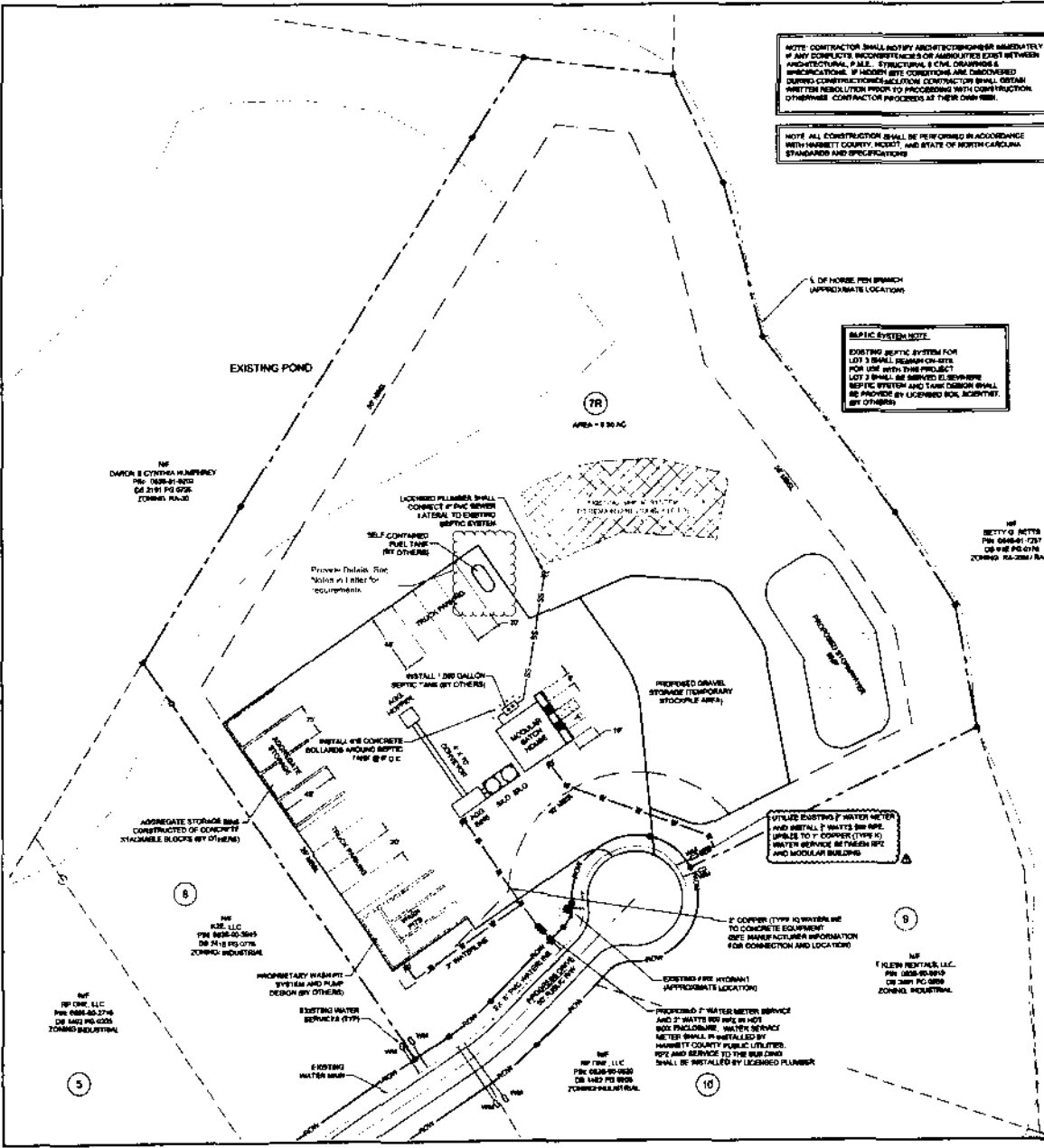
Contractor's Name/Info: James Bobby Currin & Sons, Inc.

P.O. Box 1166

Fuquay-Varina N.C. 27526

Contractor's Phone: (919) 552-6609

- Plans that are submitted will be reviewed as quickly as possible with an average time of review between 7-10 working days.
- Status checks may be conducted on plan reviews by visiting the website <http://hweb.harnett.org/Click2GovBP/Index.jsp> or by calling the Harnett County Central Permitting Office (910-893-7525, Option #2), or the Harnett County Fire Marshal's Office (910-893-7580).
- Approved plans must be picked up from the Central Permitting Office and all fees paid before any required inspections can be conducted.

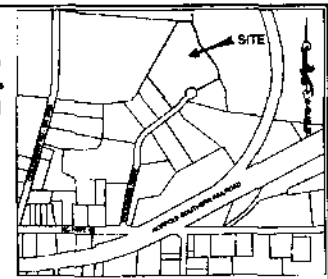
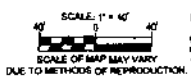


NOTE: CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER IMMEDIATELY IF ANY CONFLICTS, INCONSISTENCIES OR AMBIGUITIES EXIST BETWEEN ARCHITECTURAL, P.E. L.S., STRUCTURAL & CIVIL DRAWINGS & SPECIFICATIONS. IF AGENCY SITE CONDITIONS ARE ENCOUNTERED DURING CONSTRUCTION/INSTALLATION, CONTRACTOR SHALL OBTAIN WRITTEN RESOLUTION PRIOR TO PROCEEDING WITH CONSTRUCTION. OTHERWISE, CONTRACTOR PROCEEDS AT THEIR OWN RISK.

NOTE: ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH HARRIS COUNTY, HOUSTON, AND STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.

SEPTIC SYSTEM NOTE
EXISTING SEPTIC SYSTEM FOR LOT 3 SHALL REMAIN ON-SITE FOR USE WITH THIS PROJECT. LOT 3 SHALL BE SERVED BY SEPTIC SYSTEM AND TANK DESIGN SHALL BE PROVIDED BY LICENSED SOIL SCIENTIST, ET AL.

1" OF HORSE PEN BRANCH (APPROXIMATE LOCATION)



VICINITY MAP
SCALE: 1"=500'

SITE PLAN INFORMATION

1. NAME
2. STREET ADDRESS
3. PIN
4. PLAT BOOK/PAGE
5. LAND USE (ZONING/PREVIOUS)
6. NORMAL BUSINESS HOURS
7. LAND USE CLASSIFICATION
8. TOTAL NUMBER OF LOTS
9. LOT SIZE
10. DISTURBED AREA
11. CURRENT PROPOSED ZONING
12. BUILDING SETBACKS
13. LANDSCAPE BUFFERS
14. PARKING SPACES
15. FLOOD HAZARD BOUNDARY
16. BUILDING SQUARE FOOTAGE & USE
17. PROPOSED PARKING REQUIREMENTS
18. TOTAL SPACES REQUIRED
19. IMPROVED SURFACE AREA
20. PROPOSED WATER PROVIDER
21. ANTICIPATED WATER USAGE
22. PROPOSED SEWER PROVIDER
23. DEVELOPER

DUNCAN INDUSTRIAL PARK CONCRETE PLANT
343 PROGRESS DRIVE
FLOUARY VARIANA, NORTH CAROLINA 27858
0884-08487, 0884-01-0238, 0884-01-1780
PI 0027 / PJ 027574
OR 1482 PG 0028
VACANT / CONCRETE PLANT
MONDAY - SATURDAY 8AM - 5PM
COMPACT MIXED USE
1. RECONSTRUCTION IN PROGRESS
2. 100,000 SF 1.5 TO 30 ACRES
INDUSTRIAL
FRONT - 80 FT
SIDE - 85 FT 6 IN (ADJACENT RESIDENTIAL)
REAR - 25 FT 6 IN (ADJACENT RESIDENTIAL)
FRONT TYPE C
SIDE TYPE C
REAR TYPE A
NO
NO (PER FEMALE FIRE DEPARTMENT)
1. 800 SF OFFICE
(1) SPACE (PER 2 EMPLOYED)
2. 800 SF OFFICE
2 SPACES TOTAL
4 SPACES PROPOSED (1 AC. 1.5 MIN.)
3,150 SF (807 ACRES)
8,000 SF (1.8 ACRES)
8,000 SF (1.8 ACRES)
HARRIS COUNTY
8.000 GALLONS / PER DAY
PRIVATE SEPTIC SYSTEM
PI ONE, LLC
P.O. BOX 1788
FLOUARY VARIANA, NC 27858
CONCRETE SUPPLY CO. LLC
P.O. BOX 248
DURHAM, NC 28808

AS THE OWNER OF RECORD, I HEREBY FORMALLY CONSENT TO THE PROPOSED DEVELOPMENT SHOWN ON THIS SITE PLAN AND ALL REGULATIONS AND REQUIREMENTS OF THE HARRIS COUNTY ORDINANCES.
[Signature] 5/10
DATE

SCALE
BLOCK/ARCHITECT HOUR
STEP 1: ARCHITECT MAP ACCESS
SHALL BE PROVIDED BY OTHERS
AND FIELD CONSTRUCTED

- PLANNING DEPARTMENT NOTES**
1. ALL MECHANICAL AREAS LOCATED ON, BEHIND, OR ADJACENT TO ANY BUILDING OR DEVELOPMENT SHALL BE SCREENED FROM THE VIEW OF STREETS AND ADJACENT PROPERTY.
 2. THE PROPERTY OWNER WILL BE RESPONSIBLE FOR MAINTENANCE OF THE PARKING AREAS AND LANDSCAPE BUFFERING.
 3. TRAFFIC SERVICE TO PROVIDE BY PRIVATE SERVICE USING PULL OUT BAY.
 4. THIS DEVELOPMENT IS WITHIN ONE (1) MILE OF THE VOLUNTARY AGRICULTURAL DISTRICT.



PROPOSED SITE AND UTILITY PLAN


DUNCAN INDUSTRIAL PARK
343 PROGRESS DRIVE
FLOUARY VARIANA, NORTH CAROLINA 27858

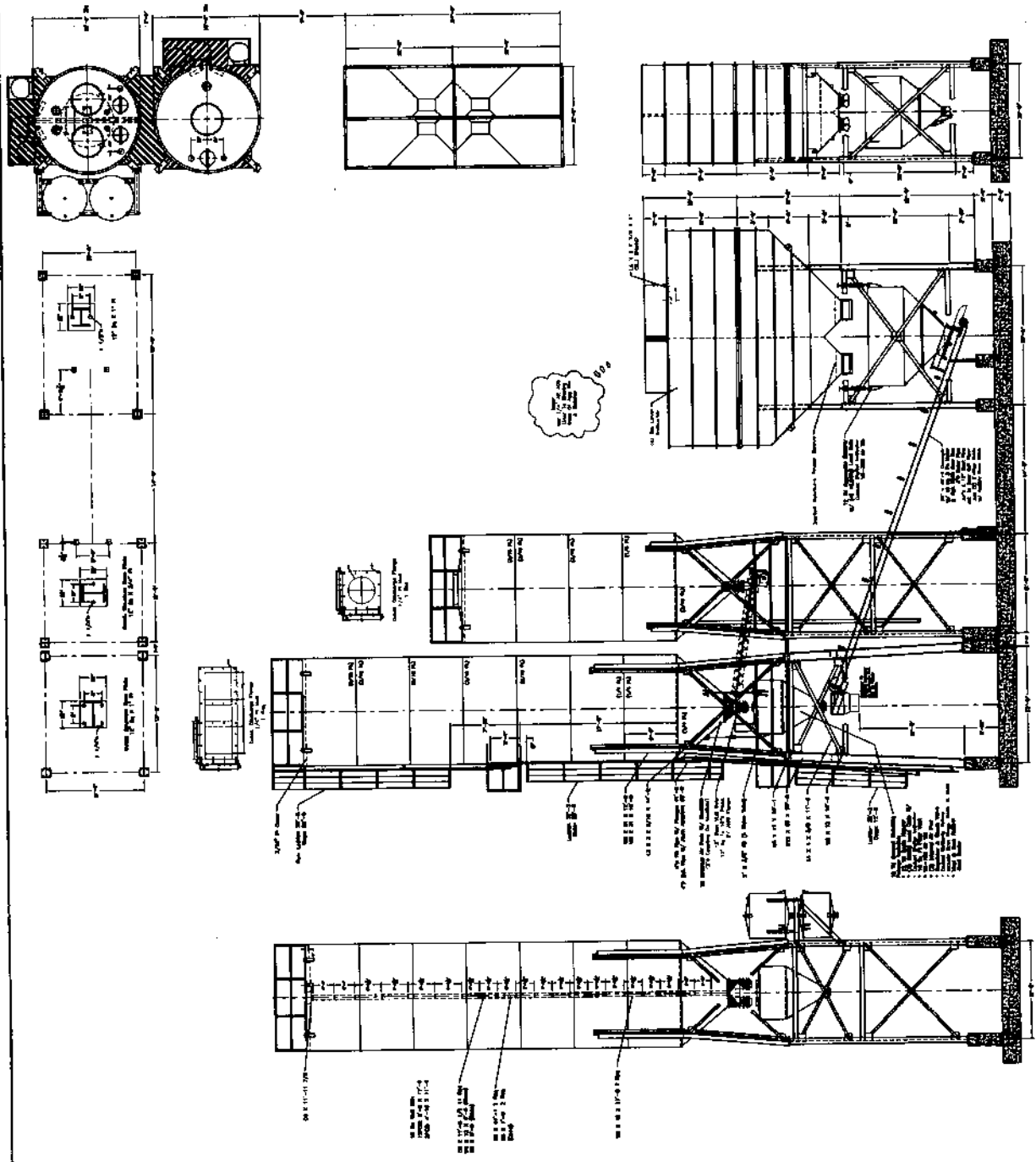
REVISIONS

NO.	DATE	DESCRIPTION
1	5/10/10	ISSUED FOR PERMITS

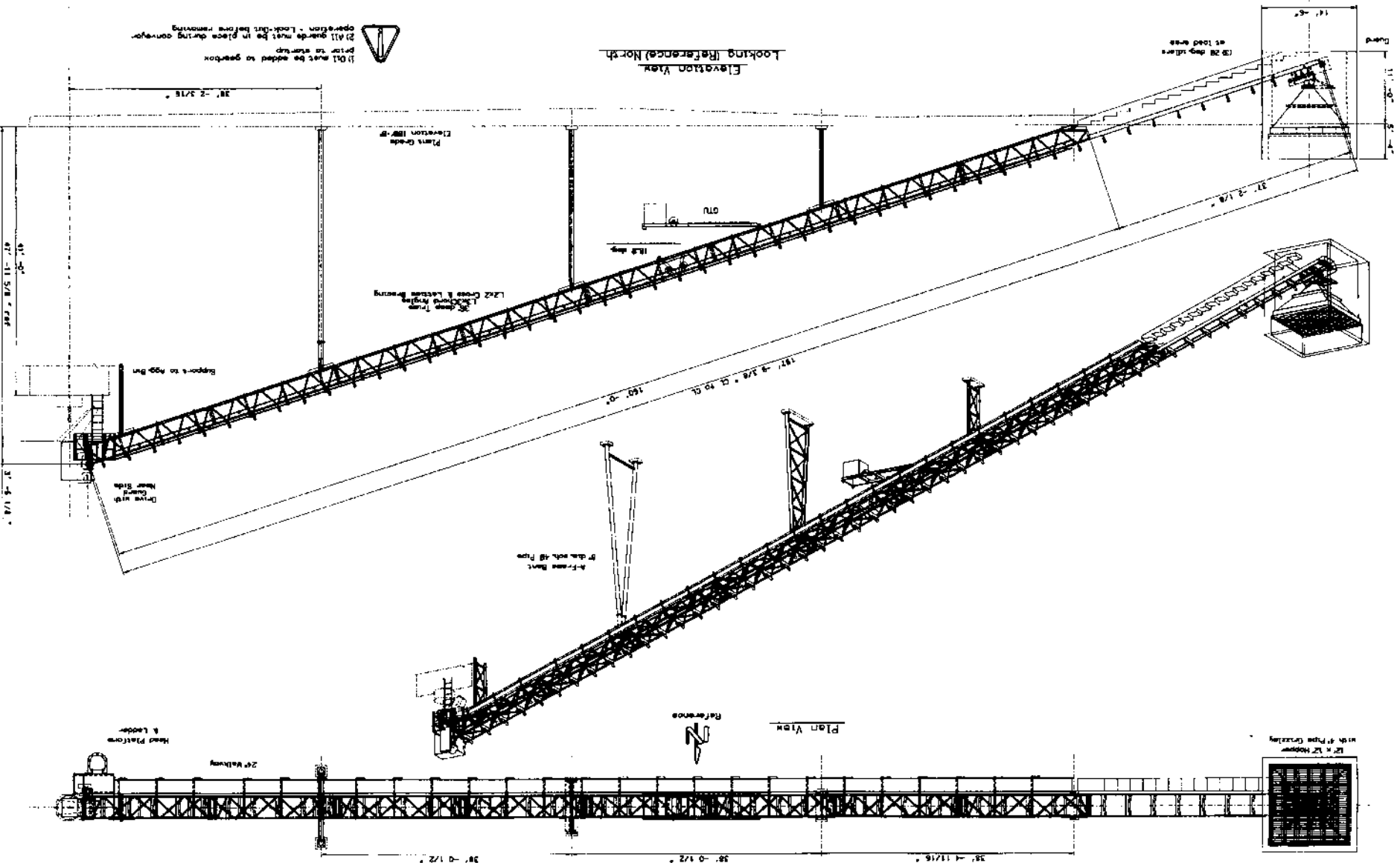
PROJECT NO.: 10-000
DRAWN BY: CSB
REVIEWED BY: CSB

SHEET NUMBER
C3
OF 3 SHEETS

 <p>BELGRADE STEEL TANK</p> <p>THE BELGRADE STEEL TANK COMPANY, INC. IS THE LEADING MANUFACTURER OF STEEL TANKS IN THE UNITED STATES. ALL WORK IS GUARANTEED.</p>	TITLE: 215 Ton Agg. Bin With 1200 Sph. & 700 Bin Scales PROJECT NUMBER: 40818 DATE: 4/9/15 SCALE: 3/8" = 1'-0" SHEET: 1 OF 1 DRAWN BY: LHM CHECKED BY: JLM PROJECT NO.: JOB:
	PREPARED BY: JLM APPROVED BY: JLM CONTRACTOR:
	ENGINEER: JLM ARCHITECT: JLM GENERAL CONTRACTOR:
	SUPPLIER: JLM CONCRETE SUPPLY:

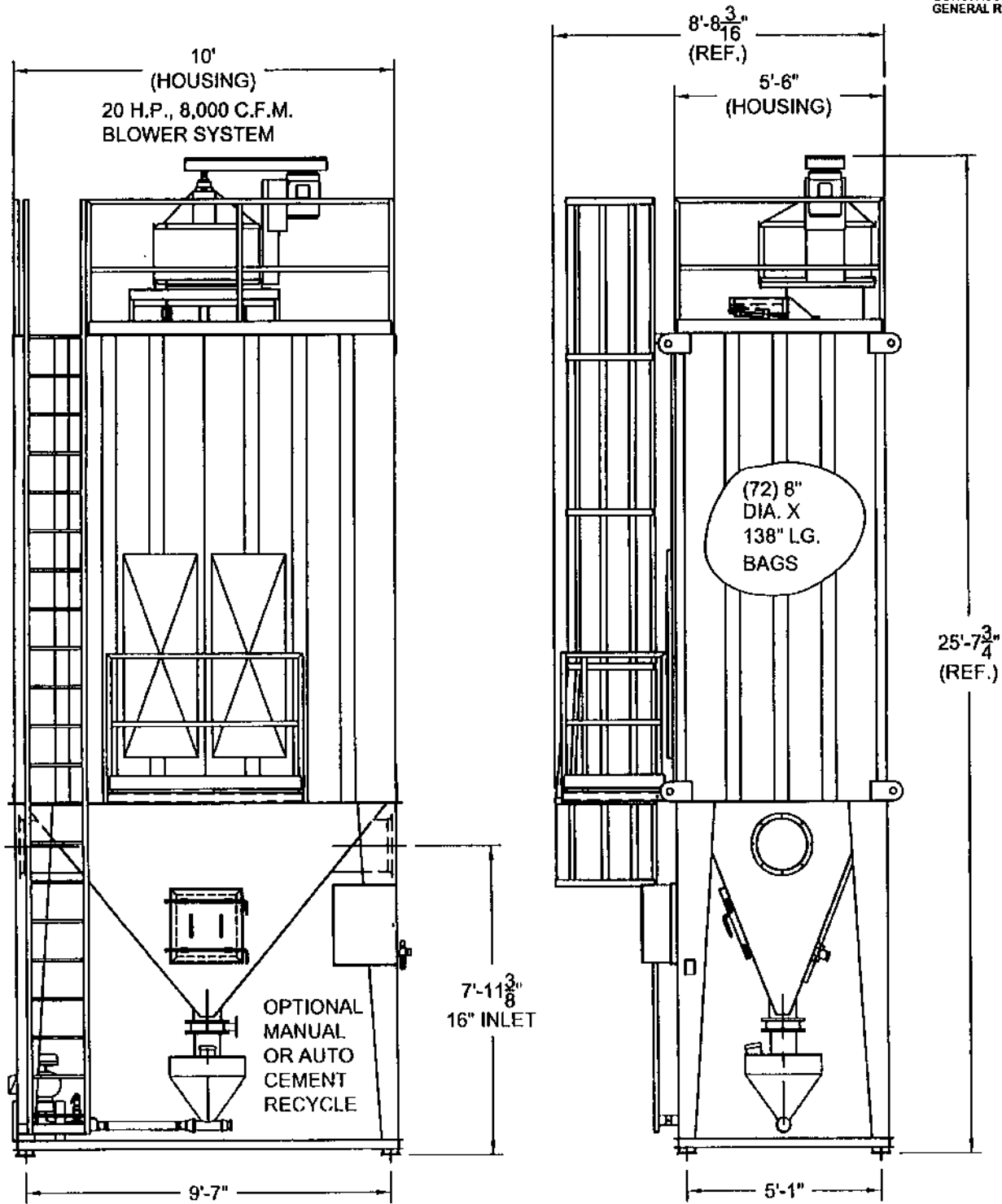


DATE	BY	CHECKED	REV.
THIS DRAWING IS THE PROPERTY OF THE ENGINEERING FIRM AND IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE ENGINEERING FIRM.			
PROJECT	TITLE	DRAWING NO.	DATE
CONSTRUCTION OF CONVEYOR SYSTEM	CONVEYOR SYSTEM	1000-01-01	10/15/98
DESIGNED BY	DESIGNED BY	DATE	
SCALE	NOT TO SCALE		
APPROVED BY	DATE		
REVISIONS	NO. 1		



38" x 147" Roll Damage
 Drawing No. 1000-01-01

ACAD/DRAW/NEWEST/GARA-170
NOTE: THIS PRINT NOT FOR
CONSTRUCTION. FOR
GENERAL REF. ONLY



RA-170 DUST COLLECTOR
WITH OPTIONAL RECYCLE SYSTEM



C & W MFG. & SALES CO.
6933 SHEL MOR RD.
ALVARADO, TX. 76009 (817) 790-5000

HAL OWEN & ASSOCIATES, INC.

SOIL & ENVIRONMENTAL SCIENTISTS

P.O. Box 400, Lillington NC 27546-0400

Phone (910) 893-8743 / Fax (910) 893-3594

www.halowensoil.com

3 May 2017

Mr. Ronnie Currin
James Bobby Currin & Sons Inc.
PO Box 1166
Fuquay-Varina, NC 27526

Reference: Soil Investigation and Septic System Design
Duncan Industrial Park Lots 13-15

Dear Mr. Currin,

A site investigation was conducted on 6 April 2017 for the above referenced property, which is located on the eastern side of Progress Drive in Harnett County, North Carolina. The purpose of the investigation was to determine the ability of Lot 13 and Lot 14/15 (combined) to each support a subsurface sewage waste disposal system and 100% repair area for a business with a design flow of up to 200 gallons per day or eight employees if no other water uses are involved. All ratings and determinations were made in accordance with "Laws and Rules for Sewage Treatment and Disposal Systems, 15A NCAC 18A .1900". This report represents my professional opinion but does not guarantee or represent permit approval for any lot by the local Health Department. The permit you receive from the Health Department may contain modifications or amendments to our submitted design. Please carefully review your permit and adhere to all prescribed requirements. Public water supplies will be utilized at this site.

Lot 13

The soils were evaluated under moist soil conditions through the advancing of auger borings. A portion of Lot 13 was observed to be underlain by soils rated as suitable for subsurface sewage waste disposal (Figure 1). These suitable soils were observed to be friable loamy sands and sandy loams to greater than 36 inches and will support long term acceptance rates of 0.6 to 0.8 gal/day/sqft.

An initial septic system and repair area have been designed for a design flow of 200 gallons per day utilizing a long term application rate of 0.6 gal/day/sqft. The initial septic system is proposed a pump to one 112 ft conventional drainline. The repair system is designed as a pump to two 56 ft conventional drainlines. The drainlines should be installed on contour with trench bottom depths at 18 to 24 inches below surface.

HAL OWEN & ASSOCIATES, INC.

~~LOT 14/15~~

~~The soils were evaluated under moist soil conditions through the advancing of auger borings. A portion of Lot 14/15 (combined) was observed to be underlain by soils rated as provisionally suitable for subsurface sewage waste disposal (Figure 2). These provisionally suitable soils were observed to be friable sandy clay loams to greater than 34 inches and will support long term acceptance rates of 0.5 gal/day/sqft.~~

~~An initial septic system and repair area have been designed for a design flow of 200 gallons per day utilizing a long term application rate of 0.5 gal/day/sqft. The initial septic system is proposed as a pump to three 50 ft long conventional drainlines (LTAR of 0.44 gal/day/sqft used for design purposes). The repair system is proposed as a pump to three 45 ft long conventional drainlines. The drainlines should be installed on contour with trench bottom depths at 18-24 inches below surface.~~

~~Potential septic system drainlines have been demonstrated with various colored pin flags that are located on the lots. It is important that you do not disturb the septic system area. It is recommended that a staked line or protective fence be placed around the system prior to construction to eliminate any potential damage to the soil or the layout of the system.~~

~~I appreciate the opportunity to provide this service and hope to be allowed to assist you again in the future. If you have any questions or need additional information, please contact me at your convenience.~~



Sincerely,

Krishna B. Newcomb

Krishna B. Newcomb

Hal Owen

Hal Owen
Licensed Soil Scientist


HAL OWEN & ASSOCIATES, INC.

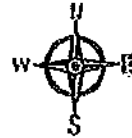
Soil Investigation and Septic System Design
 Duncan Industrial Park Lots 13
 2 May 2017




Figure 1. Lot 13 Soil Map and Septic System Layout

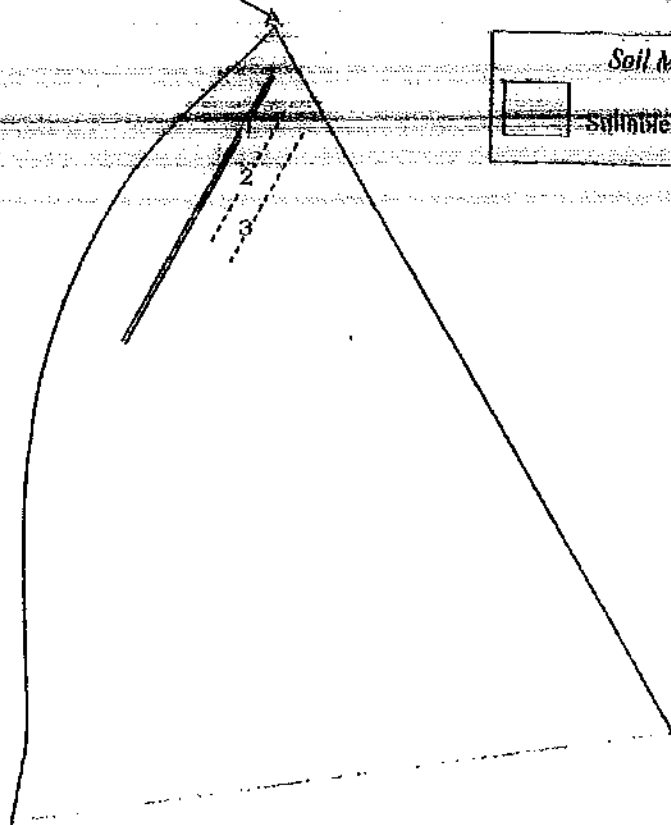
Lino #	Color	Drainline Length(ft)	Measured Field Line Length (ft)	Relative Elevation (ft)
1	B	112	140	99.52
2	R	56	100	98.59
3	W	56	100	97.61
Total:		224	340	B.M.E.=100

Scale 1 in = 60 ft

 Distances are paced and approximate



B.M.E. @ BIP

Soil Map Legend
 Salinable Soils



S 32°23'36"

87.39'

S 10°12'

98.3'

8

1.00 acres

S 18°07'54" E

120.15'

S 00°03'52" W

87.38'

S 05°40'57" E

110.13'

7

1.43 acres

CURV
L-1

N 32°20'41" E

163'

166'

LIMIT OF AREA
OF SUITABLE SOILS FOR
ON SITE SEPTIC DISPOSAL

10

5.69 acres

11

2.23 acres

12

1.65 acres

13

3.01 acres

252'

14

1.04 acres

N 66°15'04" E

483.67'

167'

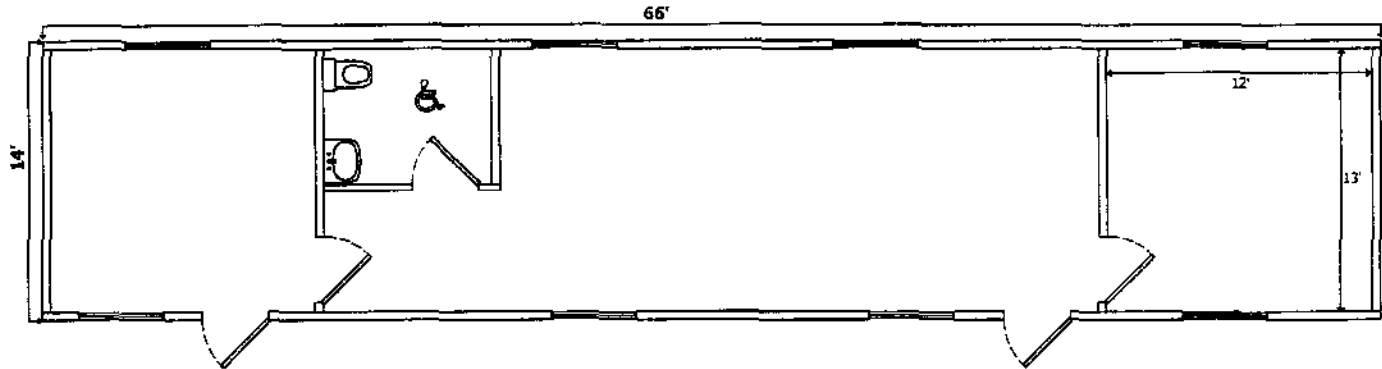
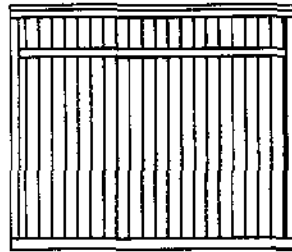
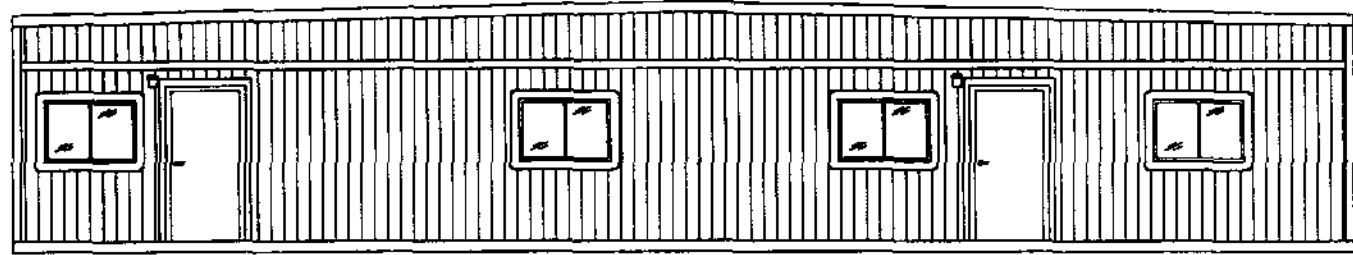
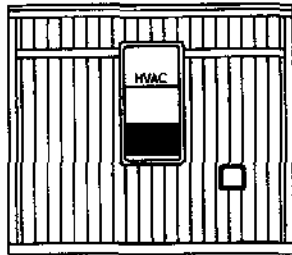
50'

17'

166'

59'

057



- 924 square feet of open office space with two private offices, one handicapped accessible restroom and a spacious front office providing generous office space for up to ten people.
- Our buildings are completely insulated and come with a heating and air conditioning system to provide a comfortable work environment.
- Commercial carpet for a quiet and productive office.

- Vinyl floors offer a near maintenance free office building.
- Constructed with a steel Hoeman outrigger chassis.

Note: Dimensions, and door & window locations shown are nominal. Actual dimensions, layout, and roof slope may vary depending on model or model year selected.

Call Your Local Sales
Professional

866.889.7777

14' x 66' Mobile Office Building with Restroom

Delivered ready to use "On Time and On Budget"

 **Design Space**
MODULAR BUILDINGS
From Vision to Reality On Time and On Budget

www.DesignSpaceModular.com

Lot 7R has an existing sewer line already installed and is being used for Lot 4.

We will be using the septic field on Lot 7R for the modular office trailer for the concrete plant.

We will be using Lot 13 septic field for Lot 4 and installing a new septic field and connecting Lot 4 to the new septic field and recording an easement for the septic field.

Hal Owen's field reports are attached for Lot 13.

