

Initial Application Date: 3-13-18

Application # 1850043529
DRB # _____ CU # _____

COMMERCIAL
COUNTY OF HARNETT LAND USE APPLICATION

Central Permitting (Physical) 108 E. Front Street, Lillington, NC 27546 (Mailing) PO Box 65 Lillington NC 27546 Phone: (910) 893-7525 opt # 2 Fax: (910) 893-2793 www.harnett.org/permits

LANDOWNER: Tim McNeill Mailing Address: 123 Hollies Pines Rd

City: Broadway State: NC Zip: 27505 Contact # 919-356-4936 Email: Competitivecycles@gmail.com

APPLICANT*: _____ Mailing Address: _____

City: _____ State: _____ Zip: _____ Contact # _____ Email: _____

*Please fill out applicant information if different than landowner

CONTACT NAME APPLYING IN OFFICE: Tim McNeill Phone # 919-356-4936

PROPERTY LOCATION: Subdivision: Dwight McNeill Lot #: 2B Lot Size: 1.06

State Road # 81 State Road Name: Hollies Pines Rd Map Book&Page: 2010.308

Parcel: 13.9691-0124-IL PIN: 9691.05.0377

Zoning: R30 Flood Zone: Y Watershed: NA Deed Book&Page: 2487.0094 Power Company*: Central Electric

*New structures with Progress Energy as service provider need to supply premise number _____ from Progress Energy.

SPECIFIC DIRECTIONS TO THE PROPERTY FROM LILLINGTON: Take 421 north toward Sanford.
Turn Right on Holly Springs Church Road. Turn Left on
Hollies Pines Rd. First Driveway on Left.

PROPOSED USE:

- Multi-Family Dwelling No. Units: _____ No. Bedrooms/Unit: _____
- Business Sq. Ft. Retail Space: 500 Type: Powersports # Employees: 1 Hours of Operation: Tue-Sat. 9-5
- Daycare # Preschoolers: _____ # Afterschoolers: _____ # Employees: _____ Hours of Operation: _____
- Industry Sq. Ft: _____ Type: _____ # Employees: _____ Hours of Operation: _____
- Church Seating Capacity: _____ # Bathrooms: _____ Kitchen: _____
- Accessory/Addition/Other (Size _____ x _____) Use: _____

Water Supply: County _____ Existing Well _____ New Well (# of dwellings using well _____) *MUST have operable water before final

Sewage Supply: New Septic Tank (Complete Checklist) _____ Existing Septic Tank (Complete Checklist) _____ County Sewer

Comments: _____

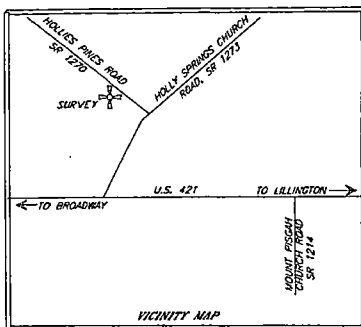
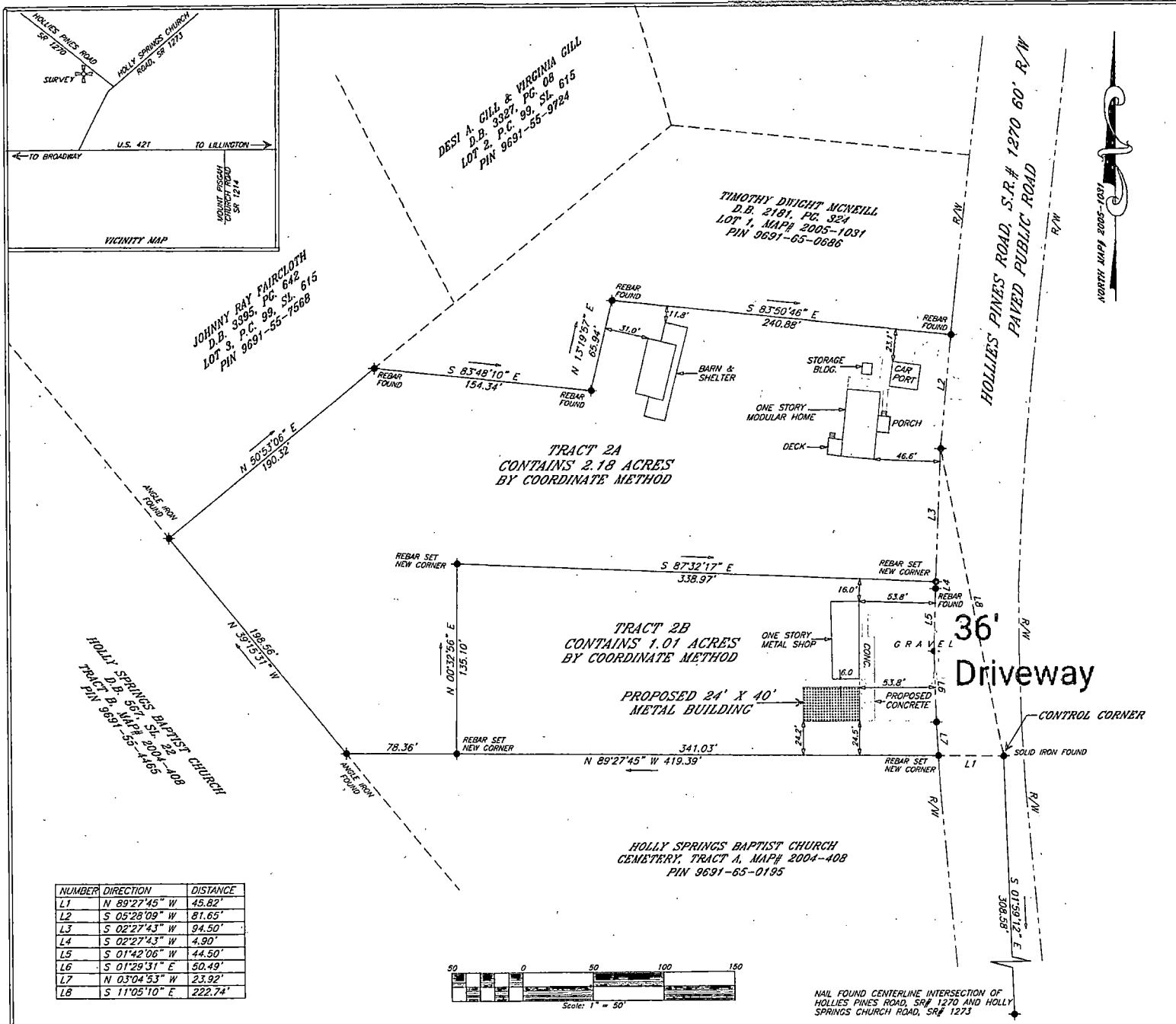
If permits are granted I agree to conform to all ordinances and laws of the State of North Carolina regulating such work and the specifications of plans submitted. I hereby state that foregoing statements are accurate and correct to the best of my knowledge. Permit subject to revocation if false information is provided.

Tim McNeill
Signature of Owner or Owner's Agent

3-12-18
Date

This application expires 6 months from the initial date if permits have not been issued

A RECORDED SURVEY MAP, RECORDED DEED (OR OFFER TO PURCHASE) AND PLAT ARE REQUIRED WHEN APPLYING FOR LAND USE APPLICATION



JOHNNY RAY FAIRCLOTH
D.B. 3395, PG. 642, 615
LOT 3, P.C. 99, SL. 615
PIN 9691-55-7568

DESI A. GILL & VIRGINIA GILL
D.B. 3327, PG. 08
LOT 2, P.C. 99, SL. 615
PIN 9691-55-9724

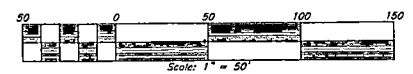
TIMOTHY DWIGHT MCNEILL
D.B. 2181, PG. 324
LOT 1, MAP# 2005-1031
PIN 9691-65-0686

TRACT 2A
CONTAINS 2.18 ACRES
BY COORDINATE METHOD

TRACT 2B
CONTAINS 1.01 ACRES
BY COORDINATE METHOD

HOLLY SPRINGS BAPTIST CHURCH
CEMETERY, TRACT A, MAP# 2004-408
PIN 9691-65-0195

NUMBER	DIRECTION	DISTANCE
L1	N 89°27'45" W	45.82'
L2	S 05°28'09" W	81.65'
L3	S 02°27'43" W	94.50'
L4	S 02°27'43" W	4.90'
L5	S 01°42'06" W	44.50'
L6	S 01°29'31" E	50.49'
L7	N 03°04'53" W	23.92'
L8	S 11°05'10" E	222.74'



- SUBDIVISION DATA:**
- 1- THIS PROPERTY IS ZONED RA-30
 - 2- THIS PROPERTY IS LOCATED IN ZONE X, PER FIRM MAP # S710680AL EFFECTIVE DATE SEPTEMBER 6, 2006
 - 3- THIS PROPERTY IS SERVED BY PUBLIC WATER SUPPLY SYSTEM AND A PRIVATE INDIVIDUAL SEPTIC TANKS:
 - 4- HARNETT COUNTY PIN 9691-55-9475
 - 5- MINIMUM BUILDING SET BACK LINES ARE: FRONT 35' REAR 25' & SIDES 10'.

CERTIFICATE OF OWNERSHIP AND DEDICATION AND JURISDICTION

I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON, WHICH IS LOCATED IN THE SUBDIVISION JURISDICTION OF HARNETT COUNTY, NORTH CAROLINA AND THAT I HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY FREE CONSENT AND ESTABLISH MINIMUM BUILDING SETBACK LINES AS NOTED. I FURTHER CERTIFY THAT I HAVE NOT BEEN INVOLVED AS AN OWNER, LEASER, OPTION HOLDER OR HAD ANY LEGAL OR EQUITABLE INTEREST IN ANY PROPERTY ADJACENT TO OR LOCATED DIRECTLY ACROSS A STREET, EASEMENT, ROAD OR RIGHT-OF-WAY FROM THE PROPERTY SHOWN AND DESCRIBED HEREON.

OWNER _____ DATE _____

OWNER _____ DATE _____

I HEREBY CERTIFY THAT THE DEVELOPMENT DEPICTED HEREON HAS BEEN GRANTED FINAL APPROVAL FROM HARNETT COUNTY E-911 ADDRESSING, ENVIRONMENTAL HEALTH, PLANNING, PUBLIC UTILITIES AND THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION. THIS PLAN IS SUBJECT TO ANY AND ALL CONDITIONS STATED BELOW AND IS ELIGIBLE FOR RECORDATION IN THE HARNETT COUNTY REGISTER OF DEEDS WITHIN THIRTY DAYS OF THE BELOW.

911 ADDRESSING _____

PUBLIC UTILITIES NOT FOR CONSTRUCTION _____

NCDOT _____

SUBDIVISION ADMINISTRATOR _____ DATE _____

STATE OF NORTH CAROLINA, COUNTY HARNETT

I, _____ REVIEW OFFICER OF HARNETT COUNTY CERTIFY THAT THIS MAP OR PLAN TO WHICH THIS CERTIFICATION IS AFFIXED MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.

DATE _____ REVIEW OFFICER _____

NORTH CAROLINA, HARNETT COUNTY
PRESENTED FOR REGISTRATION ON THE _____ DAY
OF _____, 2016 AT _____ M.

RECORDED IN PLAT CABINET _____ SLIDE _____

KIMBERLY S. HARGROVE, REGISTER OF DEEDS

I, MITCHELL W. COLE, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM A PARTIAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK 2482, PAGE 24) THAT BOUNDARIES NOT SURVEYED ARE SHOWN AS BROKEN LINES AND DRAWN FROM DEEDS AS INDICATED; THAT THE RATIO OF PRECISION AS CALCULATED IS 1:10,000; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED. WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER AND SEAL THIS 30TH DAY OF AUGUST, A.D., 2016.

I, MITCHELL W. COLE FURTHER CERTIFY THAT THIS PLAT IS OF A SURVEY THAT CREATES A SUBDIVISION OF LAND IN THE AREA OF A COUNTY THAT REGULATES PARCELS OF LAND.

I, MITCHELL W. COLE FURTHER CERTIFY THAT THIS DIVISION OF LAND DOES NOT ALLOW MORE THAN SIX LOTS TO BE CREATED ON ANY EASEMENT.



PROFESSIONAL LAND SURVEYOR
REGISTRATION NUMBER L-2856

NOTES:

- 1- BRING THE DIVISION OF THE TIMOTHY DWIGHT MCNEILL PROPERTY DESCRIBED IN DEED BOOK 2487, PAGE 94 AND SHOWN ON A MAP ENTITLED "SURVEY FOR ALFONSO DWIGHT MCNEILL, TIMOTHY DWIGHT MCNEILL", RECORDED AS MAP# 2005-1031 HARNETT COUNTY REGISTRY.
- 2- POINTS ALONG RIGHT OF WAY OF HOLLY PINES ROAD ARE CALCULATED POINTS UNLESS OTHERWISE NOTED.

DATE: AUGUST 22, 2016

REVISIONS:
MARCH 2, 2018 ADDED PROPOSED METAL BUILDING

MINOR SUBDIVISION FOR: (OWNER)

TIMOTHY DWIGHT MCNEILL

MAILING ADDRESS: 89 HOLLY PINES ROAD, BROADWAY, NORTH CAROLINA 27505
SURVEY - UPPER LITTLE RIVER TOWNSHIP, HARNETT COUNTY, NORTH CAROLINA

COLE LAND SURVEYS, P.A.

483 MILNER ROAD
SANFORD, NORTH CAROLINA 27330
PHONE (919) 439-3843
LICENSE NO. C-0883

NAME: Timothy McNeill

APPLICATION #: 43529

This application to be filled out when applying for a septic system inspection.

County Health Department Application for Improvement Permit and/or Authorization to Construct

IF THE INFORMATION IN THIS APPLICATION IS FALSIFIED, CHANGED, OR THE SITE IS ALTERED, THEN THE IMPROVEMENT PERMIT OR AUTHORIZATION TO CONSTRUCT SHALL BECOME INVALID. The permit is valid for either 60 months or without expiration depending upon documentation submitted. (Complete site plan = 60 months; Complete plat = without expiration)

910-893-7525 option 1

CONFIRMATION # 028415

Environmental Health New Septic System Code 800

- **All property irons must be made visible.** Place "pink property flags" on each corner iron of lot. All property lines must be clearly flagged approximately every 50 feet between corners.
- Place "orange house corner flags" at each corner of the proposed structure. Also flag driveways, garages, decks, out buildings, swimming pools, etc. Place flags per site plan developed at/for Central Permitting.
- Place orange Environmental Health card in location that is easily viewed from road to assist in locating property.
- If property is thickly wooded, Environmental Health requires that you clean out the **undergrowth** to allow the soil evaluation to be performed. Inspectors should be able to walk freely around site. **Do not grade property.**
- **All lots to be addressed within 10 business days after confirmation. \$25.00 return trip fee may be incurred for failure to uncover outlet lid, mark house corners and property lines, etc. once lot confirmed ready.**
- After preparing proposed site call the voice permitting system at 910-893-7525 option 1 to schedule and use code 800 (after selecting notification permit if multiple permits exist) for Environmental Health inspection. Please note confirmation number given at end of recording for proof of request.
- Use Click2Gov or IVR to verify results. Once approved, proceed to Central Permitting for permits.

Environmental Health Existing Tank Inspections Code 800

- Follow above instructions for placing flags and card on property.
- Prepare for inspection by removing soil over **outlet end** of tank as diagram indicates, and lift lid straight up (if possible) and then **put lid back in place.** (Unless inspection is for a septic tank in a mobile home park)
- **DO NOT LEAVE LIDS OFF OF SEPTIC TANK**
- After uncovering **outlet end** call the voice permitting system at 910-893-7525 option 1 & select notification permit if multiple permits, then use code 800 for Environmental Health inspection. Please note confirmation number given at end of recording for proof of request.
- Use Click2Gov or IVR to hear results. Once approved, proceed to Central Permitting for remaining permits.

SEPTIC

If applying for authorization to construct please indicate desired system type(s): can be ranked in order of preference, must choose one.

Accepted Innovative Conventional Any Unknown
 Alternative Other _____

The applicant shall notify the local health department upon submittal of this application if any of the following apply to the property in question. If the answer is "yes", applicant **MUST ATTACH SUPPORTING DOCUMENTATION**:

- YES NO Does the site contain any Jurisdictional Wetlands?
- YES NO Do you plan to have an irrigation system now or in the future?
- YES NO Does or will the building contain any drains? Please explain. _____
- YES NO Are there any existing wells, springs, waterlines or Wastewater Systems on this property?
- YES NO Is any wastewater going to be generated on the site other than domestic sewage?
- YES NO Is the site subject to approval by any other Public Agency?
- YES NO Are there any Easements or Right of Ways on this property?
- YES NO Does the site contain any existing water, cable, phone or underground electric lines?

If yes please call No Cuts at 800-632-4949 to locate the lines. This is a free service.

I Have Read This Application And Certify That The Information Provided Herein Is True, Complete And Correct. Authorized County And State Officials Are Granted Right Of Entry To Conduct Necessary Inspections To Determine Compliance With Applicable Laws And Rules.

I Understand That I Am Solely Responsible For The Proper Identification And Labeling Of All Property Lines And Corners And Making The Site Accessible So That A Complete Site Evaluation Can Be Performed.

Timothy McNeill Duane A McNeill
PROPERTY OWNERS OR OWNERS LEGAL REPRESENTATIVE SIGNATURE (REQUIRED)

6-19-18
DATE

Donna Johnson

From: Tim McNeill <competitivecycles@gmail.com>
Sent: Tuesday, June 12, 2018 3:36 PM
To: Donna Johnson
Subject: Re: Attachment

The sketch is the current building only.

The proposed building is not on the sketch.



On Tue, Jun 12, 2018 at 3:34 PM Donna Johnson <djohnson@harnett.org> wrote:

I am so sorry, Rhonda I see the measurements now. ☹ but your email says it will be a 24x40 and the sketch shows a 20x20.

Thank you,

Donna M. Johnson

Dept. of Development Services

Central Permitting Division

Project Coordinator/Customer Service Rep.

108 E. Front St.

PO Box 65

Lillington, NC 27546

910-814-6431 (Office)

910-893-7525 Option 2/3 (Main)



Harnett
C O U N T Y
NORTH CAROLINA

From: Tim McNeill [mailto:competitivecycles@gmail.com]

Sent: Tuesday, June 12, 2018 11:01 AM

To: Donna Johnson <djohnson@harnett.org>

Subject: Re: Attachment

Hello Ms. Johnson,

The building that we will be adding will be a metal building. The dimensions of the new building is 24X40.

The current building dimensions is on the plan that I submitted.

Please let me know if there is anything else.

Thank you

Rhonda

On Tue, Jun 12, 2018 at 9:47 AM, Donna Johnson <djohnson@harnett.org> wrote:

Good morning, Rhonda. I have the floor plan that you submitted, but I need to know the front to back length of the addition and the existing building. Also, is the addition being stick built or is it a metal structure also?

Thank you,

Donna M. Johnson

Dept. of Development Services

Central Permitting Division

Project Coordinator/Customer Service Rep.

108 E. Front St.

PO Box 65

Lillington, NC 27546

910-814-6431 (Office)

910-893-7525 Option 2/3 (Main)



From: Tim McNeill [mailto:competitivecycles@gmail.com]
Sent: Wednesday, June 06, 2018 9:25 PM
To: Donna Johnson <djohnson@harnett.org>
Subject: Attachment

Hello Ms. Johnson,

Attached is the drawing that you requested today that includes the current buildings with their dimensions, windows, and roll up doors and placement of fire extinguishers.

Please let me know if there is any other information that you may need.

Thank you for your help,

Rhonda McNeill

--



Tim McNeill

CEO

81 Hollies Pines Rd

Broadway, NC 27505

PH: (919) 258-3630

Email:competitivecycles@gmail.com

Web:<http://www.competitivecyclesnc.com>





HAL OWEN & ASSOCIATES, INC.

SOIL & ENVIRONMENTAL SCIENTISTS

P.O. Box 400, Lillington NC 27546-0400

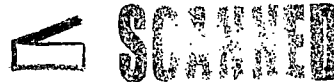
Phone (910) 893-8743 / Fax (910) 893-3594

www.halowensoil.com

21 September 2016

Mr. Timothy McNeill
Mrs. Rhonda McNeill
99 Hollies Pines Road
Broadway, NC 27505

Reference: Final Report for Comprehensive Soil Investigation
Minor Subdivision for Timothy McNeill - Tract 2A and 2B

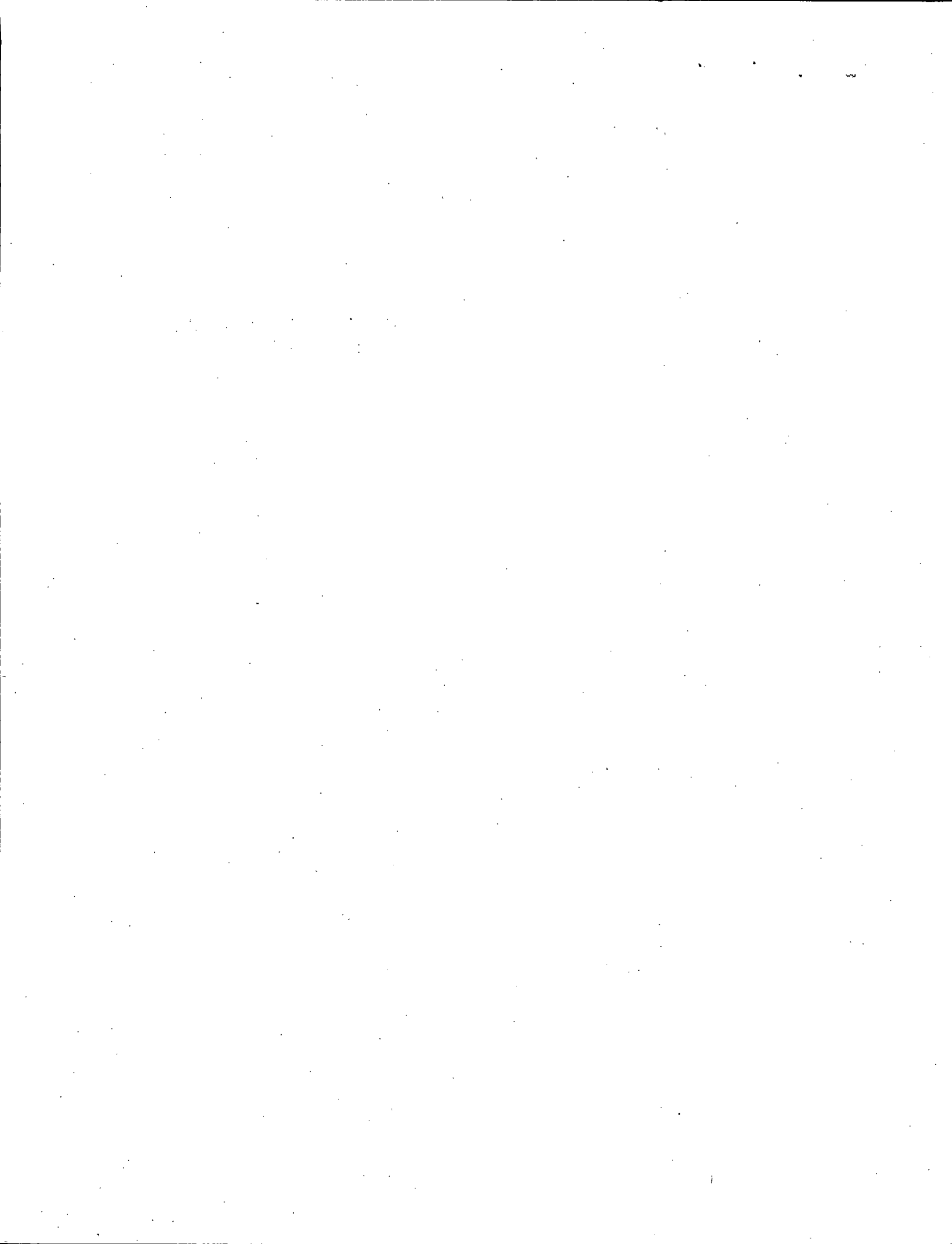


Dear Mr. and Mrs. McNeill,

A comprehensive soil investigation has been conducted at the above referenced property, located on the western side of Hollies Pines Road (SR 1270) in the Upper Little River Township of Harnett County, North Carolina. The purpose of the investigation was to determine the ability of each lot to support a subsurface sewage waste disposal system and repair area for a typical three-bedroom home. All soil ratings and determinations were made in accordance with "Laws and Rules for Sewage Treatment and Disposal Systems, 15A NCAC 18A .1900". It is our understanding that individual septic systems and public water supplies will be utilized at this site. The maximum house footprint used for this evaluation was 50 X 50 feet. Wetlands were not observed on either lot.

Lot 2A has an existing residence with an existing septic system that appeared to be functioning properly on the day of the investigation. This existing septic system appeared to be located within any setback requirements for this property. A soil investigation was conducted and it appears that an adequate amount of provisionally suitable soil exists on this lot to 100 % repair the system if it should fail.

Lot 2B is underlain by a complex mixture of provisionally suitable soils and provisionally suitable soils for modified or alternative subsurface sewage waste disposal systems. This lot is highly terraced and has been significantly altered by past mechanized human activities. Inclusions of unsuitable soil areas may be included within the areas shown as provisionally suitable soils. The provisionally suitable soils were observed to be firm sandy clay loams to greater than 24 inches and appear adequate to support long term acceptance rates of 0.3 gal/day/sqft. It appears that the soils on this lot are adequate to support a conventional septic system and repair area for one three bedroom residence or small commercial business. You should expect that a soil capping of about six inches of topsoil will be required to cover the septic system for this lot.



HAL OWEN & ASSOCIATES, INC.

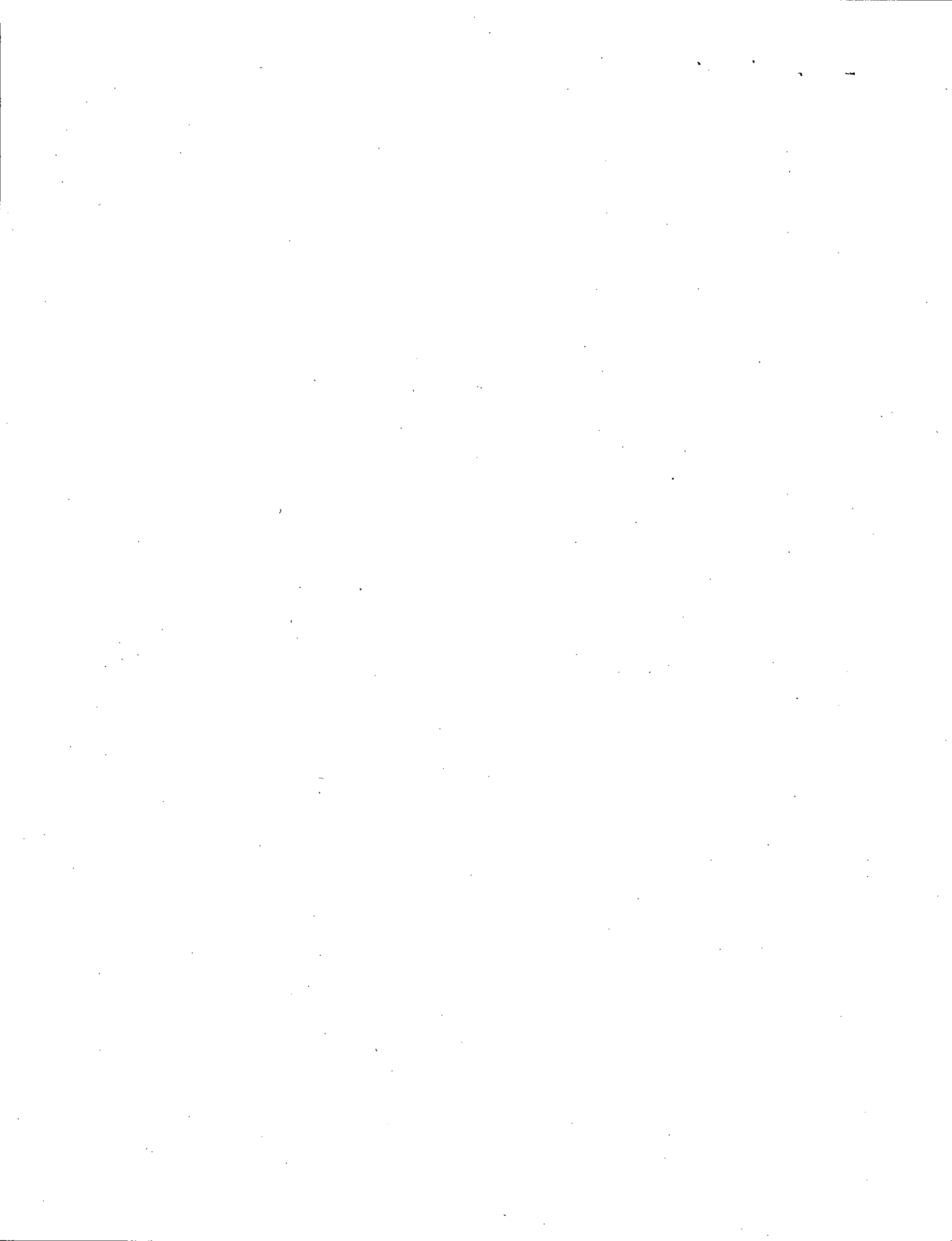
This soil investigation report and map, when provided to the Harnett County Health Department, should allow them to sign the maps for recordation. I appreciate the opportunity to provide this service and hope to be allowed to assist you again in the future. If you have any questions or need additional information, please contact me at your convenience.



Sincerely,

A handwritten signature in cursive script that reads "Hal Owen".

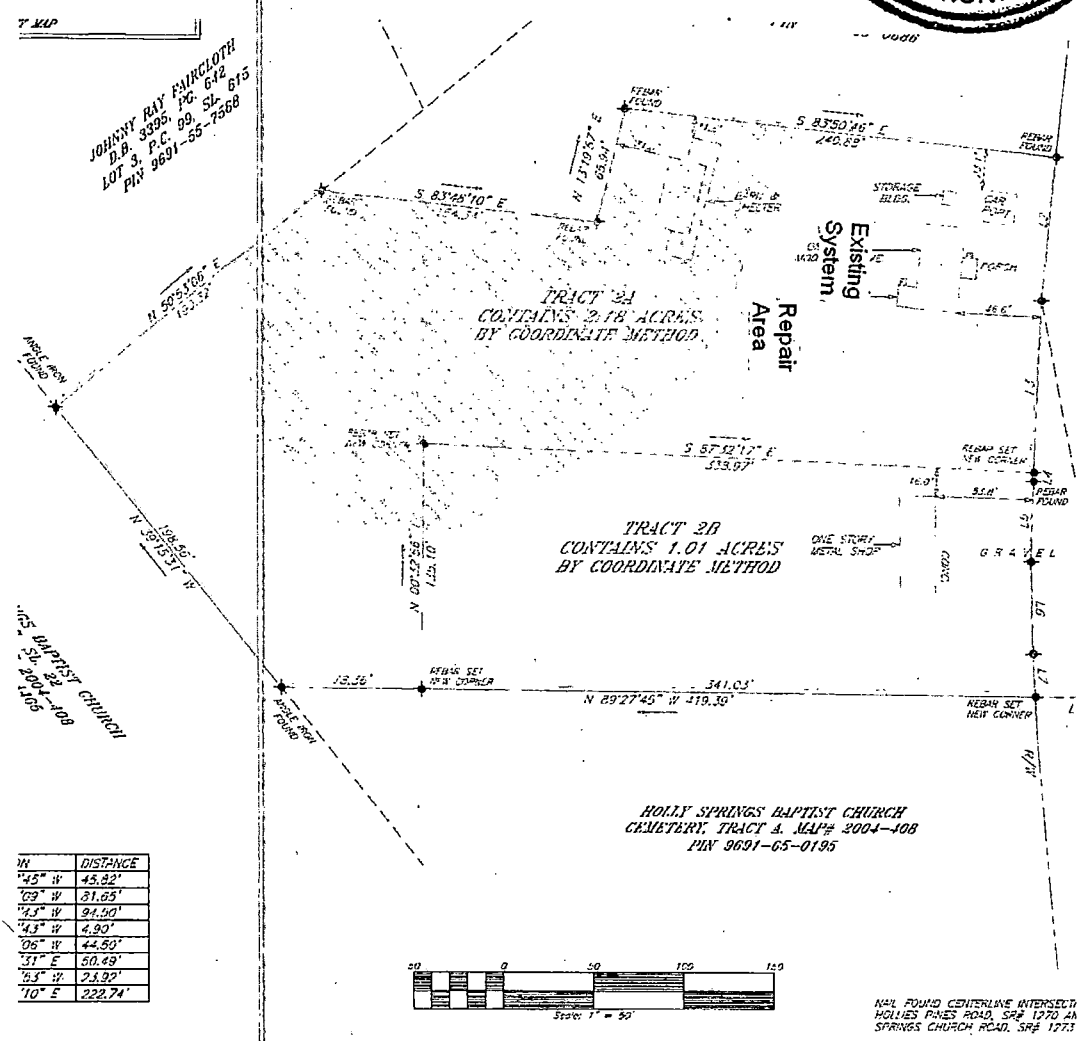
Hal Owen
Licensed Soil Scientist



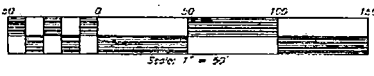


Final Report for Comprehensive Soil Investigation
 Minor Subdivision for Timothy McNeill - Tract 2A and 2B
 21 September 2016

Soil Map



IN	DISTANCE
"45" W	45.22'
"09" W	31.65'
"43" W	94.50'
"43" W	4.90'
"06" W	44.50'
"31" E	50.49'
"53" W	23.92'
"10" E	222.74'



Soil Map Legend

Provisionally Suitable Soils

Unsuitable Soils

Scale 1 in = 200 ft

Distances are paced and approximate

