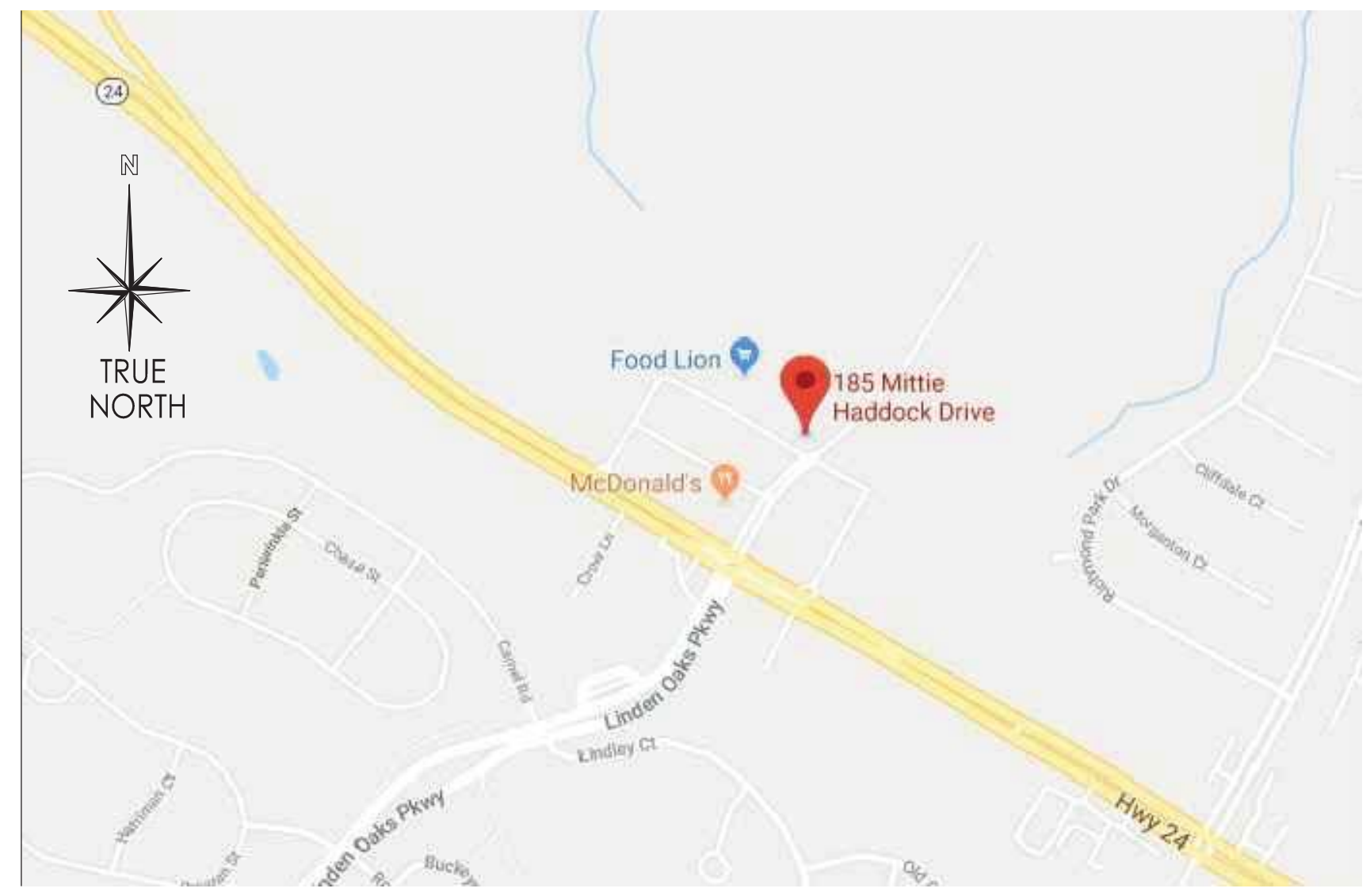


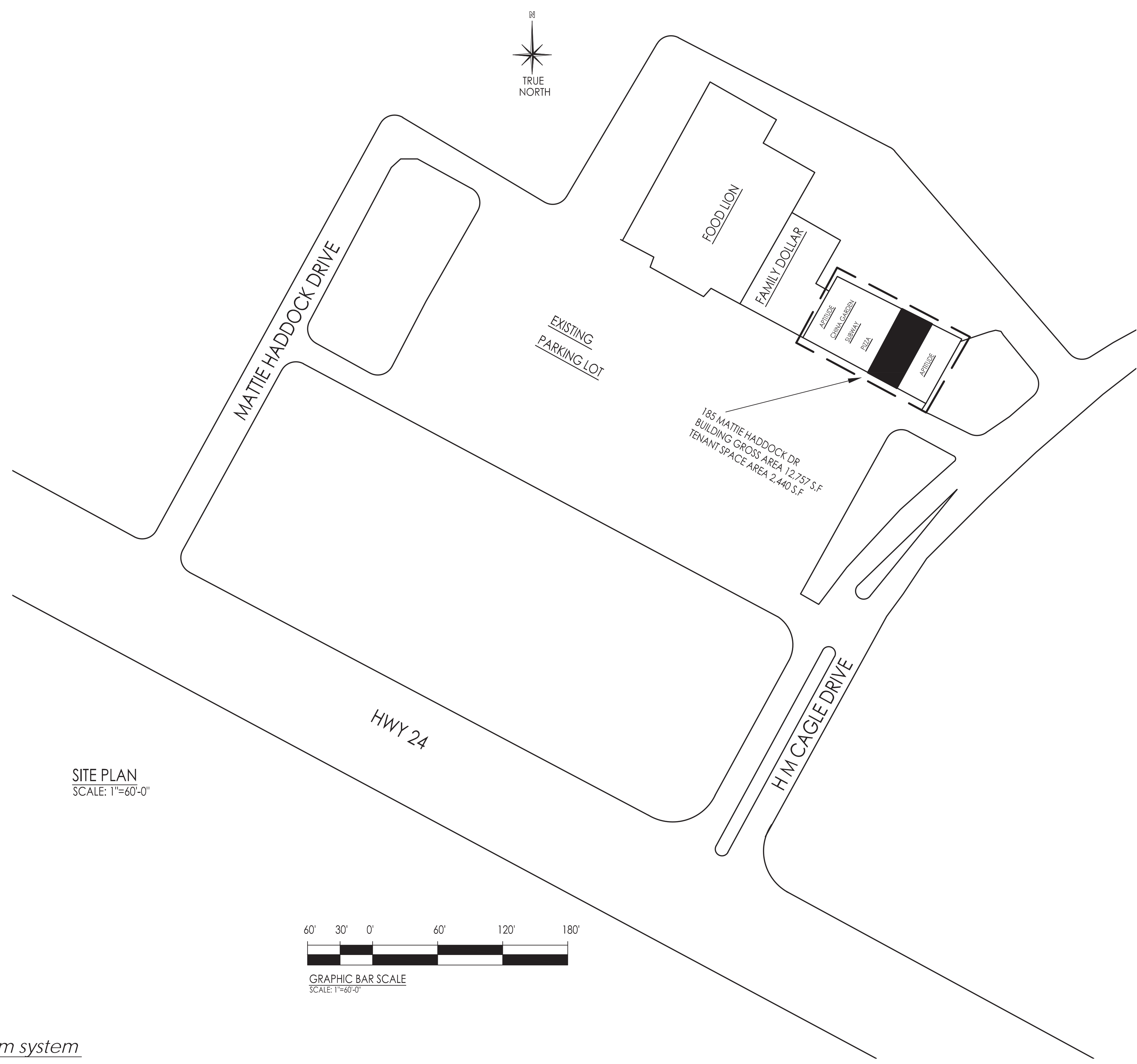
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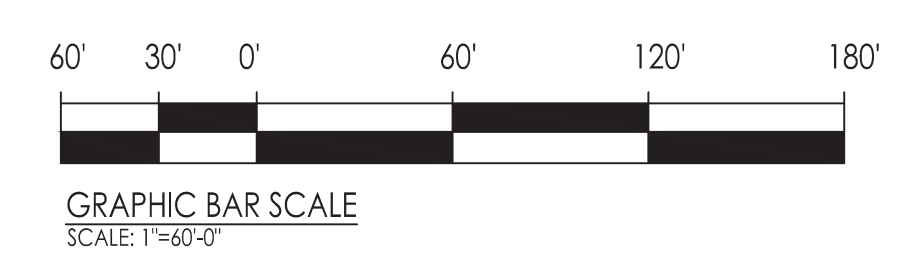
VICINITY MAP  
SCALE: NTS

# RENOVATION PROJECT FOR BUFFALO LAKE MEDICAL

185 MATTIE HADDOCK DR.  
CAMERON NC 28326



SITE PLAN  
SCALE: 1"=60'-0"



**SCOPE OF WORK**

1. DEMOLISH WALLS AS INDICATED
2. REPOSITION LIGHT FIXTURES TO MEET NEW OFFICE CONFIGURATION
3. PROVIDE NEW OFFICES AS SHOWN
4. MINIMAL RELOCATION OF DIFFUSERS TO MEET NEW CONFIGURATION. NO NEW HVAC SYSTEM.
5. PROVIDE NEW ELECTRICAL OUTLETS IN NEW OFFICES AND A NEW PANEL BOX

*the building is equipped with an automatic fire sprinkler system and fire alarm system*

ARCHITECT HAS ASSUMED RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. THE ARCHITECT HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE INFORMATION PROVIDED BY OTHER PROFESSIONALS. THE ARCHITECT HAS NOT CONDUCTED ANY INVESTIGATION OR VERIFICATION OF THE INFORMATION PROVIDED BY OTHER PROFESSIONALS. THE ARCHITECT HAS NOT CONDUCTED ANY INVESTIGATION OR VERIFICATION OF THE INFORMATION PROVIDED BY OTHER PROFESSIONALS. THE ARCHITECT HAS NOT CONDUCTED ANY INVESTIGATION OR VERIFICATION OF THE INFORMATION PROVIDED BY OTHER PROFESSIONALS.

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**BUFFALO LAKE MEDICAL**  
**85 MATTIE HADDOCK DR.**  
**CAMERON NC 28326**

DRAWING TITLE  
COVER  
PAGE

DRAWN BY: KAM  
CHECKED BY: JRR  
SCALE: 1/8"=60'  
DATE: 3.21.18

PROJECT SHEET  
TW018083 CS



# BUFFALO LAKE MEDICAL - CAMERON, NC

## APPENDIX B - BUILDING CODE SUMMARY

Name of Project: BUFFALO LAKE MEDICAL  
 Address: 85 MATTIE HADDOCK DR  
 Proposed Use: MEDICAL OFFICE (BUSINESS)  
 Owner or Authorized Agent: TROY WHITE Phone # 919.824.3325  
 Owned By:  City/County  Private  State  
 Code Enforcement Jurisdiction:  City CAMERON  County HARNETT

LEAD DESIGN PROFESSIONAL: Jerome R. Redmond, PE 032705 (910)915-6529

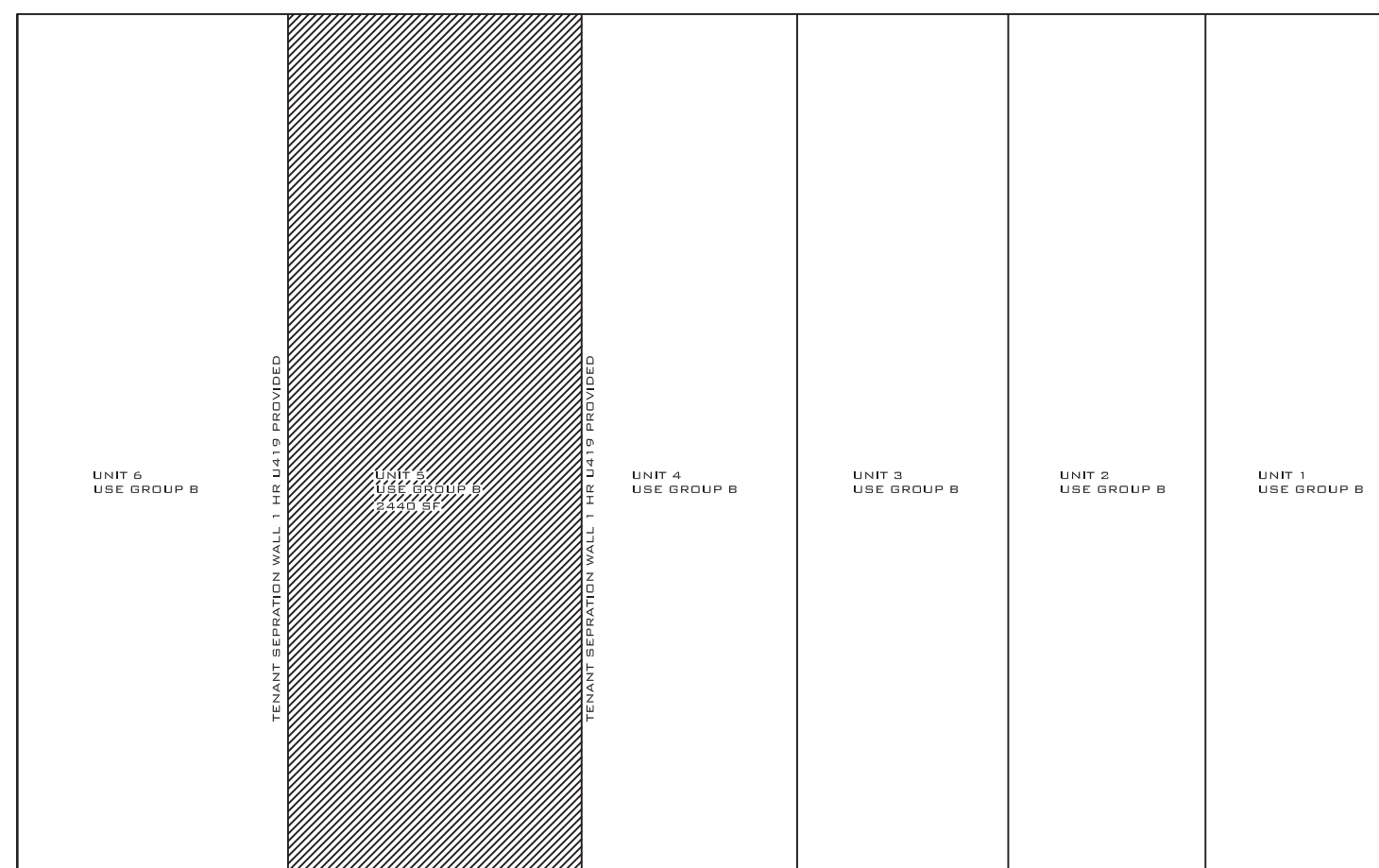
DESIGNER	FIRM	NAME	LICENSE#	TELEPHONE#
Building	Jerome R. Redmond, PE	Jerome R. Redmond	032705	(910)915-6529
Civil				
Electrical	Jerome R. Redmond, PE			
Fire Alarm				
Plumbing	Jerome R. Redmond, PE			
Mechanical	Jerome R. Redmond, PE			
Sprinkler-Standpipe				
Structural	Existing			
Retaining Walls >5' High				
Other				

2012 EDITION OENCCODEFOR:  New Construction  Addition  Upfit  
 EXISTING:  Reconstruction  Alteration  Repair  Renovation  
 CONSTRUCTED (date) \_\_\_\_\_ ORIGINAL USE(S) (Ch. 3): B  
 RENOVATED (date) \_\_\_\_\_ CURRENT USE(S) (Ch. 3): \_\_\_\_\_  
 PROPOSED USE(S) (Ch. 3): B

### BUILDING DATA

Construction Type:  I-A  I-B  II-A  II-B  III-A  III-B  
 IV  V-A  V-B  
 Mixed Construction:  No  Yes Types \_\_\_\_\_  
 Sprinklers:  No  Yes  NFPA 13  NFPA 13R  NFPA 13D  
 Standpipes:  No  Yes  NFPA 13  NFPA 13R  NFPA 13D  
 Fire District:  No  Yes  
 Building Height: 15 Feet 1 Number of Stories  Unlimited per \_\_\_\_\_  
 Mezzanine:  No  Yes  
 High Rise:  No  Yes Central Reference Sheet# (if provided) \_\_\_\_\_

FLOOR	EXISTING (SQ FT)	NEW (SQ FT)	SUB-TOTAL
6th Floor			
5th Floor			
4th Floor			
3rd Floor			
2nd Floor			
Mezzanine			
1st Floor	12,757		
Basement			
Renovated UNIT 5	2,440		



KEY PLAN  
SCALE: NTS

### ALLOWABLE AREA

Primary Occupancy:  Assembly  A-1  A-2  A-3  A-4  A-5  
 Business  Educational  Factory-Industrial  F-1  F-2  
 High-Hazard  H-1  H-2  H-3  H-4  H-5  
 Institutional  I-1  I-2  I-3  I-4  
 I-3 Use Condition:  1  2  3  4  5  
 Mercantile  Residential  R-1  R-2  R-3  R-4  
 Storage  S-1  S-2  High-piled  
 Utility and Miscellaneous Parking Garage:  Open  Enclosed  Repair

Secondary Occupancy: NONE  
 Special Occupancy:  508.2  508.3  508.4  508.5  508.6  508.7  508.8  
 Mixed Occupancy:  No  Yes Separation: \_\_\_\_\_ Hr. Exception: \_\_\_\_\_

Non-Separated Mixed Occupancy (303.1 Exception)  
 The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire building. The most restrictive type of construction, so determined, shall apply to the entire building.

Separated Mixed Occupancy (303.1/303.2) - See below for area calculations  
 For each story, the area of the occupancy shall be such that the sum of ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1.

$$\frac{\text{Actual Area of Occupancy A}}{\text{Allowable Area of Occupancy A}} + \frac{\text{Actual Area of Occupancy B}}{\text{Allowable Area of Occupancy B}} \leq 1$$

$$\frac{\quad}{\quad} + \frac{0}{\quad} + \dots = \quad \leq 1.00$$

STORY NO.	DESCRIPTION AND USE	(A) BLDG AREA PER STORY (ACTUAL)	(B) TABLE 503 <sup>5</sup> AREA	(C) AREA FOR OPEN SPACE INCREASE <sup>1</sup>	(D) AREA FOR SPRINKLER INCREASE <sup>2</sup>	(E) ALLOWABLE AREA OR UNLIMITED <sup>3</sup>	(F) MAXIMUM BUILDING AREA <sup>4</sup>
UNITS 1-4	B	7877	23,000				
UNIT 5	B	2440	23,000				
UNIT 6	B	2440	23,000				
TOTAL		12,757	23,000		N/A	N/A	23,000

- <sup>1</sup> Open space area increases from Section 506.2 are computed thus:  
 a. Perimeter which fronts a public way or space having 20 feet minimum width = \_\_\_\_\_ (P)  
 b. Total Building Perimeter = \_\_\_\_\_ (P)  
 c. Ratio (F/P) = \_\_\_\_\_ (F/P)  
 d. W = Minimum width of public way = \_\_\_\_\_ (W)  
 e. Percent of frontage increase I<sub>1</sub> = 100[F/P - 0.25] x W/30 = \_\_\_\_\_ (%)

- <sup>2</sup> The sprinkler increase per Section 506.3 is as follows:  
 a. Multi-story building I<sub>1</sub> = 200 percent  
 b. Single story building I<sub>1</sub> = 300 percent
- <sup>3</sup> Unlimited area applicable under conditions of Sections Group B, F, M, S, A-4 (507.2, 507.2, 507.3, 507.5); Group A motion picture (507.10); Malls (402.6); and H-2 aircraft paint hangers (507.8).
- <sup>4</sup> Maximum Building Area = total number of stories in the building x E (506.4).
- <sup>5</sup> The maximum area of parking garages must comply with 406.3.5. The maximum area of air traffic control towers must comply with 412.1.2.

### ALLOWABLE HEIGHT

Type of Construction	ALLOWABLE (Table 503)		INCREASE FOR SPRINKLERS		SHOWN ON PLANS		CODE REFERENCE
	Type	IBB	Type	IBB	Type	IBB	
Building Height in Feet	Feet <u>55'-0"</u>	Feet = H + 20' = _____	Feet	<u>15'-0"</u>	503		
Building Height in Stories	Stories <u>3</u>	Stories + 1 = _____	Stories	<u>1</u>	503		

### PLUMBING FIXTURE REQUIREMENTS

OCCUPANCY	WATER CLOSETS		URINALS	LAVATORIES		SHOWERS/TUBS	DRINKING FOUNTAINS	
	MALE	FEMALE		MALE	FEMALE		REGULAR	ACCESSIBLE <sup>1</sup>
UNIT 114	2	1		2	1	0	NOT REQUIRED	NOT REQUIRED

<sup>1</sup> BASED ON OCCUPANCY LESS THAN 25

### STRUCTURAL DESIGN - N/A NO MODIFICATIONS

### FIRE PROTECTION REQUIREMENTS

Life Safety Plan Sheet #, If Provided: B2

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	RATING REQ'D	PROVIDED (FWL, REDUCTION)	DETAIL# AND SHEET#	DESIGN# FOR RATED ASSEMBLY	DESIGN# FOR RATED PENETRATION	DESIGN# FOR RATED JOINTS
Structural frame, including columns, girders, trusses		NONE					
Bearing walls							
Exterior							
North	>10'	NONE		TABLE 601			
East	<5'	2 HR	2 HR	U905			
West		2 HR	2 HR	U905			
South	>10'	NONE					
Interior		NONE					
Nonbearing walls and partitions							
Exterior							
North		NONE		TABLE 601			
East		NONE					
West		NONE					
South		NONE					
Interior							
Floor construction including supporting beams and joists							
North		NONE		TABLE 601			
East		NONE					
West		NONE					
South		NONE					
Interior							
Roof construction including supporting beams and joists							
North		NONE		TABLE 602			
East		NONE					
West		NONE					
South		NONE					
Interior							
Shafts - Exit		NONE					
Shafts - Other		NONE					
Corridor Separation		NONE					
Occupancy Separation		NONE					
Party/Fire Wall Separation		NONE					
Smoke Barrier Separation		NONE					
Tenant Separation		1 HR	1 HR	U419/B3			

<sup>1</sup> Indicate section number permitting reduction

### LIFE SAFETY SYSTEM REQUIREMENTS

Emergency Lighting:  No  Yes  
 Exit Signs:  No  Yes  
 Fire Alarm:  No  Yes  
 Smoke Detection Systems:  No  Yes  Partial \_\_\_\_\_  
 Panic Hardware:  No  Yes

### LIFE SAFETY PLAN REQUIREMENTS

Life Safety Plan Sheet #: B1

Fire and/or smoke rated wall locations (Chapter 7)  
 Assumed and real property line locations - N/A Upfit  
 Exterior wall opening area with respect to distance to assumed property lines (705.8) - N/A Upfit  
 Existing structures within 30' of the proposed building - N/A Upfit  
 Occupancy types for each area as it relates to occupant load calculation (Table 1004.1.1)  
 Occupant loads for each area  
 Exit access travel distances (1016)  
 Common path of travel distances (1014.3 & 1028.8)  
 Dead end lengths (1018.4)  
 Clear exit widths for each exit door  
 Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.1)  
 Actual occupant load for each exit door  
 A separate schematic plan indicating where fire rated floor/ceiling and/or roof's structure is provided for purposes of occupancy separation - N/A  
 Location of doors with panic hardware (1008.1.10) - N/A  
 Location of doors with delayed egress locks and the amount of delay (1008.1.9.7) - N/A  
 Location of doors with electromagnetic egress locks (1008.1.9.8) - N/A  
 Location of doors equipped with hold-open devices - N/A  
 Location of emergency escape windows (1029) - N/A  
 The square footage of each fire area (902) - N/A  
 The square footage of each smoke compartment (407.4) - N/A  
 Note any code exceptions or table notes that may have been utilized regarding the items above - N/A

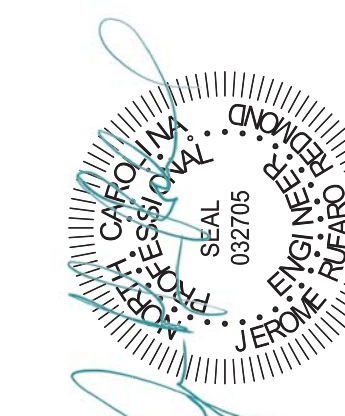
### MECHANICAL SUMMARY - SEE M1

### ELECTRICAL SUMMARY - SEE E1

### ENERGY SUMMARY - N/A NO MODIFICATIONS TO BUILDING ENVELOPE CHANGE OF OCCUPANCY ONLY

ALSO SEE SECTION 9000.01 FOR THE PROJECT'S SPECIFICATIONS TO THE BUILDING CODE. THE PROJECT'S SPECIFICATIONS TO THE BUILDING CODE SHALL BE USED TO DETERMINE THE PROJECT'S REQUIREMENTS FOR THE BUILDING CODE. THE PROJECT'S SPECIFICATIONS TO THE BUILDING CODE SHALL BE USED TO DETERMINE THE PROJECT'S REQUIREMENTS FOR THE BUILDING CODE.

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**BUFFALO LAKE MEDICAL**  
**85 MATTIE HADDOCK DR.**  
**CAMERON, NC**

### APPENDIX B BUILDING SUMMARY

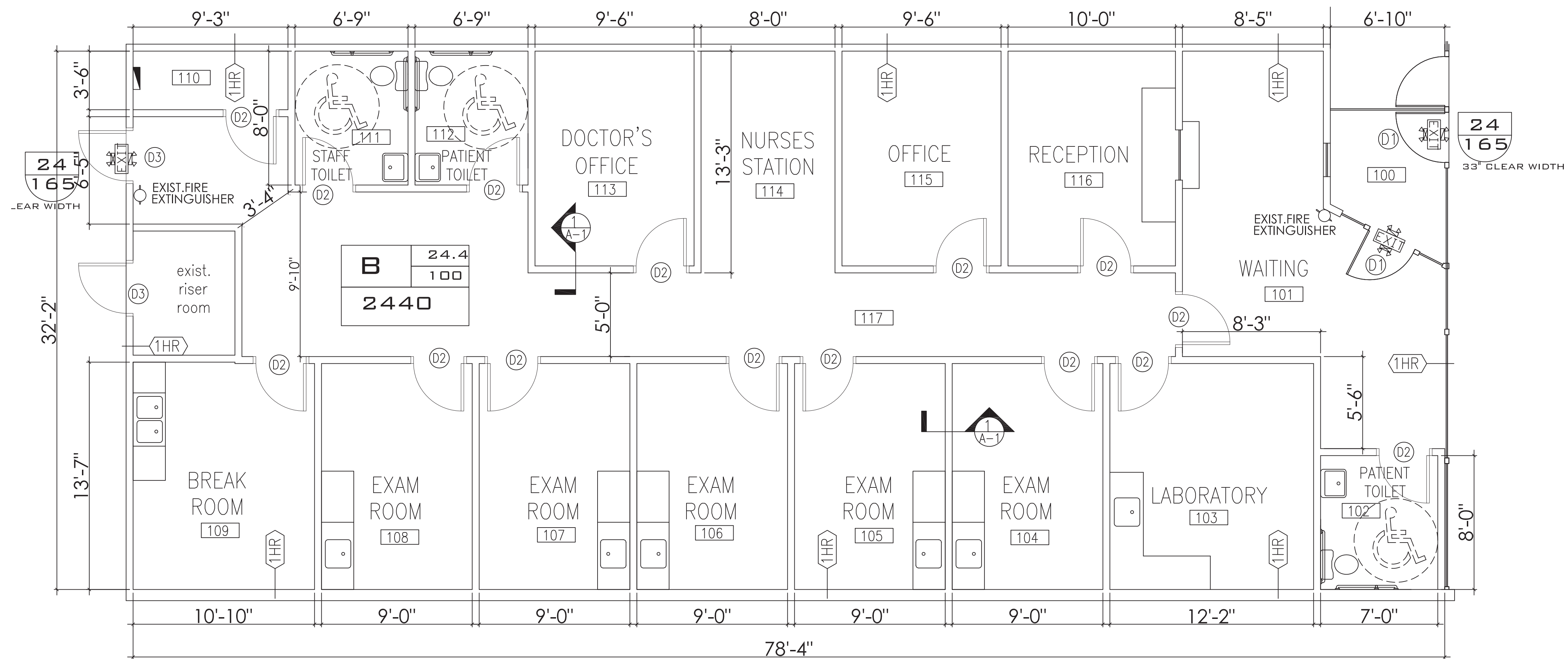
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 CHECKED BY: JRR

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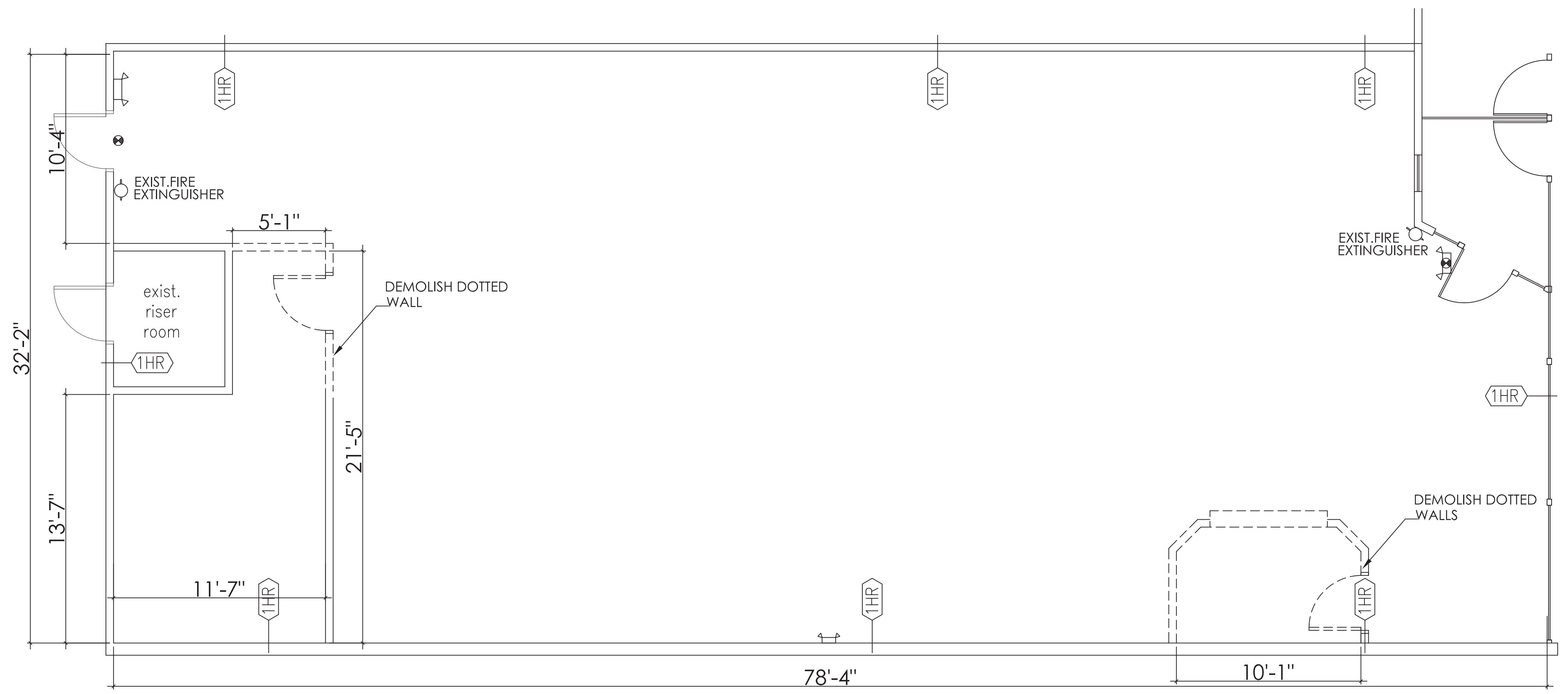
PROJECT SHEET  
 TW018083 T1

MARK	DATE	REVISION

MARK	DATE	REVISION



**FIRST FLOOR**  
SCALE: 1/4" = 1'-0"

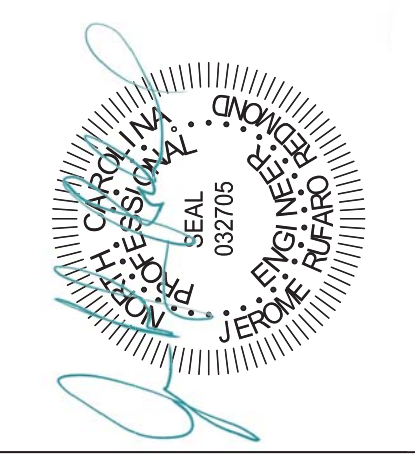


**EXISTING FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

*the building is equipped with an automatic fire sprinkler system and fire alarm system*

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF JEROME RUFARO REDMOND, PE. NO PART OF THESE PLANS OR SPECIFICATIONS IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF JEROME RUFARO REDMOND, PE.

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**BUFFALO LAKE MEDICAL**  
85 MATTIE HADDOCK Dr.  
CAMERON NC 28326

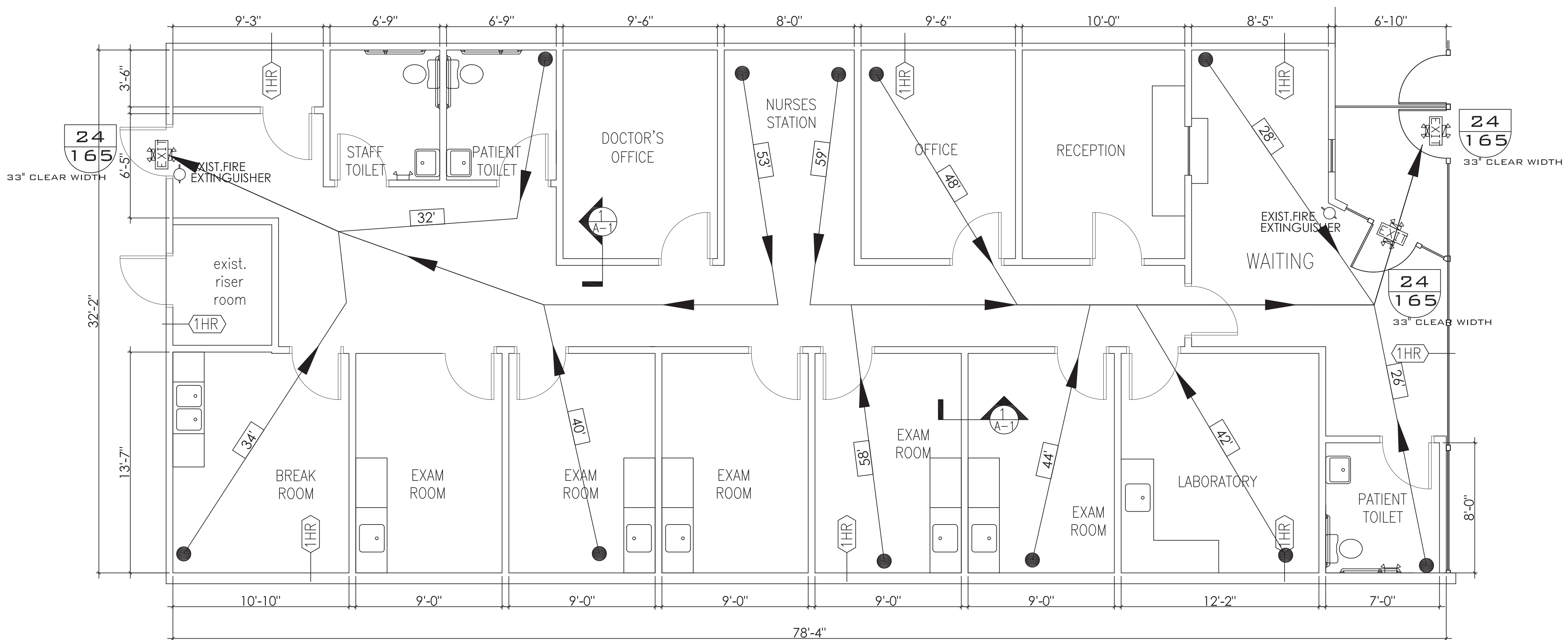
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EXISTING AND PROPOSED FLOOR PLANS

DRAWN BY: KAM  
CHECKED BY: JRR  
SCALE: 1/4"=1'  
DATE: 3.21.18

PROJECT SHEET  
TW018083 **B1**



MARK	DATE	REVISION



**LIFE SAFETY PLAN**  
SCALE: 1/4" = 1'-0"

OCUPANCY CLASSIFICATION per TABLE 1004.1.1

ROOM NO.	ROOM NAME & USE	FUNCTION OF SPACE	OCCUPANT LOAD FACTOR	ROOM AREA (S.F)	EGRESS OCCUPANCY TOTAL	BUILDING OCCUPANT TOTAL
100	ENTRY	BUSINESS	100	50	1	1
101	WAITING	BUSINESS	100	245	2	2
102	RESTROOM	BUSINESS	100	56	1	1
103	LAB.	BUSINESS	100	164	1	1
104	EXAM. RM	BUSINESS	100	122	1	1
105	EXAM. RM	BUSINESS	100	122	1	1
106	EXAM. RM	BUSINESS	100	122	1	1
107	EXAM. RM	BUSINESS	100	122	1	1
108	EXAM. RM	BUSINESS	100	122	1	1
109	BREAK RM.	BUSINESS	100	147	1	1*
110	ELEC. RM.	ACCESSORY	300	32	1	1
111	RESTROOM	BUSINESS	100	54	1	1*
112	RESTROOM	BUSINESS	100	54	1	1*
113	OFFICE	BUSINESS	100	122	1	1
114	NURSES	BUSINESS	100	106	1	1
115	OFFICE	BUSINESS	100	122	1	1
116	RECEPTION	BUSINESS	100	128	1	1
117	HALLWAY	BUSINESS	100	415	4	4
total occupant count for tenant space & egress capacity				2305	22	19
the egress capacity shall be based upon occupant load of 22 persons					22	
(*) denotes occupant number / square footage in separate tenant space						

**BUSINESS (B) OCCUPANCY**

GROSS S.F OF BUILDING 12,575 S.F  
GROSS S.F OF TENANT SPACE 2440 S.F  
TYPE OF CONSTRUCTION : II B  
SPACE PREVIOUSLY USED AS BUSINESS, B

OCCUPANT LOAD FOR CALCULATING EGRESS CAPACITY:  
SPACE OCCUPANCY BY NET SF = (PER 1004.1.1)  
(SEE TABLE ON THIS SHEET FOR INDIVIDUAL SPACE TOTALS)  
TOTAL OCCUPANT LOAD BY AREAS = 22 PERSONS  
TOTAL OCCUPANT LOAD BY BUSINESS USE = 2440/100 = 24

GREATEST TRAVEL DISTANCE SHOWN 59 FEET (PER 1016)  
MAXIMUM ALLOWABLE TRAVEL DISTANCE 250 FEET (PER TABLE 1016.1)

THE COMMON PATH OF TRAVEL IS LESS THAN 45 FEET (PER 1028.8)  
THERE ARE NO DEAD END CORRIDORS OVER 50 FEET (PER 1018.4 EXCEPTION 2)  
TENANT SPACE EXIT WIDTH CALCULATIONS  
22 PERSONS X 0.2 / OCCUPANT = 4" REQUIRED, 72" PROVIDED. (PER 1005.1)  
MINIMUM NUMBER OF EXITS REQUIRED: 1 (PER TABLE 1015.1 AND 1021.2 FOOTNOTE D)  
MINIMUM NUMBER OF EXITS PROVIDED: 2 BOTH ACCESSIBLE

EGRESS DOORS DO NOT REQUIRE PANIC HARDWARE. (PER 1008.1.1)  
DOORS DO NOT HAVE DELAYED EGRESS LOCKS (PER 1008.1.9.7)  
DOORS DO NOT HAVE ELECTROMAGNETIC EGRESS LOCKS (PER 1008.1.9.8)  
DOORS DO NOT HAVE HOLD OPEN DEVICES.  
THERE ARE NO EMERGENCY ESCAPE WINDOWS (PER 1029)

THE FIRE AREA S.F IS 2440 S.F (PER 902)  
THERE ARE NO SLEEPING AREAS (SMOKE COMPARTMENTS) (PER 407.2)

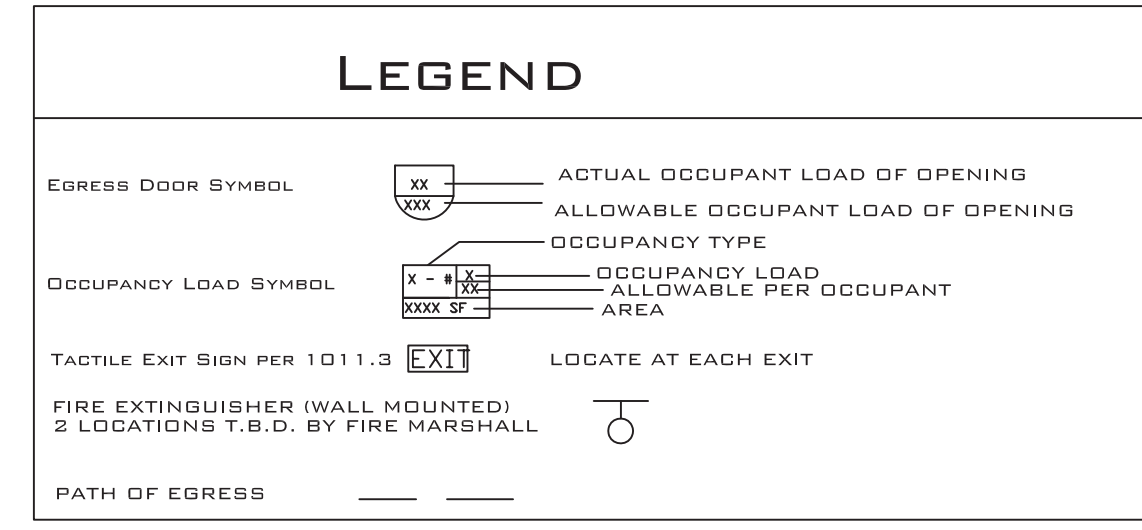
THE TENANT SPACE IS PROHIBITED BY FIRE SPRINKLERS  
2 ABC FIRE EXTINGUISHERS ARE PROVIDED  
FIRE EXTINGUISHERS FOR CLASS A FIRE HAZARDS REQUIRE NO GREATER THAN 75 FEET OF MAXIMUM TRAVEL DISTANCE IN LOW, ORDINARY AND EXTRA HAZARD OCCUPANCY.

THERE IS A FIRE ALARM SYSTEM THAT PROVIDES OCCUPANT NOTIFICATION OF SPRINKLER FLOW.

LOCK BOX FOR KEY IS INSTALLED AT FRONT ENTRANCE. (AS REQUIRED)

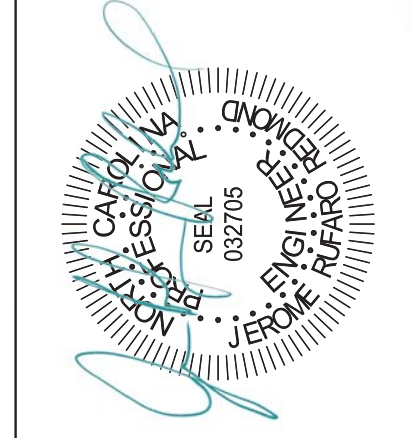
DUCT DETECTORS ARE INSTALLED IN AHU. AN AUDIBLE AND VISIBLE DEVICE IS PROVIDED FOR UNIT. AS REQUIRED.

THE CODE REFERENCES ABOVE WERE UPDATED FOR THE 2012 NCBC.



*the building is equipped with an automatic fire sprinkler system and fire alarm system*

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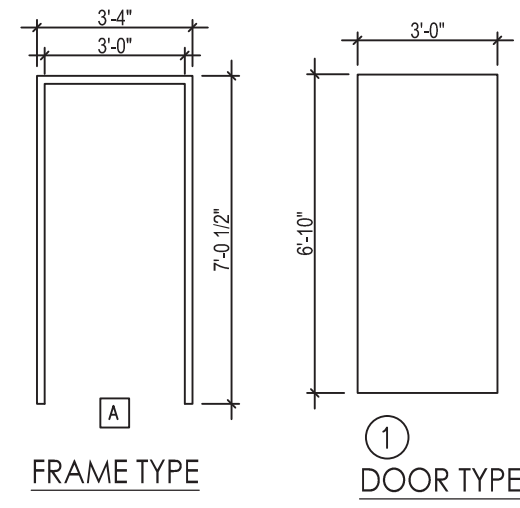
**BUFFALO LAKE MEDICAL**  
85 MATTIE HADDOCK Dr.  
CAMERON NC 28326

DRAWING TITLE  
LIFE SAFETY PLAN  
OCCUPANCY NOTES

DRAWN BY: KAM  
CHECKED BY: JRR  
SCALE: 1/4"=1'  
DATE: 3.21.18

PROJECT SHEET  
IN018083 B2



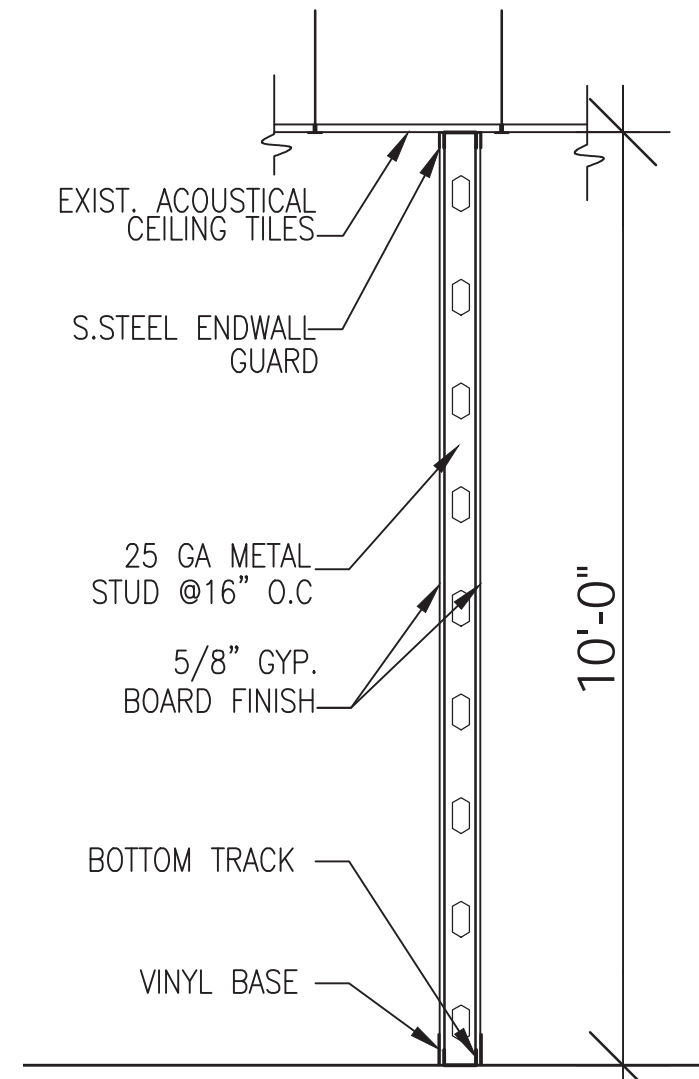


FRAME TYPE  
DOOR TYPE

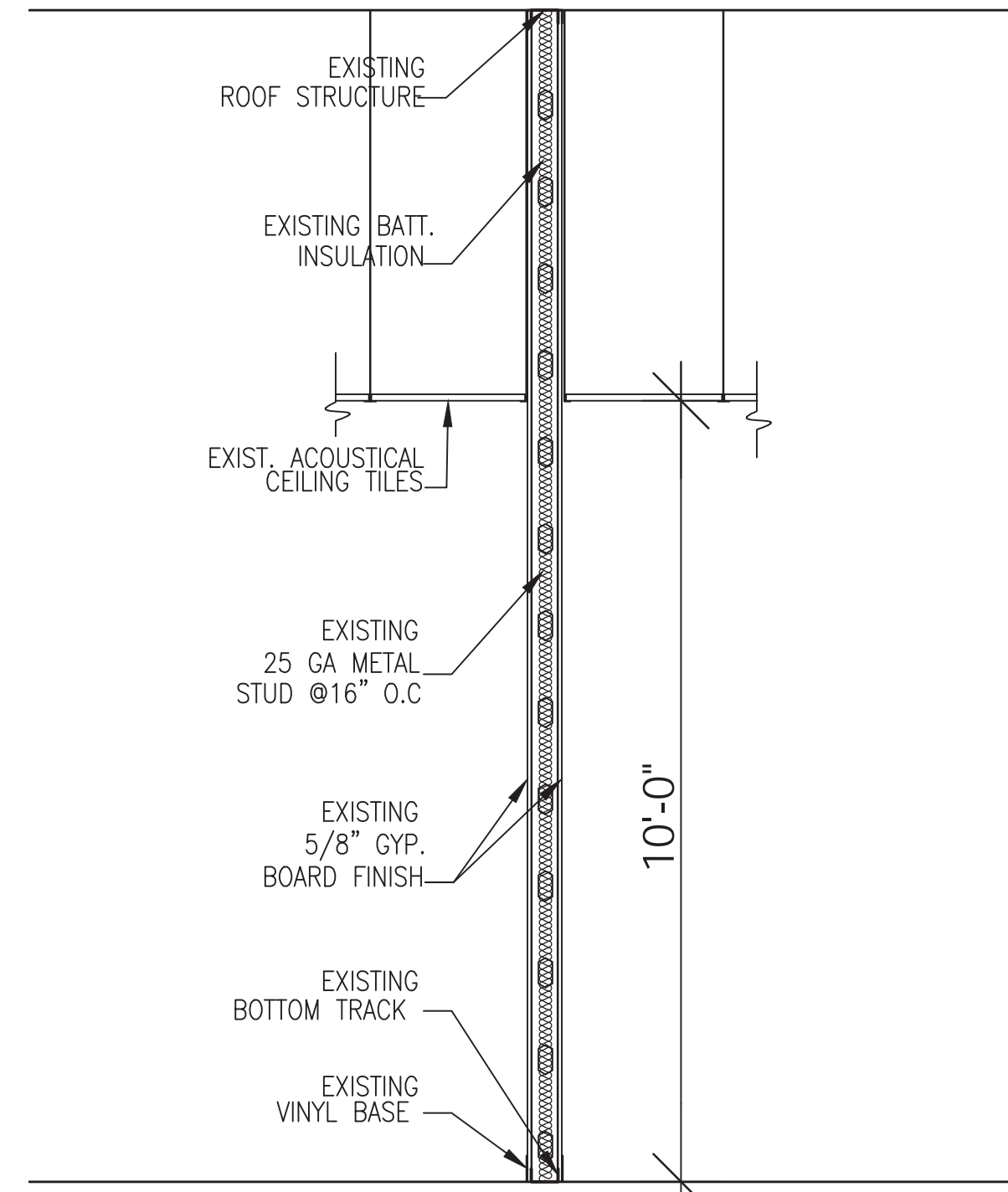
DOOR SCHEDULE								
DOOR NO.	TYPE	MAT'L.	SIZE	DOOR CLOSER	FRAME TYPE	FRAME MAT'L.	HW SET #	REMARKS
D1	EXISTING DOOR	WOOD	3'-0"x6'-8"	YES	EXISTING DOOR	WOOD	1-1/2 PAIR - HINGES 3 - SILENCERS	INTERIOR SMOOTH FACE DOOR
D2	NEW DOOR	WOOD	3'-0"x6'-8"	NO	NEW DOOR	WOOD	1 - LOCKSET	
D3	EXISTING DOOR	WOOD	3'-0"x6'-8"	NO	EXISTING DOOR	WOOD	1 - LEVER HANDLE	

HARDWARE SET #1  
1-1/2 PAIR - HINGES  
3 - SILENCERS  
1 - LOCKSET  
1 - LEVER HANDLE

FINISH SCHEDULE							
ROOM NO.	ROOM NAME	FLOOR	BASE	WALLS	CEILING	CEILING HEIGHT	REMARKS
100	ENTRY	VINYL TILE	VINYL	GYP.BD/PT	ACOUSTIC TILE	10'	INTERIOR SMOOTH FACE DOOR
101	WAITING	VINYL TILE	VINYL	GYP.BD/PT	ACOUSTIC TILE	10'	
102	RESTROOM	VINYL TILE	VINYL	GYP.BD/PT	ACOUSTIC TILE	10'	
103	LAB.	VINYL TILE	VINYL	GYP.BD/PT	ACOUSTIC TILE	10'	
104	EXAM. RM	VINYL TILE	VINYL	GYP.BD/PT	ACOUSTIC TILE	10'	
105	EXAM. RM	VINYL TILE	VINYL	GYP.BD/PT	ACOUSTIC TILE	10'	
106	EXAM. RM	VINYL TILE	VINYL	GYP.BD/PT	ACOUSTIC TILE	10'	
107	EXAM. RM	VINYL TILE	VINYL	GYP.BD/PT	ACOUSTIC TILE	10'	
108	EXAM. RM	VINYL TILE	VINYL	GYP.BD/PT	ACOUSTIC TILE	10'	
109	BREAK RM	VINYL TILE	VINYL	GYP.BD/PT	ACOUSTIC TILE	10'	
110	ELEC. RM.	VINYL TILE	VINYL	GYP.BD/PT	ACOUSTIC TILE	10'	
111	RESTROOM	VINYL TILE	VINYL	GYP.BD/PT	ACOUSTIC TILE	10'	
112	RESTROOM	VINYL TILE	VINYL	GYP.BD/PT	ACOUSTIC TILE	10'	
113	OFFICE	CARPET	VINYL	GYP.BD/PT	ACOUSTIC TILE	10'	
114	NURSES	VINYL TILE	VINYL	GYP.BD/PT	ACOUSTIC TILE	10'	
115	OFFICE	CARPET	VINYL	GYP.BD/PT	ACOUSTIC TILE	10'	
116	RECEPTION	CARPET	VINYL	GYP.BD/PT	ACOUSTIC TILE	10'	
117	HALLWAY	VINYL TILE	VINYL	GYP.BD/PT	ACOUSTIC TILE	10'	

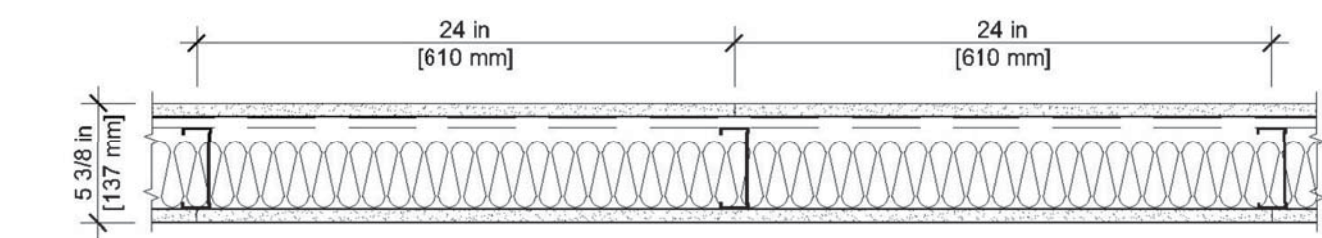


① TYPICAL WALL SECTION  
SCALE: 3/8" = 1'-0"



② EXISTING 1hr DEMISING WALL SECTION  
SCALE: 3/8" = 1'-0"

MARK	DATE	REVISION



UL U419

Interior Partitions - Steel Stud (Non-load-bearing)

Fire Rating	1 hour
STC	54
Sound Test	<b>RAL-TL83-216</b>
System Thickness	5-3/8"

Assembly Options

- Gypsum Board - 5/8 in. thick gypsum board applied horizontally or vertically
  - USG Sheetrock® Brand Firecode® C Panels - 5/8" (UL Type C)
  - USG Sheetrock® Brand EcoSmart Panels Mold Tough® Firecode® X - 5/8" (UL Type ULIX)
  - USG Sheetrock® Brand EcoSmart Panels Firecode® X - 5/8" (UL Type ULIX)
  - USG Sheetrock® Brand Mold Tough® Firecode® C Panels - 5/8" (UL Type C)
- Resilient Channel - 25 ga. furring channels installed horizontally spaced 24 in. OC
- Steel Studs - 3-5/8 in. deep, 25 ga. spaced max. 24 in. OC
- Batts and Blankets - Min. 3 in. thick mineral wool insulation
- Gypsum Board - 5/8 in. thick gypsum board applied horizontally or vertically
  - USG Sheetrock® Brand Firecode® C Panels - 5/8" (UL Type C)
  - USG Sheetrock® Brand EcoSmart Panels Mold Tough® Firecode® X - 5/8" (UL Type ULIX)
  - USG Sheetrock® Brand EcoSmart Panels Firecode® X - 5/8" (UL Type ULIX)
  - USG Sheetrock® Brand Mold Tough® Firecode® C Panels - 5/8" (UL Type C)

Remarks

- Stud size is minimum unless otherwise stated in design.
- For the most up-to-date information refer to the UL Fire resistance directory **U419**.
- UL Type ULIX™ requires the use of insulation for single-layer, steel-framed UL fire-rated assemblies.

<http://www.usgdesignstudio.com/assembly.asp?id=920564>

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CAMERON NC 28326

DRAWING TITLE  
DETAILS AND SCHEDULES

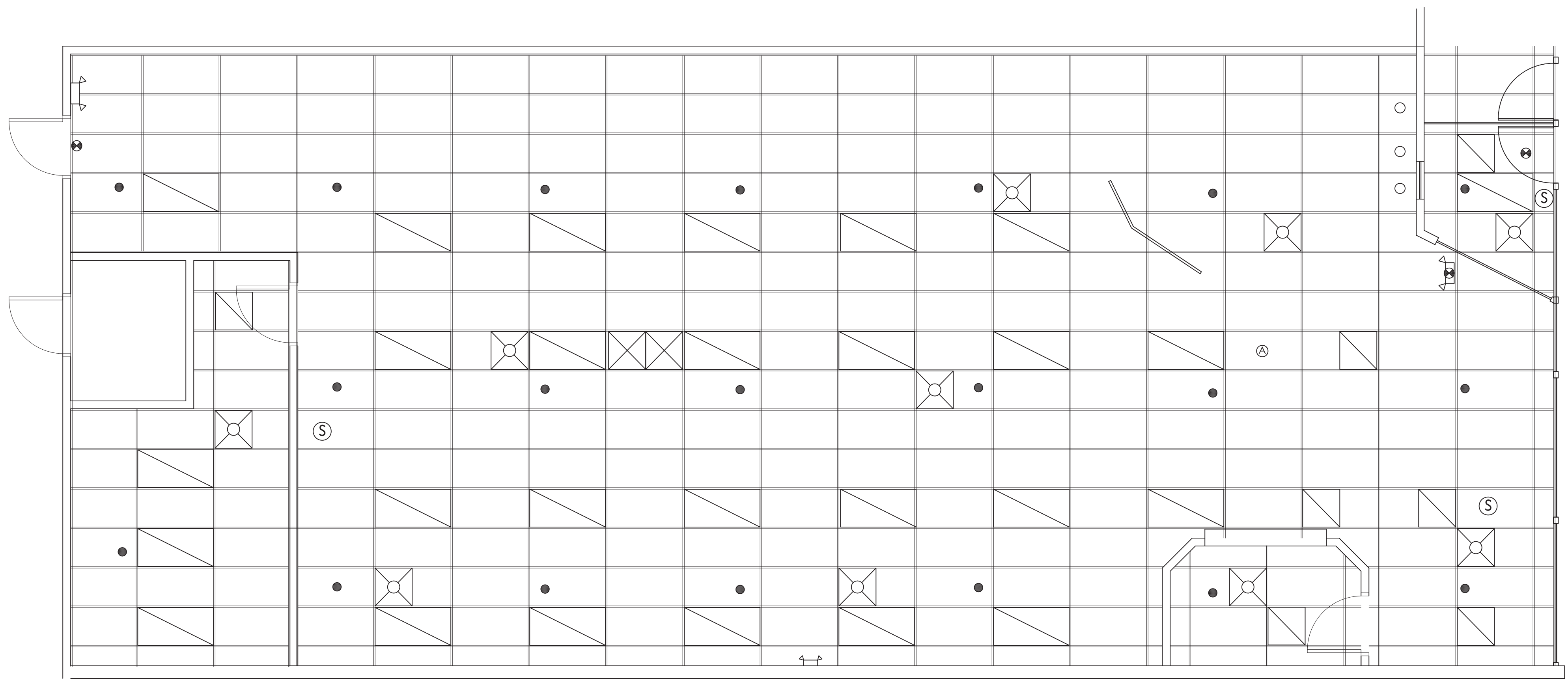
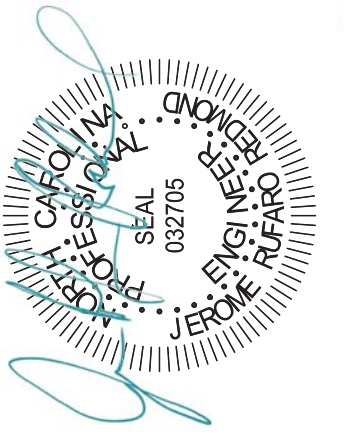
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CHECKED BY: JRR  
SCALE: 1/4"=1'

DATE: 3.21.18  
PROJECT SHEET  
TW018083 B3

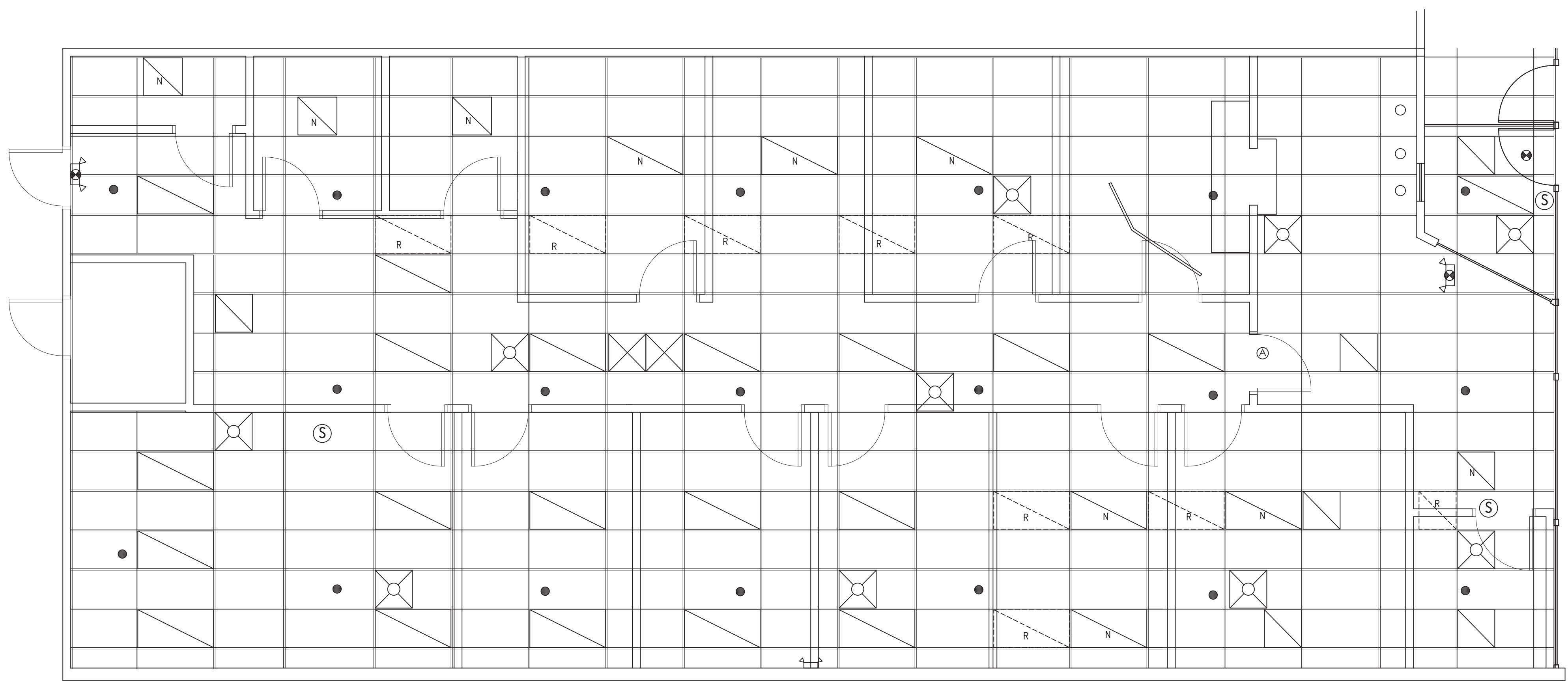
MARK	DATE	REVISION

I hereby certify that I am a duly Licensed Professional Engineer in the State of North Carolina, License No. 10000, and that I am the author of the design shown on this drawing. I am not providing any services on this project that require a license in another profession. I am not providing any services on this project that require a license in another profession. I am not providing any services on this project that require a license in another profession.

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**EXISTING REFLECTED CEILING PLAN**  
 SCALE: 1/4" = 1'-0"



**PROPOSED REFLECTED CEILING PLAN**  
 SCALE: 1/4" = 1'-0"

**LEGEND**

	EXIT SIGN
	CAN LIGHT
	SPRINKLER HEAD
	ALARM SENSOR
	SMOKE DETECTOR
	EMERGENCY LIGHT
	EXIT SIGN WITH EMERGENCY LIGHT
	SUPPLY DIFFUSER
	AIR RETURN
	FLUORESCENT LIGHT FIXTURE
	RELOCATED LIGHT FIXTURE
	NEW LIGHT FIXTURE
	LIGHT TRACK

*the building is equipped with an automatic fire sprinkler system and fire alarm system*

**BUFFALO LAKE MEDICAL**  
**85 MATTIE HADDOCK Dr.**  
**CAMERON NC 28326**

DRAWING TITLE  
 REFLECTED CEILING PLANS

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SCALE: 1/4"=1'  
 DATE: 3.21.18

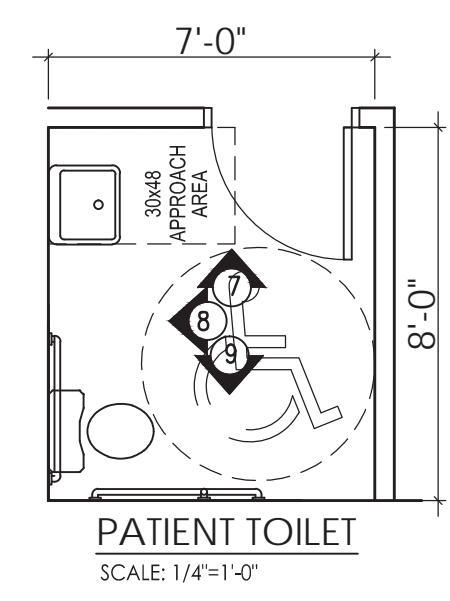
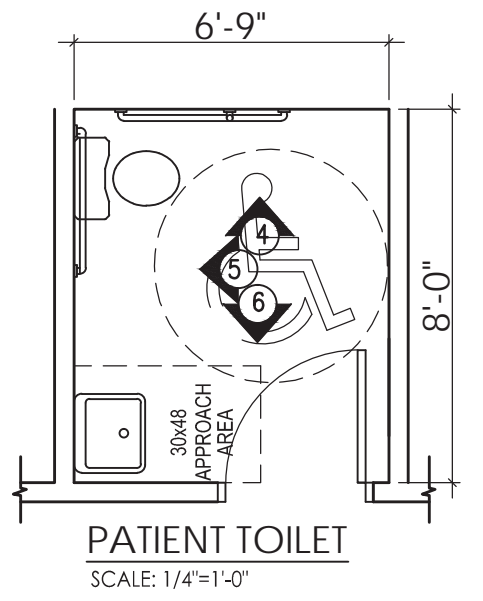
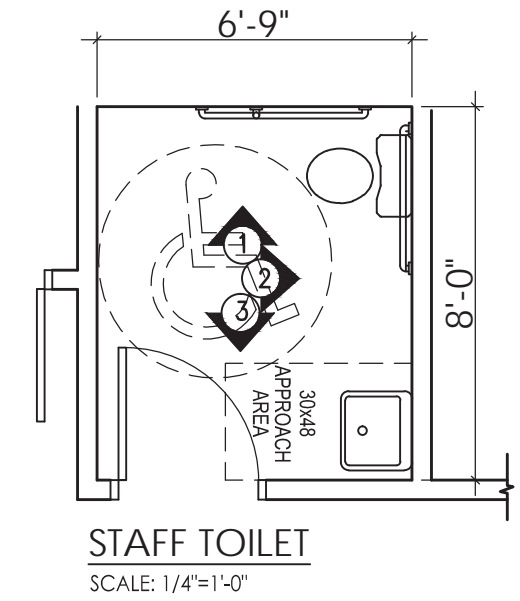
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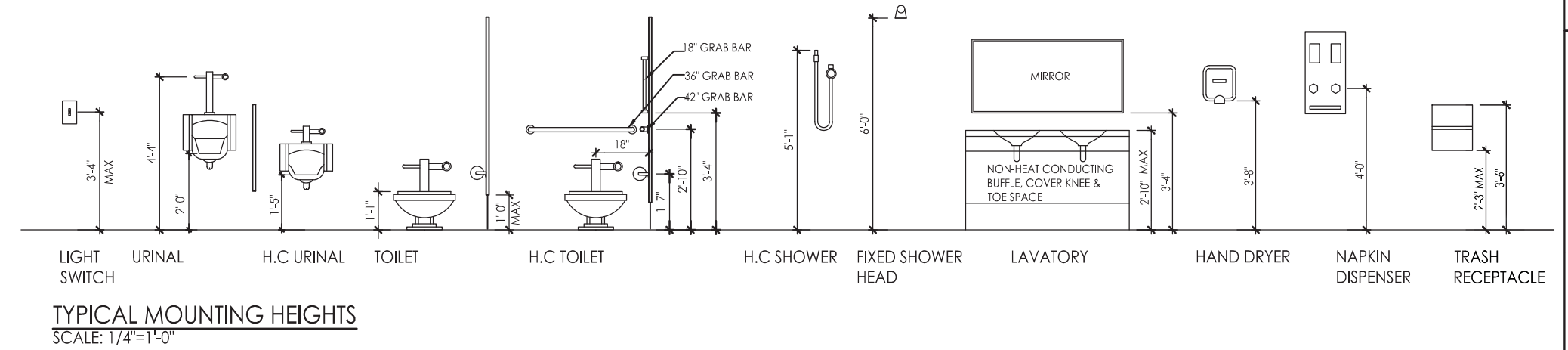
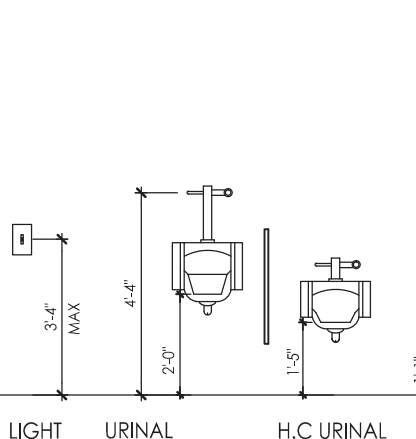
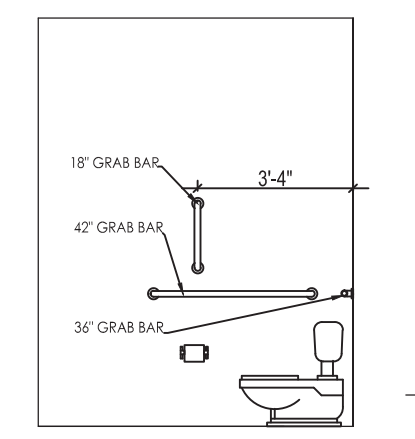
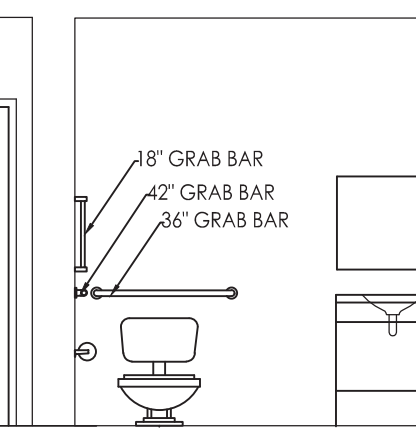
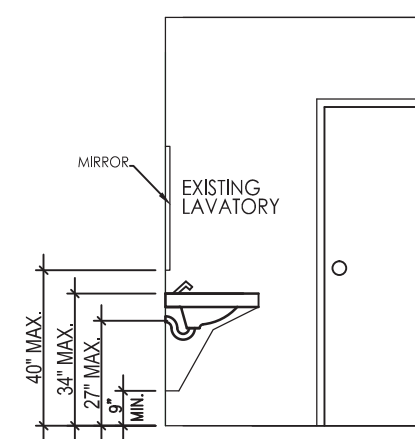
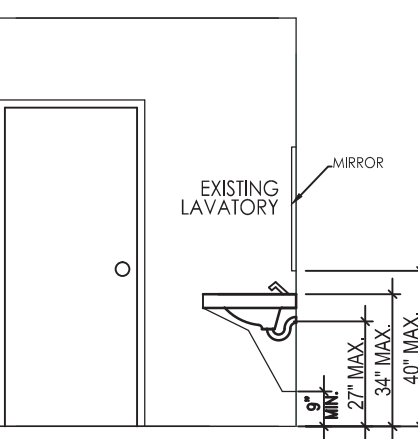
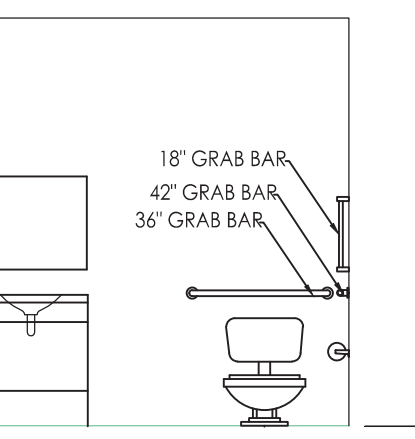
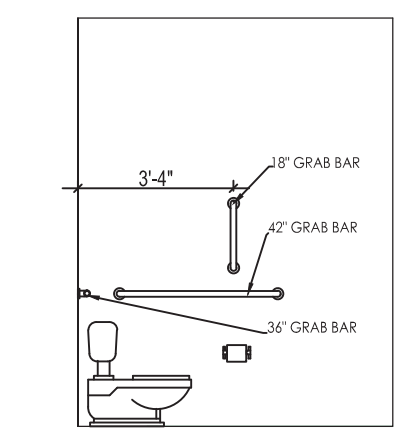
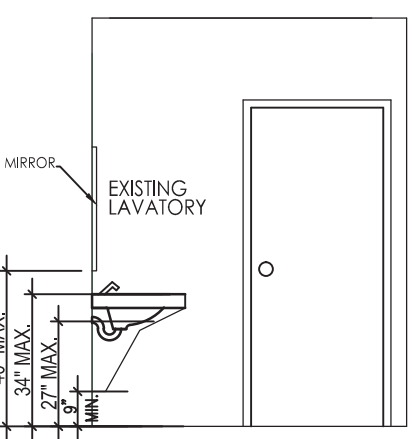
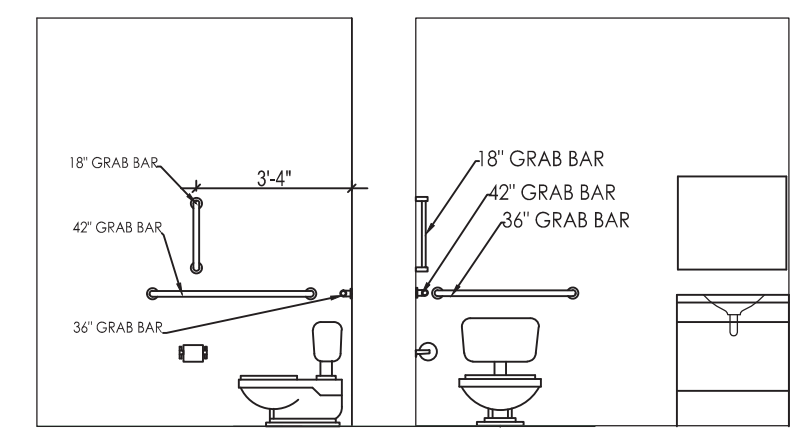




MARK	DATE	REVISION



*the building is equipped with an automatic fire sprinkler system and fire alarm system*



**DIVISION 15A - PLUMBING**

**1.1 DESECRATION OF THE WORK**

- A. WORK UNDER THIS SECTION INCLUDES, BUT IS NOT NECESSARILY LIMITED TO, FURNISHING AND INSTALLING THE FOLLOWING:
  1. PLUMBING FIXTURES, WATER HEATERS, AND ANY OTHER EQUIPMENT NECESSARY.
  2. COLD AND HOT WATER PIPING AND INSULATION.
  3. DWV PIPING.
- B. ALL WORK UNDER THIS CONTRACT SHALL BE INSTALLED IN COMPLIANCE WITH THE LATEST EDITION OF THE FOLLOW CODES AND STANDARDS INSOFAR AS THEY APPLY.
  1. THE NATIONAL ELECTRICAL CODE
  2. 2006 N.C. BUILDING CODE
  3. AMERICAN SOCIETY OF SANITARY ENGINEERING STANDARD 1010.
  4. ALL LOCAL CODES AND ORDINANCES.
- C. THESE CODES ARE MINIMUM STANDARDS. IF CODES REQUIRE A MORE STRINGENT METHOD OF CONSTRUCTION THAN THE SPECIFICATION REQUIRE, THE CODES SHALL GOVERN.
- D. THE PLUMBING CONTRACTOR SHALL BE LICENSED IN THE STATE OF NORTH CAROLINA AND HAVE ALL LOCAL LICENSES REQUIRED FOR THE WORK.
- E. OBTAIN ALL PERMITS, LICENSES, INSPECTIONS, ETC., REQUIRED FOR THE WORK, AND PAY FOR THE SAME.

**1.2 INTENT**

- A. THE INTENT OF THESE SPECIFICATION AND ACCOMPANYING DRAWINGS IS TO CONVEY AS REASONABLY AS POSSIBLE THE REQUIREMENTS FOR A COMPLETED JOB READY FOR A COMPLETED JOB READY FOR THE BUILDING TO OPERATE. THE PLUMBING CONTRACTOR SHALL TAKE THIS INTO CONSIDERATION AND INCLUDE IN THIS BASE BID ALLOWANCE FOR CONTINGENCIES AS WELL ALLOW HIM TO PROVIDE MINOR PIECES OF EQUIPMENT AND LABOR NOT SPECIFICALLY ADDITIONAL COST TO THE OWNER.

**1.3 COORDINATION**

- A. COORDINATE WORK WITH OTHER CONTRACTORS. NOTIFY ARCHITECT OF APPARENT CONFLICTS EARLY TO EXPEDITE CONSTRUCTION. IF STRUCTURAL DAMAGE APPEARS IMMINENT, STOP WORK AND NOTIFY ARCHITECT FOR A DECISION BEFORE RESUMING OPERATIONS.
- B. LOCATIONS SHOWN ARE APPROXIMATE. THE PLUMBING CONTRACTOR SHALL REFER TO THE ARCHITECTURAL DRAWINGS FOR PLACEMENT OF EQUIPMENT, FIXTURES, AND ETC., THE EXACT LOCATION FROM THE ARCHITECT.

**1.4 SHOP DRAWINGS**

- A. SHOP DRAWINGS SHALL BE SUBMITTED FOR PLUMBING FIXTURES AND FOR PIPE. THESE MAY CONSIST OF THE MANUFACTURER'S STANDARD CATALOG OR TEAR SHEETS AND SHALL HAVE THE EXACT ITEMS BEING OFFERED CLEARLY IDENTIFIED.

**PART 2 - PRODUCTS NOTE,**

**2.1 FIXTURES**

- A. EACH FIXTURE SHALL BE PROPERLY SUPPORTED FROM THE BUILDING STRUCTURE AS REQUIRED TO THE END EFFECT THAT ALL FIXTURES AND ACCESSORIES WILL BE HELD RIGIDLY IN PLACE. WATER PIPES SUPPLYING THE FIXTURES MUST ALSO BE HELD RIGIDLY IN PLACE.

**2.1 FIXTURES**

- A. EACH FIXTURE SHALL BE PROPERLY SUPPORTED FROM THE BUILDING STRUCTURE AS REQUIRED TO THE END EFFECT THAT ALL FIXTURES AND ACCESSORIES WILL BE HELD RIGIDLY IN PLACE. WATER PIPES SUPPLYING THE FIXTURES MUST ALSO BE HELD RIGIDLY IN PLACE.
- B. PROVIDE LOOSE KEY ANGLE STOPS AND CHROME PLATED SUPPLY PIPE WATER SUPPLIES TO FIXTURES.
- C. ALL EXPOSED PIPING TRAPS AND ACCESSORIES FOR FIXTURES SHALL BE CHROME PLATED. PROVIDE CHROME PLATED ESCUTCHEON PLATES WHERE PIPES ENTER WALLS.
- D. PROVIDE SHUTOFF VALVES FOR ALL SINKS, WATER HEATERS, TOILETS, DISHWASHER, REFRIGERATOR, ICEMAKER, AND EXTERIOR HOSE BIBBS.

**2.2 PIPING**

- A. DRAIN WASTE: ALL WASTE PIPING SHALL BE SCHEDULE 40 PVC-DWV.
- B. HOT AND COLD WATER PIPING ABOVE GRADE: EITHER TYPE "L" COPPER WITH SOLDER JOINTS WITH WROUGHT COPPER FITTINGS (ANSI B 16.22) WITH SOLDER JOINTS (ASTM-B88P), HARD DRAWN WITH WROUGHT COPPER FITTINGS (ANSI B 16.22), PEX WITH COMPRESSION FITTINGS (ASTM F 1281), CPVC (ASTM D2846)
- C. COLD WATER PIPING BELOW GRADE: TYPE "K" COPPER (ASTM-B8A) SOFT DRAWN.
- D. HANGERS: USE PIPE HANGERS WHERE REQUIRED ON 8-FOOT CENTERS SADDLES TO AVOID CRUSHING INSULATION.
- E. SOLDER: 95/5.
- F. UNIONS: PROVIDE UNION WHERE INDICATED ON DRAWINGS. IN LONG RUNS OF PIPING (EXCEPT DRAINAGE), AND AT EQUIPMENT TO PROVIDE CONVENIENT DISASSEMBLY. PROVIDE DIELECTRIC UNION WHEN CONNECTING COPPER TUBING TO EQUIPMENT AND PIPING MADE OF FERROUS MATERIALS.

**2.3 CLEANOUTS**

- A. HEX PLUGS IN ROUGH AREAS: RECESSED PLUGS WITH BRASS COVER PLATES IN EXPOSED LOCATION.

**2.4 SHOCK ARRESTERS**

- A. PROVIDE SHOCK ARRESTERS AS REQUIRED BY CODES, MANUFACTURER'S RECOMMENDATIONS AND ACCEPTED INDUSTRY STANDARDS FOR QUALITY CONSTRUCTION. PROVIDE ON ALL LINES WITH QUICK CLOSING VALVES.

**PART 3 - EXECUTION**

**3.1 CONNECTIONS**

- A. THIS CONTRACT INCLUDES COMPLETE CONNECTION OF COLD WATER, HOT WATER, DRAINAGE, AND VENT PIPING AS REQUIRED. ALL FITTINGS VALVES, ACCESSORIES, CUTOFFS, DRAINS, ETC., REQUIRED TO COMPLETE SUCH CONNECTIONS SHALL BE INCLUDED.
- B. THE CONNECTION TO WATER CLOSETS SHALL BE MADE WATER TIGHT WITH GASKET AND WAX RING. FLOOR FLANGES SHALL BE CAULKED INTO POSITION. PLASTIC CAPS SHALL BE PROVIDED ON THE TIE DOWN BOLTS, AND SHALL BE SECURED IN PLACE BY SCREWING DOWN ON THREADED BRASS WASHERS.
- C. WHERE WATER PIPES CONNECT TO EXPOSED CHROME PLATED TRIM, USE PROPER CHROME PLATED ESCUTCHEONS.

**3.2 SERVICE ACCESS**

- A. ALL VALVES AND ACCESSORIES SHALL BE INSULATED SO THAT THEY CAN BE PROPERLY SERVICED. IN NO CASE SHALL THE PLUMBING CONTRACTOR INSTALL EQUIPMENT OR OTHER COMPONENT IN SITUATIONS THAT DO NOT MEET CODE REQUIREMENTS OR MANUFACTURER'S REQUIREMENTS. PROVIDE ACCESS DOORS AS REQUIRED TO ACCESS VALVES, ETC.

**3.3 ROUTING OF PIPING**

- A. COORDINATE ROUTING OF PIPING WITH OTHERS; LINE UP WORK TRUE TO OR AT RIGHT ANGLE TO ADJACENT SURFACES AND IN WORKMANLIKE MANNER. SUPPORT ALL INTERIOR PIPING FROM BUILDING STRUCTURE BY MEANS OF HANGER OR INSERTS TO MAINTAIN PITCH OF LINES TO PREVENT VIBRATION, AND TO SECURE PIPING PLACE.

- B. SPACE PIPE HANGERS 8" ON CENTER FOR ONE INCH AND SMALLER PIPE, 4" ON CENTER FOR 1-1/4 INCH AND LARGER PIPE. PROVIDE EXPANSION LOOPS AS REQUIRED.

- C. PIPE HANGERS FOR INSULATED LINES SHALL HAVE SUITABLE SADDLES TO PROTECT INSULATION.

**3.4 INSULATION**

- A. ALL H/W AND C/W PIPING SHALL BE INSULATED WITH A MIN. OF 5/8" INCH ELECTROMETRIC INSULATION AND WITHIN BUILDING INSULATION. SEE NCSBC FOR REQUIREMENTS.

**3.5 INSPECTION AND TESTS**

- A. BEFORE BEING CONCEALED, ALL WATER, SOIL AND VENT PIPING SHALL BE TESTED TO DETERMINE IF THEY ARE WATER, AND AIRTIGHT.
- B. PRIOR TO PLACING INTO SERVICE, ENTIRE SYSTEM SHALL BE TESTED FOR LEAKS IN STRICT ACCORDANCE WITH STATE AND LOCAL CODES.

**3.6 STERILIZATION OF PIPING**

- A. STERILIZE THE ENTIRE WATER SYSTEM THOROUGHLY WITH A SOLUTION CONTAINING NOT LESS THAN 50 PARTS PER MILLION OF AVAILABLE CHLORINE, USING LIQUID CHLORINE, OR SODIUM HYDROCHLORIDE SOLUTION. INTRODUCED INTO THE SYSTEM IN AN APPROVED MANNER. THE STERILIZING SOLUTION SHALL REMAIN IN THE SYSTEM IN AN APPROVED MANNER. THE STERILIZING SOLUTION SHALL REMAIN IN THE SYSTEM FOR A PERIOD OF 24 HOURS. AFTER STERILIZATION, FLUSH THE SOLUTION FROM THE SYSTEM WITH CLEAN WATER UNTIL THE RESIDUAL CHLORINE CONTENT IS NOT GREATER THAN 0.2 PARTS PER MILLION, UNLESS OTHERWISE DIRECTED.

**3.7 DRAINDOWN**

- A. CONTRACTOR TO PROVIDE FOR COMPLETE PLUMBING SYSTEM DRAIN DOWN.

**3.8 CLEAN UP**

- A. DURING CONSTRUCTION, KEEP THE SITE CLEAR OF DEBRIS AND UPON COMPLETION, AND BEFORE FINIAL INSPECTION, CLEAN UP THE PREMISES TO REMOVE ALL EVIDENCE OF HIS WORK. IN ADDITION, UPON COMPLETION OF CONSTRUCTION, CLEAN, WASH, AND /OR POLISH ALL FIXTURES, EQUIPMENT AND EXPOSED MATERIAL AND LEAVE THEM BRIGHT AND CLEAN.

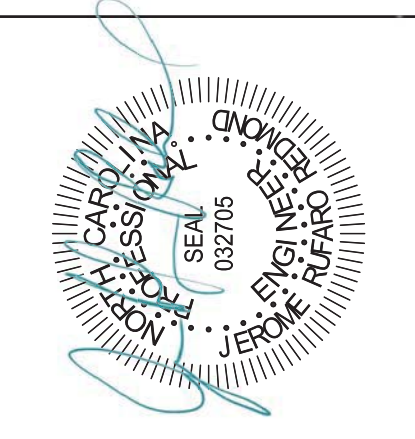
**3.9 GUARANTEES**

- A. GUARANTEE ALL MATERIALS AND LABOR INCLUDED IN THE PLUMBING WORK FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE BY THE OWNER.
- B. ANY DEFECTS IN THE SYSTEM, WHICH BECOME EVIDENT DRAIN THE GUARANTEE PERIOD SHALL BE CORRECTED WITHOUT COST TO THE OWNER. THIS SHALL INCLUDE THE REPLACING OF DEFECTIVE MATERIALS WHERE REQUIRED, AND THE REPAIR OF DAMAGE CAUSED BY LEAKING PIPES, ETC., AND DAMAGE TO BUILDING SURFACES CAUSED IN MAKING REPAIRS.

**NOTES:**

- WALLS - SMOOTH & WASHABLE. FRP BOARD IN WET AREAS
- CEILING - SMOOTH & WASHABLE GLOSS PAINT ON ALL CEILINGS
- FLOORS - COMMERCIAL GRADE MASONRY TILES AND COMMERCIAL GRADE VCT TILES WHERE NOTED
- COUNTERS - OR CABINETS MUST NOT CONTAIN ANY HOLLOW BASE VOIDS & MUST BE CONSTRUCTED OF NON ABSORBENT WASHABLE FINISHES FRONT & BACK WITH NO CREVICES.
- ALL PLUMBING - ELECTRICAL LINES TO BE IN THE WALLS

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**DRAWING TITLE**

PLUMBING  
DETAILS AND  
NOTES

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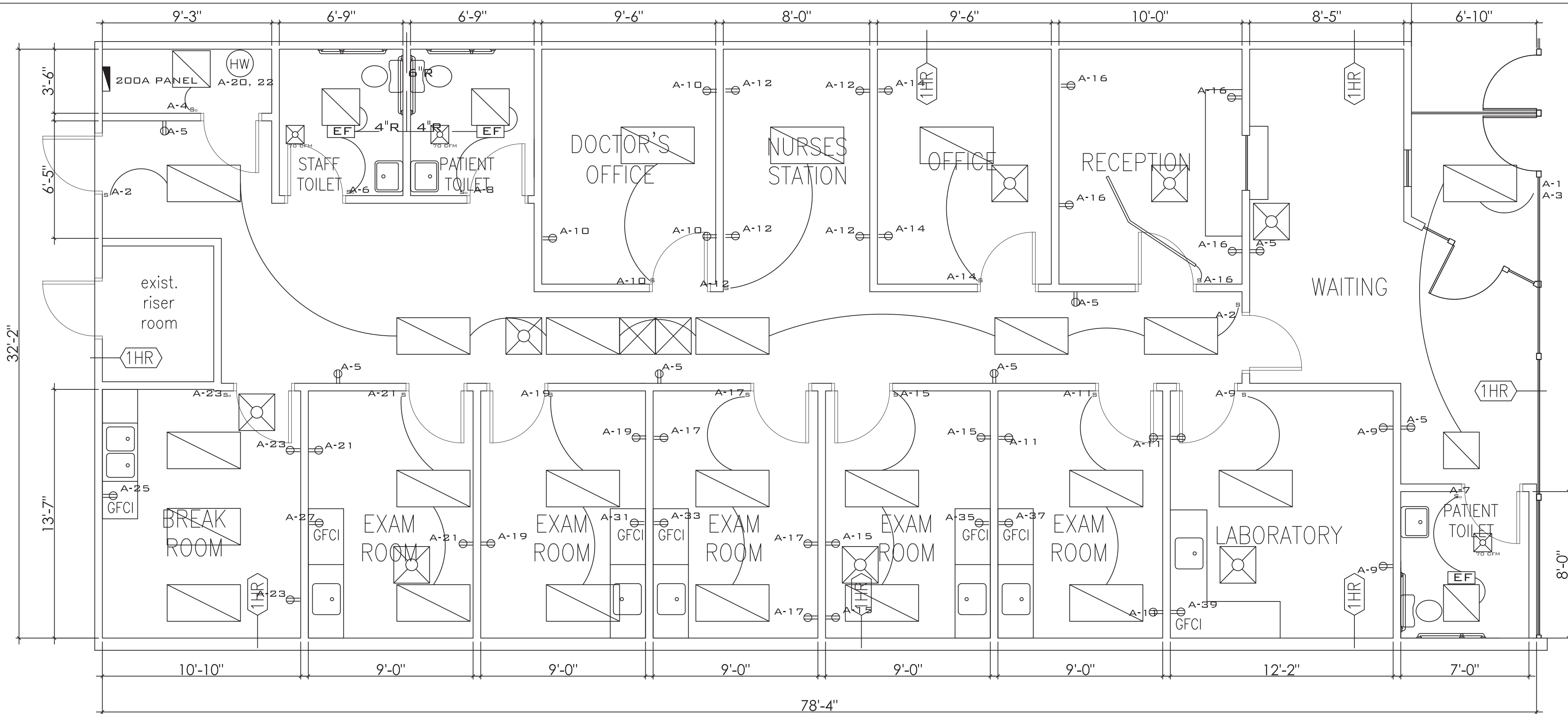
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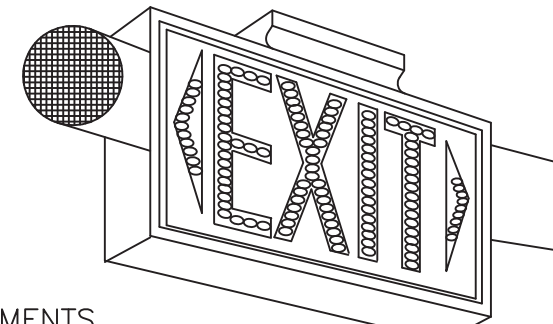
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PROJECT SHEET  
TW018083 P2





**ELECTRICAL PLAN/MECHANICAL LAYOUT**  
SCALE: 1/4" = 1'-0"



**LUMINAIRE REQUIREMENTS**

- ALUMINUM, STEEL, THERMOPLASTIC OR POLYCARBONATE HOUSING.
- BRUSHED ALUMINUM, THERMOPLASTIC OR STEEL STENCIL WITH LETTERS 6 INCHES TALL & 3/4 INCH WIDE STROKES AND PUNCH-OUT FACE FOR LED'S OR INTERNAL LED ILLUMINATION.
- RED ILLUMINATION PROVIDED BY LIGHT EMITTING DIODES (LED). APPROXIMATELY 120 LED'S PER FACE. (NOT REQUIRED FOR INTERNALLY ILLUMINATED SIGNS.)
- CLEAR PROTECTIVE NON-BREAKABLE LENS TO PROTECT LED'S. (NOT REQUIRED FOR INTERNALLY ILLUMINATED SIGNS.)
- PROVIDE FAILURE, BROWN OUT PROTECTION & SURGE PROTECTION.
- PROVIDE NI-CAD BATTERY POWER & SOLID STATE TYPE CHARGER.
- PROVIDE UNIVERSAL MOUNTING.
- PROVIDE SINGLE OR DOUBLE FACE AS INDICATED ON PLANS.
- PROVIDE TEST BUTTON IN BOTTOM OF HOUSING.
- UNITS MOUNTED EXPOSED TO THE ELEMENTS OR IN CLASSIFIED AREAS SHALL HAVE UL LABEL AS INDICATED.
- PROVIDE INTERNAL GREEN GROUNDING SCREW.
- PROVIDE TEST BUTTON IN BOTTOM OF HOUSING.
- PROVIDE INDICATOR LIGHTS IN FACE TO INDICATE WHEN UNIT IS ON NORMAL POWER OR ON BATTERY POWER.
- HOUSING SHALL HAVE A MATTED WHITE FINISH, EXCEPT AS SPECIFIED OTHERWISE.
- LAMP HEADS (ROUND OR RECTANGULAR) AND SHALL BE FULLY ADJUSTABLE.
- SWITCHING AND CONTROLS-FULLY AUTOMATIC, 90 MINUTE OPERATION. COMPLETELY SOLID STATE WITH AUTO TRANSFER AND LOW VOLTAGE CUTOFF. TEST SWITCH AND HIGH RATE INDICATING LIGHT.

NOTES:  
1. UNIT NOT AVAILABLE WITH WET LABEL.  
2. UNIT IS AVAILABLE WITH DAMP LABEL.

**LED EXIT SIGN**

SKETCH DATE	NOV 1996 CLNC	STYLE	NL-61A
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**BATTERY PACK NOTES**

- LUMINAIRE: EXISTING, 6 LAMP FLUORESCENT HIGH BAY, 120V.
- BATTERY TYPE: SEALED MAINTENANCE FREE, HIGH TEMPERATURE NICKEL CADMIUM.
- CONSTRUCTION: FIELD INSTALLED MOUNTS CONCEALED WITHIN FIXTURE WIREWAY FOR CLEAN APPEARANCE & PROTECTION.
- OPERATION: PROVIDES GLARE FREE ILLUMINATION FOR MINIMUM OF 90 MINUTES UPON INTERRUPTION OF NORMAL POWER.
- LISTING: UL DAMP LOCATION.

**LEGEND**

SYMBOL	DESCRIPTION
	OVERHEAD ELECTRICAL SECONDARY: EXISTING. -SEE THIS SHEET FOR DETAILS.
	PANELBOARD: EXISTING. -SEE THIS SHEET FOR DETAILS.
	PANELBOARD: NEW. -SEE THIS SHEET FOR DETAILS.
'A'-1	HOMERUN TO PANEL: NEW. - ALPHANUMERICS INDICATE PANELBOARD & CIRCUIT NUMBER.
	BRANCH CIRCUIT WIRING IN CONDUIT RECESSED WITHIN WALLS & ABOVE CEILING. MIN. 2-#12, 1-#12 EGC IN 3/4" C.
	SAME AS ABOVE EXCEPT HASH MARKS (   ) INDICATE NUMBER OF CURRENT CARRYING CONDUCTORS MORE THAN TWO.
	TELEPHONE & DATA OUTLET
	RECEPTACLE: NEW, 20A, 120V
'A'-1'	RECEPTACLE: NEW, 20A, 120V, GFCI. ALPHANUMERICS INDICATE PANELBOARD & CIRCUIT CONNECTION. -SEE THIS SHEET FOR DETAILS.
	QUADRAPLEX RECEPTACLE: NEW, 20A, 120V
	LUMINAIRE: NEW 2'x4' 2 LAMP FLUORESCENT HIGH BAY, 120V, WITH CONTRACTOR PROVIDED EMERGENCY BATTERY PACK. -SEE THIS SHEET FOR DETAILS.
	COMBINATION EXIT/EMERGENCY LUMINAIRE: NEW, NL-61A, 120V.
LC	LIGHTING CONTROL: NEW, 120V. -SEE THIS SHEET FOR DETAILS.
EF	EXHAUST FAN - 50 CFM 65W 115V
So	SWITCH WITH OCCUPANCY SENSOR

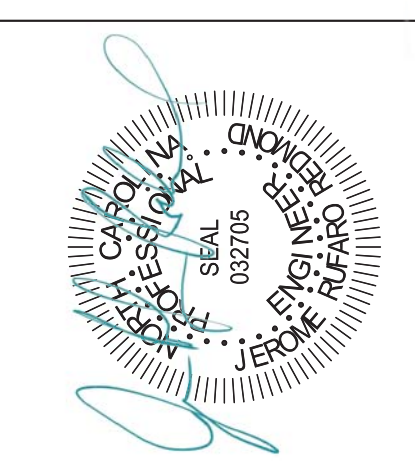
**ELECTRICAL NOTES**

- ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AND ALL LOCAL CODES HAVING JURISDICTION.
- ALL BRANCH CIRCUIT CONDUCTORS TO BE COPPER (SERVICE CONDUCTORS MAY BE ALUMINUM WITH SAME AMPACITY AS COPPER CONDUCTORS. RE-SIZE CONDUCTORS AND CONDUIT PER NEC.)
- ALL WIRES TO BE 2 #12, 1 #12 GND IN 1/2" EMT CONDUIT UNLESS OTHERWISE NOTED. RIGID CONDUIT REQUIRED WHERE EXPOSED BELOW 8 FEET A.F.F.
- ALL EMPTY CONDUIT RUNS IN EXCESS OF 10 FEET SHALL BE PROVIDED WITH A PULL WIRE OR FISH TAPE/CORD.
- CONTRACTOR SHALL VERIFY ALL DOOR SWINGS ARE CORRECT BEFORE INSTALLING LIGHT SWITCH OUTLETS.
- ALL BRANCH CIRCUIT CONDUCTORS FROM THE PANEL TO THE FIRST OUTLET SHALL BE INCREASED TO THE NEXT LARGER SIZE WHERE THE LENGTH OF THE HOME RUN EXCEEDS 100 FEET ON 120 AND 208 VOLT CIRCUIT.
- THE CORRECT NUMBER OF WIRES MAY NOT BE INDICATED FOR ALL CIRCUITS. ONLY THOSE WHERE CLARIFICATION IS NECESSARY. THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL WIRES NECESSARY FOR THE PROPER FUNCTION OF THE SYSTEM WHETHER INDICATED ON DRAWINGS OR NOT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTLY PHASING THE CIRCUITS IN THE PANELBOARDS. THREE PHASE CIRCUITS MAY BE COMBINED IN ONE CONDUIT WITH A COMMON NEUTRAL PROVIDED EACH CIRCUIT IS ON A DIFFERENT PHASE.
- THE ELECTRICAL CONTRACTOR SHALL VERIFY THE TYPE OF CEILING SYSTEM WITH THE GENERAL CONTRACTOR TO INSURE THAT THE LIGHTING FIXTURES ARE COMPATIBLE WITH THE CEILING SYSTEM BEING INSTALLED. LIGHTING FIXTURES SHOULD NOT BE ORDERED UNTIL TYPE OF CEILING HAS BEEN VERIFIED.
- ELECTRICAL REQUIREMENTS INDICATED ON DRAWINGS MAY DIFFER FROM ACTUAL EQUIPMENT FURNISHED. IF FURNISHED EQUIPMENT DIFFERS FROM RATINGS ON DRAWINGS CONTRACTOR SHALL NOTIFY ENGINEER FOR APPROPRIATE ACTION TO BE TAKEN.

MARK	DATE	REVISION

FOR THE ARCHITECT'S USE ONLY  
DO NOT SCALE DRAWINGS  
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DRAWING TITLE  
ELECTRICAL PLAN  
MECHANICAL  
LAYOUT  
NOTES & SPECS

DRAWN BY: KAM  
CHECKED BY: JRR  
SCALE: 1/4"=1'  
DATE: 3.21.18

PROJECT SHEET  
IN017132 **U1**

**MECHANICAL NOTES**

- THERMAL ZONE 4A
- INDOOR DESIGN CRITERIA:  
SUMMER DRY BULB: 75 F  
WINTER DRY BULB: 68 F  
RELATIVE HUMIDITY: 50%
- OUTDOOR DESIGN CRITERIA:  
SUMMER DRY BULB: 95 F  
WINTER DRY BULB: 20 F
- COOLING LOAD: 46,680 BTU (3.8 TONS)
- HEATING LOAD: 39,315 BTU
- EXISTING 4.0T SYSTEM SUFFICIENT. CONTRACTOR TO VERIFY MINIMUM FRESH AIR INTAKE OF 390 CFM.
- PROVIDE EF1 EXHAUST FAN FOR 70 CFM BATHROOM EXHAUST.
- UNDERCUT ALL DOORS 3/4" FOR SUFFICIENT AIR CIRCULATION

SPACE	NET AREA (FT <sup>2</sup> )	EXHAUST	DENSITY	Rp	RA	Pz	V
ENTRY	50	30	5	0.06	2.00	13	
WAITING	245	30	5	0.06	8.00	55	
LAB	164	30	5	0.06	5.00	35	
EXAM ROOM 104	122	10	5	0.06	2.00	17	
EXAM ROOM 105	122	10	5	0.06	2.00	17	
EXAM ROOM 106	122	10	5	0.06	2.00	17	
EXAM ROOM 107	122	10	5	0.06	2.00	17	
EXAM ROOM 108	122	10	5	0.06	2.00	17	
BREAK	147	30	5	0.06	5.00	34	
NURSES	106	10	5	0.06	2.00	16	
OFFICE	122	10	5	0.06	2.00	17	
RECEPTION	128	30	5	0.06	4.00	28	
HALLWAY	415	10	5	0.06	5.00	50	
OFFICE	122	10	5	0.06	2.00	17	
RESTROOMS	3	70				210	
TOTAL REQUIRED OUTDOOR AIR FLOW RATE (CFM)							390