TrueHomes

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BUIES CREEK TOWNHOMES

LOTS 1-8 INTEGRITY COLLECTION

NUMBER

HELP HOTLINES ADDRESS "WHEN IN DOUBT, GIVE US A SHOUT LILLINGTON, NC (To be filled in by Builder on site)

COMMUNITY SPECS

(Detailed listing of all Community Specifications can be found in Showroom Selections)

- MONO FOUNDATION w/ INSULATION
- VINYL SIDING
- CEMENT SOFFIT
- CEMENT PORCH CEILINGS
- ALUMINUM COIL WRAPPED 6" FASCIA
- **HVAC LOCATION REAR**

NAME: 52

ARCHITECTURAL SERVICES:

TRUE BUILDER:

- Missing or Conflicting Dimensions
- Plan Legibility Missing Options

Mon-Fri: 8am - 5pm CHARLOTTE MKTS: 704-681-2032 ALL OTHER MKTS: 704-993-1861 E-mail: CADISSUE@truehomesusa.com

ESTIMATING:

- Missing Material or Shortage Purchase Order Questions

ALL MKTS: 704-681-4916



Harnett

SLAB FORMWORK PLAN BUIES CREEK TOWNHOMES MONO FOUNDATION PLAN LNN LOWER LEVEL FRAMING PLAN LOWER LEVEL BRACED WALL PLAN UPPER LEVEL FRAMING PLAN ω Ο UPPER LEVEL BRACED WALL PLAN LOWER LEVEL FLOOR PLAN LIPPER LEVEL FLOOR PLAN FRONT ELEVATIONS REAR ELEVATIONS LOWER LEVEL ELECTRICAL PLAN

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UPPER LEVEL ELECTRICAL PLAN

AREA SEPARATION WALL DETAILS

MONO FOUNDATION DETAILS

UL RATED WALL DETAILS

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FLASHING DETAILS

STAIR DETAILS

STAIR DETAILS

STAIR DETAILS

MISC. DETAILS

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GENERAL NOTES

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EXTERIOR SPECIFIC DETAILS

STAIR SECTIONS & MISC. DETAIL

FRAMING DETAILS

COVER SHEET

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D7

D9

THE 'LUCAS TH'

HEADER SCHEDULE LL INTERIOR BEARING AND EXTERIOR WALLS

- . SPANS 3'-6" TO 6'-6" -- (2) 2x8's SPANS 6'-6" TO 6'-6" -- (2) 2x10's 3. SPANS 6'-6" OR MORE --
- ** SOUTH CAROLINA SPECIFIC NOTE ** ALL OPENINGS IN THERMAL ENVELOPE MUST HAVE INSULATED HEADER PER CODE

EXTERIOR HINGED DOOR SCHEDULE

DOOR WIDTH		DOOR HEIGHT R.O.		R.O.
PLAN I.D.	R.O. WIDTH	8FT CEILING	9FT CEILING	I OFT CEILING
3/0	3'-2 1/2"			
2/8	2'-10 1/2"		82-1/2"	98-1/2"
5/0	5'-3 5/8"	82-1/2"		
5/4	5'-7 5/8"	8		
6/0	6'-3 5/8"			
	SLIDING PATIO DOORS			
5/0	4'-11 1/2"	80"	80"	"96"
6/0	5'-11 1/2"	Ø	ø.	9

INTERIOR HINGED

	K WIDTH	DOO	R HEIGHT	R.O.		
PLAN I.D.	R.O. WIDTH	8FT CEILING	9FT CEILING	I OFT CEILING		
1/4	1'-6"	<u></u>	[]	(
1/6	1'-8"	0/1-		2/1-		
1/8	1'-10"	+	+	+		
2/0	2'-2"	눞	눞	높		
2/4	2'-6"	82-1/2" (G-8" NOMINAL DOOR HEIGHT +2-1/2")	82-1/2" -8" NOMINAL DOOR HEIG	<u>- 9</u>	- 1	
2/6	2'-8"			1/2 /2 /2	1/2' JR t	
2/8	2'-10"			82-1/2" DOOR H	98-1/2" DOOR F	
2/10	3'-0"			-8" NOMINAL	N I	AL I
3/0	3'-2"					∑ ∑
4/0	4'-2"				9	9
5/0	5'-2"				82-1/2" (G'-8" NOMINAL DOOR HEIGHT +2-1/2")	98-1/2" (8-0" NOMINAL DOOR HEIGHT +2-1/2")
6/0	6'-2"	9)	9)	8)		

DOOR SCHEDULE

PLAN I.D.	R.O. WIDTH	8FT CEILING	9FT CEILING	I OFT CEILING				
1/4	1'-6"	<u></u>	()	(
1/6	1'-8"	2/1-	2/1-	-1/9				
1/8	1'-10"	+	+	+				
2/0	2'-2"	눞	눞	눞				
2/4	2'-6"	82-1/2" (G-8" NOMINAL DOOR HEIGHT +2-1/2")	82-1/2" -8" NOMINAL DOOR HEIG	(G8" NOMINAL DOOR HEIGHT +2-1/2") (G8" NOMINAL DOOR HEIGHT +2-1/2") (G8" NOMINAL DOOR HEIGHT +2-1/2")		- 1	- 1	
2/6	2'-8"				1/2 JR t			
2/8	2'-10"			92-	98-1/2" DOOR F			
2/10	3'-0"			¥	F	AL I		
3/0	3'-2"			Σ	Σ			
4/0	4'-2"			ON "8-	9	9	9	9
5/0	5'-2"				₽	98-1/2" (8-0" NOMINAL DOOR HEIGHT +2-1/2")		
6/0	6'-2"	9	9)	8				

LOAD BEARING ()NON-LOAD BEARING

GENERAL NOTES

- PLANS PERMITTED IN NORTH CAROLINA ARE DESIGNED TO MEET THE 2018 NORTH CAROLINA RESIDENTIAL BUILDING CODE, AS ISSUED BY THE STATE OF NORTH CAROLINA, AND PLANS PERMITTED IN SOUTH CAROLINA DESIGNED TO MEET 2021 SOUTH CAROLINA RESIDENTIAL BUILDING CODE AS ISSUED BY THE STATE OF SOUTH CAROLINA, WITH MODIFICATIONS AS REQUIRED TO MEET LOCAL BUILDING CODES FOR EACH APPLICABLE JURISDICTION.
- DO NOT SCALE DIMENSIONS FROM PRINTS. USE DIMENSIONS GIVEN OR CONSULT ARCHITECTURAL SERVICES DEPARTMENT FOR FURTHER CLARIFICATION.
- ALL DIMENSIONS ARE FROM WALL FRAMING (FACE OF STUD), NO FINISHED DIMENSIONS ARE GIVEN U.N.O. ALL INTERIOR NON-LOAD BEARING WALLS TO BE 2x4 STUDS @ 24" O.C. (U.N.O.). OR AS SPECIFIED PER COMMUNITY SPECS \$
- ALL STRUCTURAL FRAMING LUMBER EXPOSED DIRECTLY TO THE WEATHER OR BEARING DIRECTLY ON MASONRY OR CONCRETE SHALL BE TREATED. ALL WOOD IN CONTACT WITH THE GROUND MUST BE GROUND-CONTACT APPROVED. ALL WOOD EXPOSED DIRECTLY TO THE WEATHER SHALL BE PROTECTED TO PREVENT THE OCCURRENCE OF ROT.
- ALL ANGLED WALLS ARE AT 45 DEGREES UNLESS NOTED OTHERWISE.
- REFER TO QUALITY STANDARDS AND/OR MANUFACTURER SPECS FOR WINDOW ROUGH OPENING SIZES. SEE ELEVATIONS FOR WINDOW HEADER HEIGHTS (U.N.O.).
- PROVIDE BLOCKING ABOVE WINDOWS AND DOORS 16" O.C.
- PROVIDE EXTRA STUDS AS INDICATED AT BEAM BEARING LOCATIONS.
- IO. WALLS TO BE FRAMED WITH STUDS AT IG" O.C. AT KITCHEN & BATH WALLS WITH CABINETS AND AT TUB/SHOWER LOCATIONS
- . ALL COMMON CEILING BETWEEN GARAGE TO HOUSE PROVIDE 5/8" TYPE X GWB PER GARAGE SEPARATION REQUIREMENTS PER CODE. ALL JOINTS TO BE TAPED \$ MUDDED FOR FIRE SEPARATION. ALL STRUCTURES SUPPORTING FLOOR/CEILING
- ASSEMBLIES USED FOR SEPARATION REQUIRE NOT LESS THAN 1/2" GYP OR EQ. PER SECTION R302.6 2. SEPARATE GARAGE FROM ATTIC WITH 5/8" TYPE X GWB SCUTTLE MINIMUM AND 2X SCUTTLE FRAMING MATERIAL
- HEEL HEIGHTS: SEE ELEVATIONS SHEETS FOR TOP OF FASCIA DIMENSIONS TO GATHER PROPER HEEL HEIGHT REQUIREMENTS 14. PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES AND PER
- 15. PROVIDE I ½" FLAT WALL FRAMING FOR ALL HVAC CHASES UNLESS NOTED OTHERWISE. SEE FRAMING SHEET GN FOR ADDITIONAL NOTES PER LOCAL CODES.
- 6. TYPICAL DOOR OFFSET FROM PERPENDICULAR WALL U.N.O. = 4" FOR ANSWER, INTEGRITY, ELEMENTS, \$ TRIBUTE OR TYPICAL DOOR OFFSET FROM PERPENDICULAR WALL U.N.O. = 6" FOR TRADITIONS COLLECTION OR
- DOOR OFFSET CENTERED IN THE WALL UNLESS NOTED OTHERWISE
- 17. ALL HOMES TREATED WITH BORA-CARE TERMITE TREATMENT. 18. SMURF DOORS ARE 21 1/2" x 39" NOMINAL (R.O. 22 1/2" x 40").
- 19. DIMENSION AND NOTATIONS ON PLANS HAVE PREFERENCE OVER GRAPHIC DEPICTIONS AND SHOULD BE UTILIZED TO SETTLE ANY DISCREPANCIES - ANY DISCREPANCIES FOUND SHOULD BE FORWARDED TO THE ARCHITECTURAL SERVICES DEPARTMENT FOR RESOLUTION. (ATTN: TRUE HOMES FIELD ASSOC. IF YOU HAVE READ THIS FAR. PLEASE CALL CAD HOTLINE FOR PRIZE)
- 20. TYPICAL FOUNDATION AND ENGINEERING CONSTRUCTION DETAILS ARE SHOWN IN RESPECTIVE PLANS. TYPICAL DETAILS SHALL APPLY TO ALL SITUATIONS OCCURRING ON THE PLAN THAT ARE THE SAME OR SIMILAR TO THOSE SPECIALLY DETAILED. THE APPLICABLY OF THE DETAIL TO ITS LOCATION ON THE DRAWINGS CAN BE DETERMINED BY THE TITLE OF THE DETAIL. SUCH DETAILS SHALL APPLY WITHER OR NOT THEY ARE REFERENCED AT EACH LOCATION.
- 21. ALL CONSTRUCTION SPECIFICATION NOT COVERED ON THIS SHEET, OR IN PLAN SETS AND GENERAL SPECIFICATIONS, ARE TO MEET ALL APPLICABLE STATE AND LOCAL BUILDING CODES.
- 22. HOUSE CONSTRUCTION IS TYPICAL 2X4 STUDS AT 16" O.C. AT ALL EXTERIOR WALLS UNLESS OTHERWISE NOTED. WALLS THAT ARE TO BE BALLOON FRAMED OR CONSTRUCTED WITH 2X6 STUDS WILL BE NOTED AS SUCH. ALL BASEMENT FRAMED WALLS TO BE 2X4 STUDS FOR ONE-STORY PLANS AND 2X6 STUDS FOR LOAD BEARING WALLS ON TWO-STORY PLANS UNLESS
- 23. TRUE HOMES RESERVES THE RIGHT TO MAKE MODIFICATIONS TO FLOOR PLANS, DIMENSIONS, MATERIALS, AND SPECIFICATIONS WITHOUT NOTICE. THESE DRAWINGS ARE FOR THE PURPOSE OF CONVEYING AN ARCHITECTURAL CONCEPT

3. DATE:

4 DATE:

DRAWN BY:

INTERIOR PASS THRU SCHEDULE

FRAM	FRAMED OPENING DIMENSIONS				
WALL HEIGHT	R.O. WIDTH	R.O. HEIGHT			
8'-1 1/8"	PLAN I.D. +2"	82-1/2"			
9'-1 1/8"	PLAN I.D. +2"	94-1/2"			
10'-1 1/8"	PLAN I.D. +2"	98-1/2"			
POLICH OPENING HEIGHTS ARE FOR DO CO #					

ROUGH OPENING HEIGHTS ARE FOR DO, CO. AO OPENINGS. SHIM HEIGHTS AS NEEDED T MATCH INTERIOR HINGED DOOR CASING

INTERIOR DOORWAY OPENINGS:

- DO = DRYWALL OPENING CO = CASED OPENING
- AO = ARCHED OPENING

DESIGN CRITERIA

- DESIGN LOADS ARE ALL DEAD LOADS PLUS: SLEEPING ROOMS......30 PSF ALL OTHER FLOORS......40 PSF BALCONIES......40 PSF ATTIC FLOOR LIVE LOADING WITH THE FOLLOWING: AREA ACCESSIBLE BY
 - STAIRS.....
 - ROOF SLOPES >3:12......20 PSF ROOF SLOPES <3:12.....10 PSF ROOF LIVE LOAD......20 PSF
 - WIND LOAD...... I 20 MPH SNOW LOAD......20 PSF SEISMIC ZONE.....B
 - DESIGN IS COMPLIANT WITH 2018 NCRC ENERGY CODE N I 102.2 PRESCRIPTIVE FOR CLIMATE ZONE 4A

REVISION LOG RESIDENTIAL STRUCTURES, P.C. . DATE: DRAWN BY: No. C3295 2. DATE: DRAWN BY

3410 N. Davidson St. DRAWN BY Charlotte, N.C. 28205 Seal For Structural Only

RESIDENTIAL STRUCTURES. PIC

UPPER LEVEL TOTAL LIVABLE

680 SQ FT 1360 SQ.FT FRONT PORCH (FULL) 108 SQ.FT FRONT PORCH (PARTIAL) 24 SQ FI REAR PATIO 100 SQ.FT

SQ. FOOTAGE

COUNTY

10 M e

17.5 ALL ABOUT U

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PREPARED BY:
Michael
DATE:
0 10 05

SCALE: AS SHOWN REVIEWED BY: Chuck

NOTE:

I. THIS PLAN IS FOR PURPOSES OF ESTABLISHING TrueHomes

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2649 Brekonridge Centre Dr.
Suite 104
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704-271-1191 S ACCURATE FORMWORK FOR EXECUTION OF CONCRETE SLAB POUR.
DIMENSIONS ARE TO SLAB CORNERS WHETHER INTERIOR OR EXTERIOR.

THIS PLAN IS CONSIDERED NON-STRUCTURAL. BUIES CREEK TOWNHOMES 8 UNIT LOTS 1-8 LUCAS TH 1340 × 200 HARNETT Copyright True Homes L.L.C.. All rights reserved. The duplication, reproduction, copying, sale, rental, licensing, or any other distribution or use of these drawings any portion there of, or the plans depicted hereon is strictly prohibited. PREPARED BY: Michael DATE: SCALE: AS SHOWN REVIEWED BY: Chuck SF1 LOT - 6
UICAS TH
SCALE 3/195" = 1'40" LOT - 7
ULICAS TH

1340 - SLAB FORMWORK PLAN
SCALE 3/187 = 1/47

I O'x I O' CONCRETE PATIO

LOT - 1
LUCASTH

1340 - SLAB FORMWORK PLAN
SCALE: 316" = 1'-5"

×

LOT - 2

LIDICAS TH

SCALE: SINST = 1-30*

1340 - SLAB FORMWORK PLAN

IOxIO CONCRETE PATIO

X

B D2

LOT - 4
LUCAS TH 340 - SLAB FORMWORK PLAN
SCALE: 9/86" = 1/4"

XO

00

LOT - 3
UIDASTH

1340 - SLAB FORMWORK PLAN
SCALE: 3/195" = 1'40"

I O'x I O' CONCRETE PATIO

LIJCAS TH SCALE 3/19" = 1/10"

ONTACT ARCHITECTURAL SERVICES IF FOUNDATION STEPS IN FIELD DIFFER FROM SHOWN HERE

X

COUNTY

FOUNDATION	ON PAD FOOTING SIZES	1
KEYNOTE	SIZE	
A	8"x 8"x8" w/3-#4's E.W.	,
₿	24"x24"x12" w/4-#4's E.W.	2
0	30"x30"x12" w/4-#4's E.W.	
(D)	36"x36"x12" w/4-#4's E.W.	
Œ	48"x48"x12" w/6-#4's E.W.	
F	36"x60"x12" w#4's @ 6" O.C. E.W.	

OUTSIDE DIMENSIONS ARE TO FOUNDATION CORNERS AND MASONRY OPENINGS. INSIDE DIMENSIONS ARE FROM FACE OF AREA SEPARATION WALL (BETWEEN UNITS) TO CENTER OF APPLIANCES,

FIXTURES AND FOOTINGS

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BUIES CREEK TOWNHOMES

1-8

8 UNIT OTS 1-8

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29249 TO NO MUNICIPALITY



RESIDENTIAL STRUCTURES, RC. 3410 N. Devidson St. Charlotte, N.C. 28205
Seal For Structural Cody

1340 - MONO FOUNDATION PLAN

1340 - MONO FOUNDATION PLAN

1340 - MONO FOUNDATION PLAN

I O'x I O' CONCRETE PATIO I Øx I Ø CONCRETE PATIO HOUSE SLAB NO ANCHORS OF THE PORCH PORCH PORCH

1340 - MONO FOUNDATION PLAN

COUNTY LUCAS 7 1340 HARNETT

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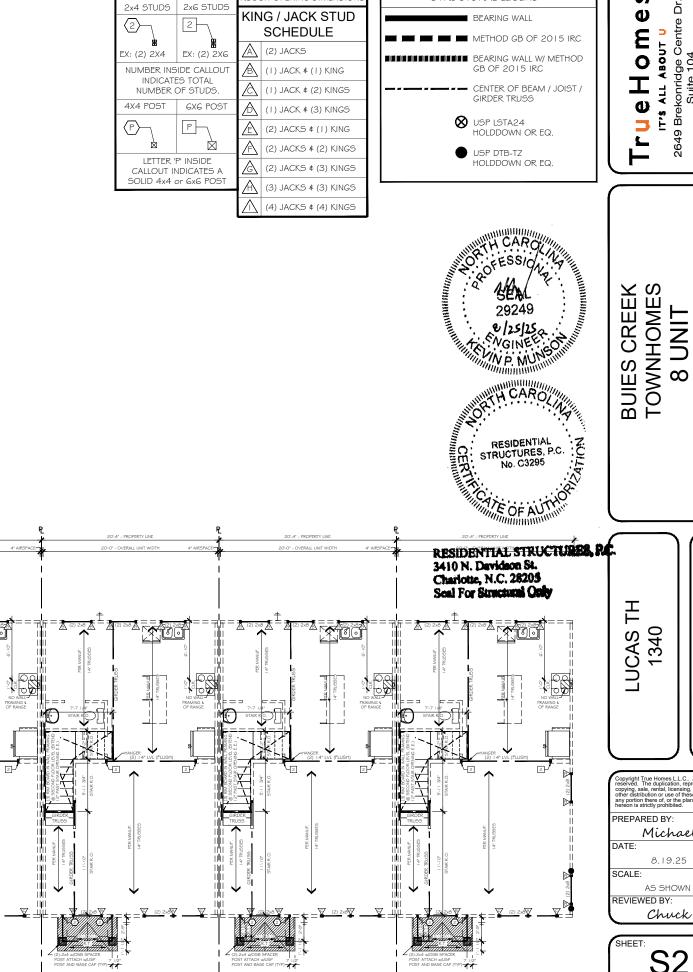
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PREPARED BY: Michael

DATE:

SCALE: AS SHOWN REVIEWED BY: Chuck

SHEET: **S1**



POST SCHEDULE

LOT - 5 1340 - FLOOR FRAMING PLAN

LOT - 6 1340 - FLOOR FRAMING PLAN

LOT - 1 LUCAS TH SCALE: 3/16" = 1'.0"

LOT - 2 1340 - FLOOR FRAMING PLAN

SEE COVER PAGE FOR

OUGH OPENING DIMENSION

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STRUCTURAL LEGEND

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8 UNIT OTS 1-8

COUNTY HARNETT

PREPARED BY: Michael

AS SHOWN

S2

LOT - 8

WALL BRACING NOTES

THIS STRUCTURE HAS BEEN ANALYZED BY A PROFESSIONAL ENGINEER FOR LATERAL LOADING. IT HAS BEEN DESIGNED USING CONTINOUSLY SHEATHED 7/16" OSB SHEATHING, FASTENED AT 6" O.C. ALONG THE EDGES AND 12" O.C. ALONG THE INTERIOR (w/6d common nails or 8d-2 ½" long x 0.113"diameter-nails) TO MEET OR EXCEED THE INTENT OF THE 2018 NC RESIDENTIAL BUILDING CODE. BLOCKING SHALL BE PROVDED AT ALL PANEL EDGES. All INTERIOR WALLS (WHERE NOTED) SHOULD BE METHOD GB AND FASTENED WITH 5d COOLER NAILS OR #6 SCREWS AT 7" ALONG THE EDGES AND 7" FIELD. All INTERIOR COMMON WALLS (PARTY WALLS) SHOULD BE METHOD GB 1-SIDE FASTENED WITH 5d COOLER NAILS OR #6 SCREWS AT 7" ALONG THE EDGES AND 7" FIELD. ANY METHODS THAT DEVIATE FROM THE ABOVE ARE NOTED ON THE PLAN SET. WHERE WALL LINES REQUIRE FURTHER REINFORCEMENT, ADDITIONAL BRACING METHODS, ENGINEERED WALL SECTIONS AND HOLD DOWNS HAVE BEEN INCLUDED TO RESIST THE LATERAL LOADS. CONTINUITY TO BE PROVIDED BETWEEN UNITS

WALL BRACING NOTE

- I I 5 MPH WIND ZONE EXP. B
 8, 9 OR I 0 FT. WALL HEIGHT
 ENGINEERED WALL BRACING DESIGN MEETS OR EXCEEDS THE INTENT OF THE: 2018 IRC
- 6" EDGES, 12" FIELD

ALL WOOD STRUCTURAL PANEL BRACING SHALL BE ATTACHED TO FRAMING OR BLOCKING, EXCEPT GB BRACING. HORIZONTAL JOINTS SHALL NOT BE REQ'D TO BE BLOCKED WHEN JOINTS ARE FINISHED.

BWL GB
(2-SIDED) = WALL BRACING METHOD
OF 2015 IRC (2 SIDE)
BWL GB
(1-SIDED) = WALL BRACING METHOD
OF 2015 IRC (1 SIDE)

= WALL BRACING METHOD
C5-WSP OF 2015 IRC

STRUCTURAL LEGEND

- BEARING WALL
- BEARING WALL W/ METHOD GB OF 2015 IRC
 - CENTER OF BEAM / JOIST / GIRDER TRUSS
 - **⊗** USP LSTA24 HOLDDOWN OR EQ.
 - USP DTB-TZ

HOLDDOWN OR EQ.

**INSTALL AN EXTRA JOIST BELOW ALL PARALLEL PARTITION WALLS, U.N.O.

29249 NGINER RESIDENTIAL STRUCTURES, P.C. C. No. C3295

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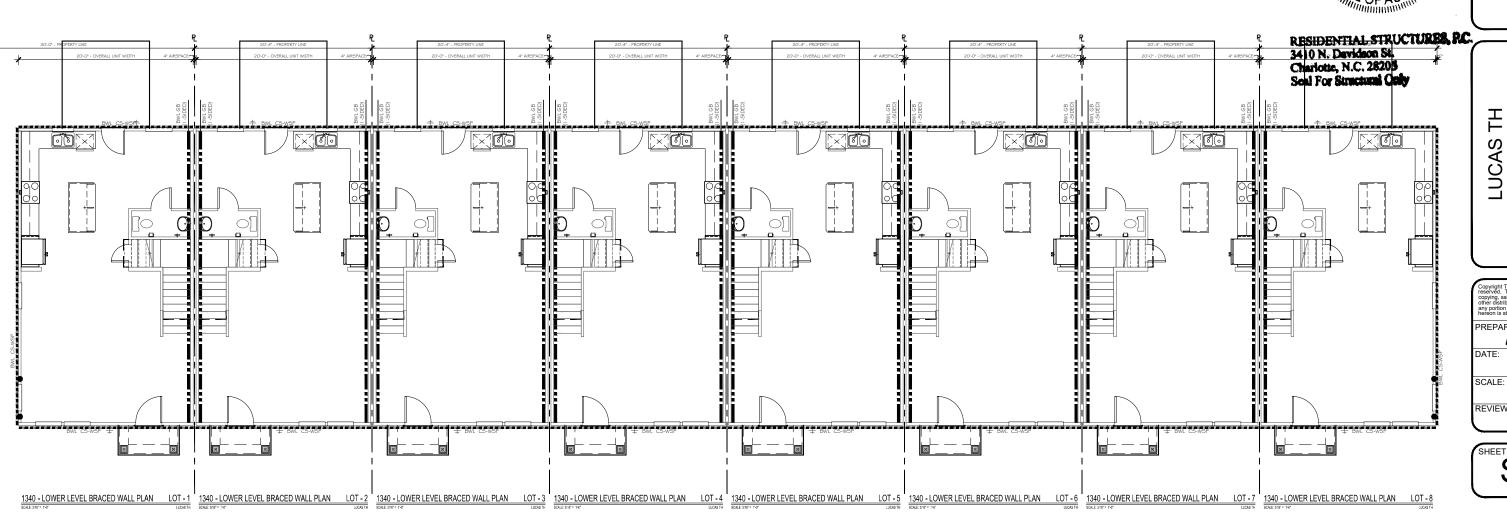
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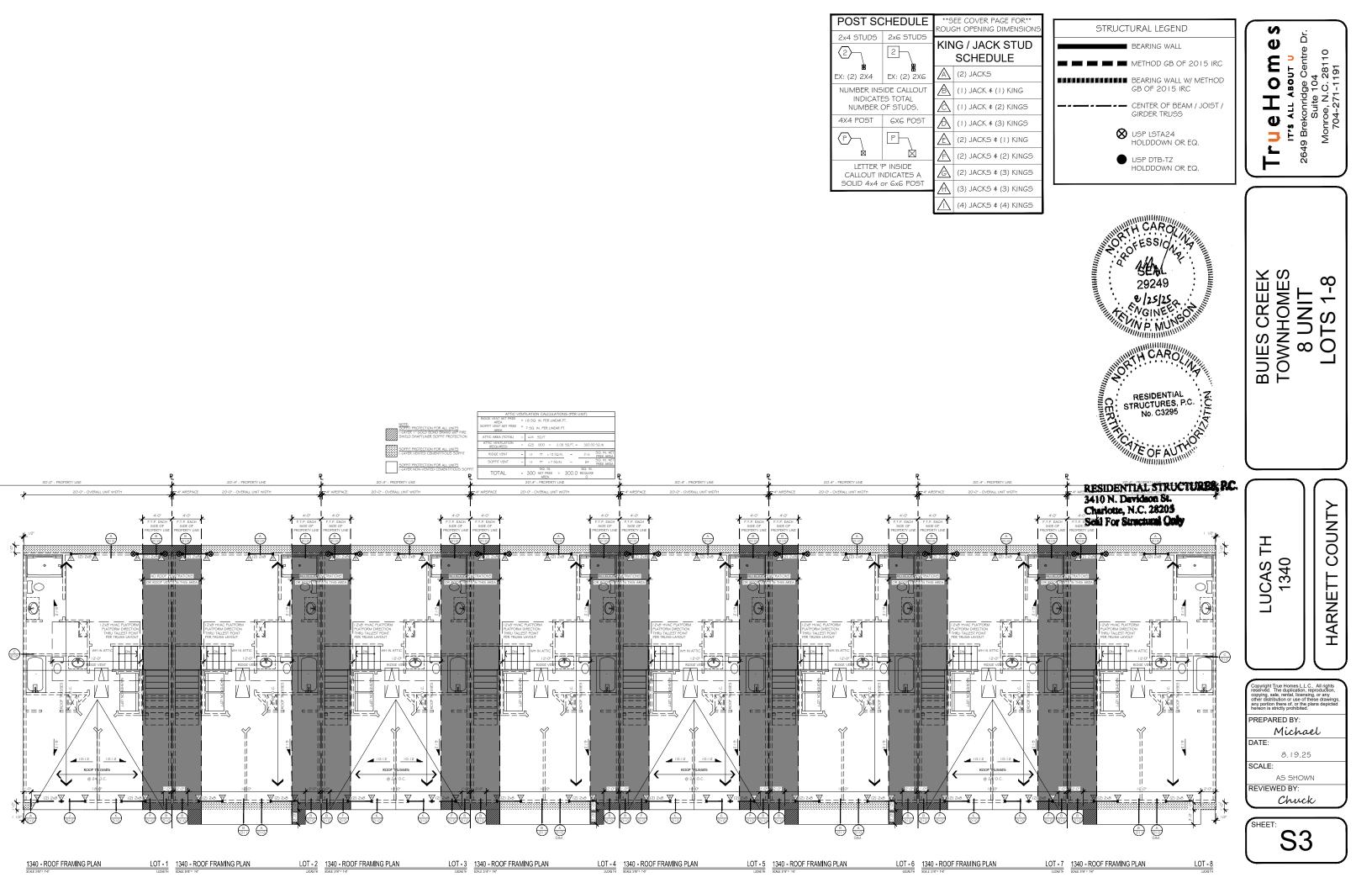
PREPARED BY: Michael

AS SHOWN REVIEWED BY:

S2.1

Chuck





WALL BRACING NOTES

THIS STRUCTURE HAS BEEN ANALYZED BY A PROFESSIONAL ENGINEER FOR LATERAL LOADING. IT HAS BEEN DESIGNED USING CONTINOUSLY SHEATHED 7/16" OSB SHEATHING, FASTENED AT 6" O.C. ALONG THE EDGES AND 12" O.C. ALONG THE INTERIOR (w/6d common nails or 8d-2 ½" long x 0.113"diameter-nails) TO MEET OR EXCEED THE INTENT OF THE 2018 NC RESIDENTIAL BUILDING CODE. BLOCKING SHALL BE PROVDED AT ALL PANEL EDGES. All INTERIOR WALLS (WHERE NOTED) SHOULD BE METHOD GB AND FASTENED WITH 5d COOLER NAILS OR #6 SCREWS AT 7" ALONG THE EDGES AND 7" FIELD. All INTERIOR COMMON WALLS (PARTY WALLS) SHOULD BE METHOD GB 1-SIDE FASTENED WITH 5d COOLER NAILS OR #6 SCREWS AT 7" ALONG THE EDGES AND 7" FIELD. ANY METHODS THAT DEVIATE FROM THE ABOVE ARE NOTED ON THE PLAN SET. WHERE WALL LINES REQUIRE FURTHER REINFORCEMENT, ADDITIONAL BRACING METHODS, ENGINEERED WALL SECTIONS AND HOLD DOWNS HAVE BEEN INCLUDED TO RESIST THE LATERAL LOADS. CONTINUITY TO BE PROVIDED BETWEEN UNITS.

WALL BRACING NOTE

- I 15 MPH WIND ZONE EXP. B
 8, 9 OR 10 FT. WALL HEIGHT
 ENGINEERED WALL BRACING DESIGN MEETS OR EXCEEDS THE INTENT OF THE: 2018 IRC

METHOD	MATERIAL	FASTENER SPACIN
CS-WSP	MIN. 3/8" OSB	6" EDGES, 12" FIEL
GB	MIN. I/2" GYP	7" EDGES, 7" FIELD

ALL WOOD STRUCTURAL PANEL BRACING SHALL BE ATTACHED TO FRAMING OR BLOCKING, EXCEPT GB BRACING. HORIZONTAL JOINTS SHALL NOT BE REQ'D TO BE BLOCKED WHEN JOINTS ARE FINISHED.

(2-SIDED) = WALL BRACING METHOD
OF 2015 IRC (2 SIDE) BWL GB (1-SIDED) = WALL BRACING METHOD OF 2015 IRC (1 SIDE) = WALL BRACING METHOD
C5-WSP OF 2015 IRC

**INSTALL AN EXTRA JOIST BELOW ALL PARALLEL PARTITION WALLS, U.N.O.

STRUCTURAL LEGEND

- BEARING WALL
- BEARING WALL W/ METHOD GB OF 2015 IRC
 - CENTER OF BEAM / JOIST / GIRDER TRUSS

⊗ USP LSTA24 ${\sf HOLDDOWN}\ {\sf OR}\ {\sf EQ}.$ USP DTB-TZ HOLDDOWN OR EQ.

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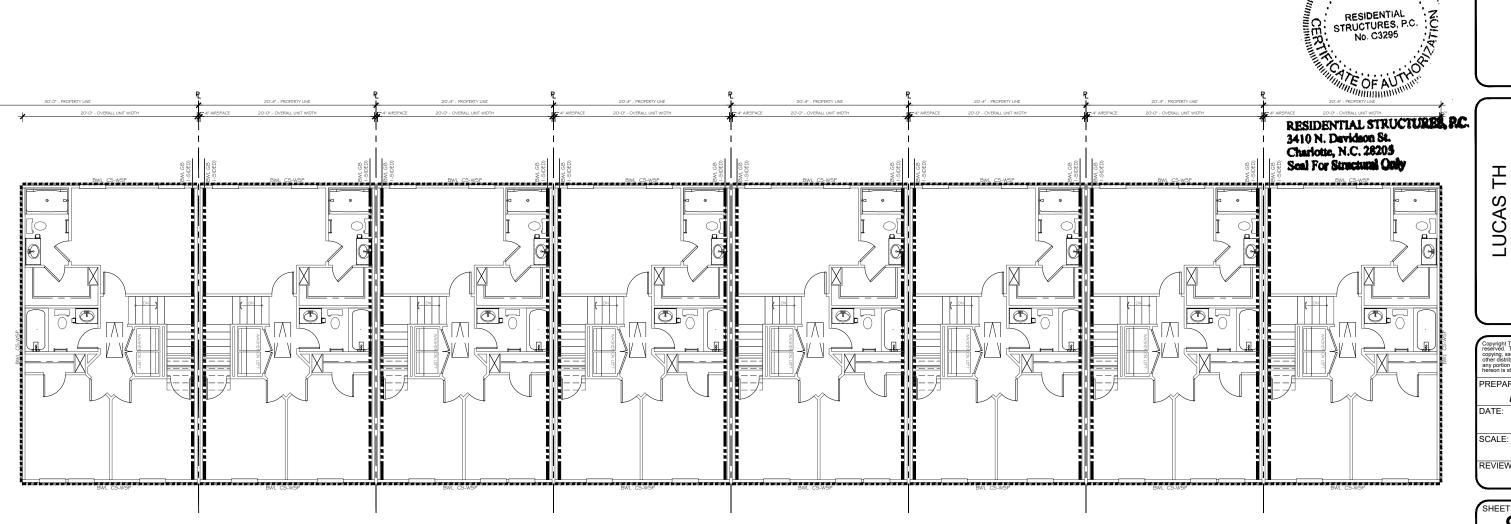
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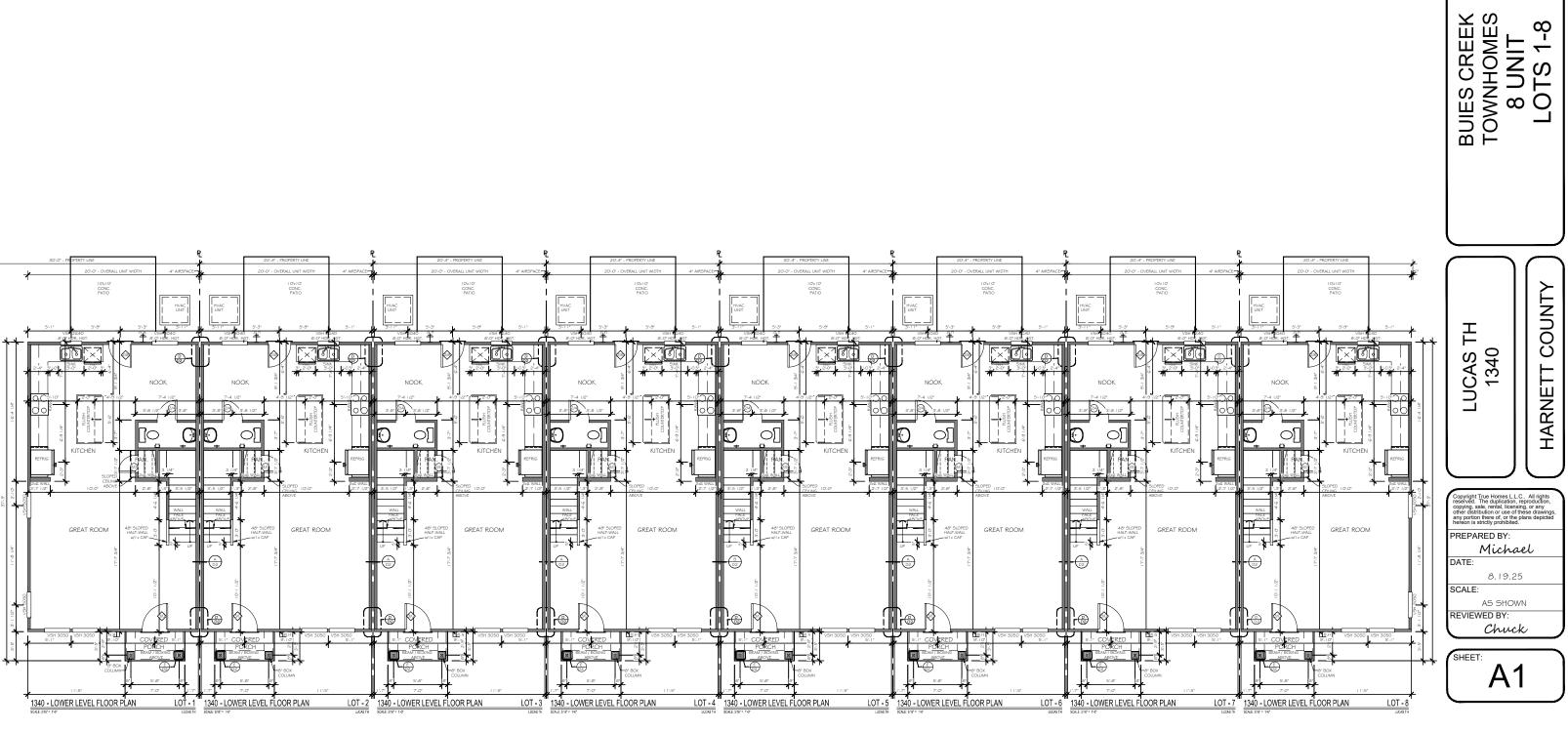
AS SHOWN REVIEWED BY:

Chuck

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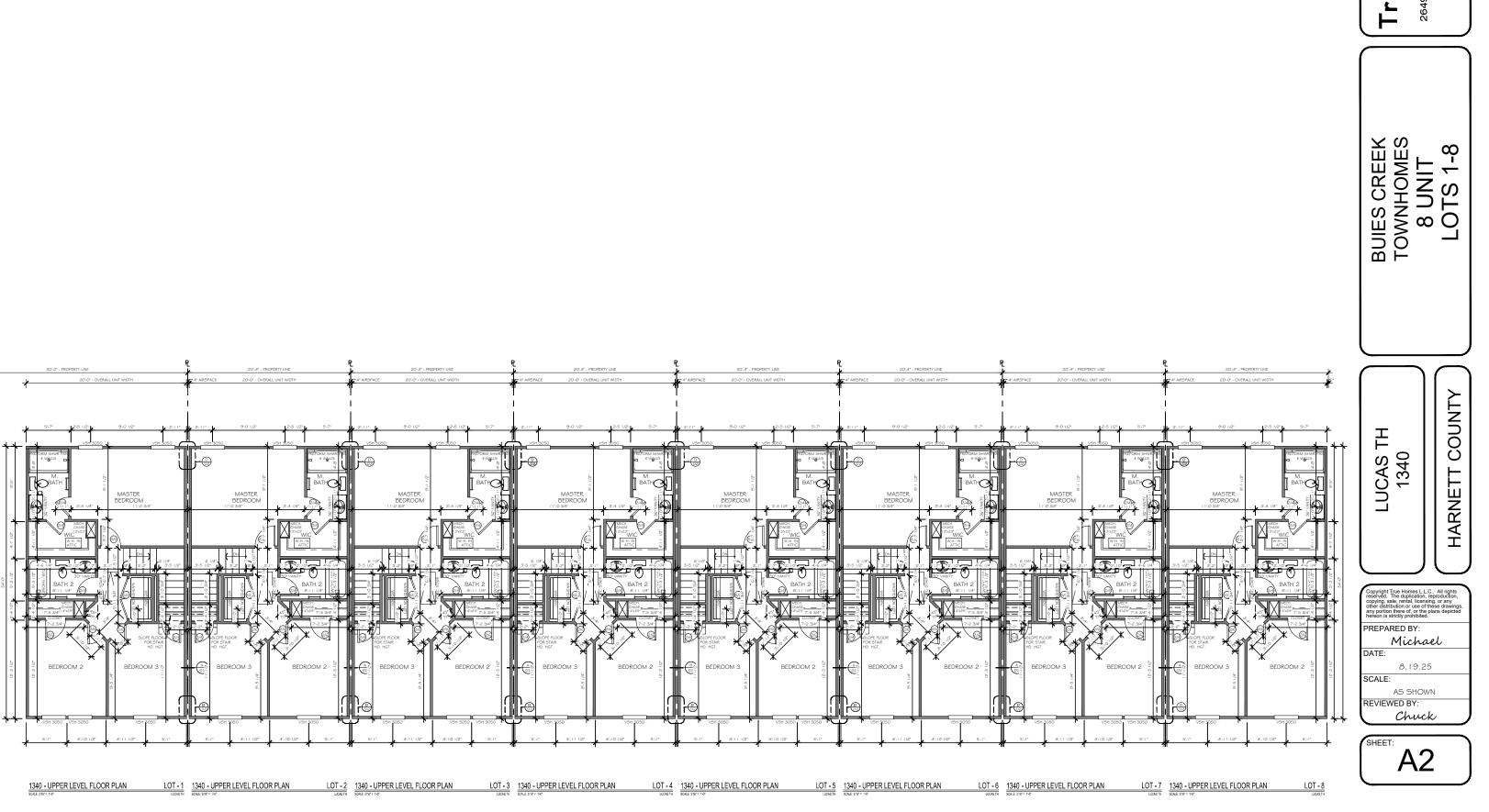
1340 - UPPER LEVEL BRACED WALL PLAN LOT - 1 1340 - UPPER LEVEL BRACED WALL PLAN LOT - 2 1340 - UPPER LEVEL BRACED WALL PLAN LOT - 3 1340 - UPPER LEVEL BRA



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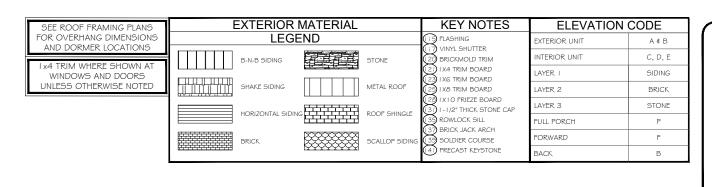
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BUIES CREEK TOWNHOMES 8 UNIT LOTS 1-8

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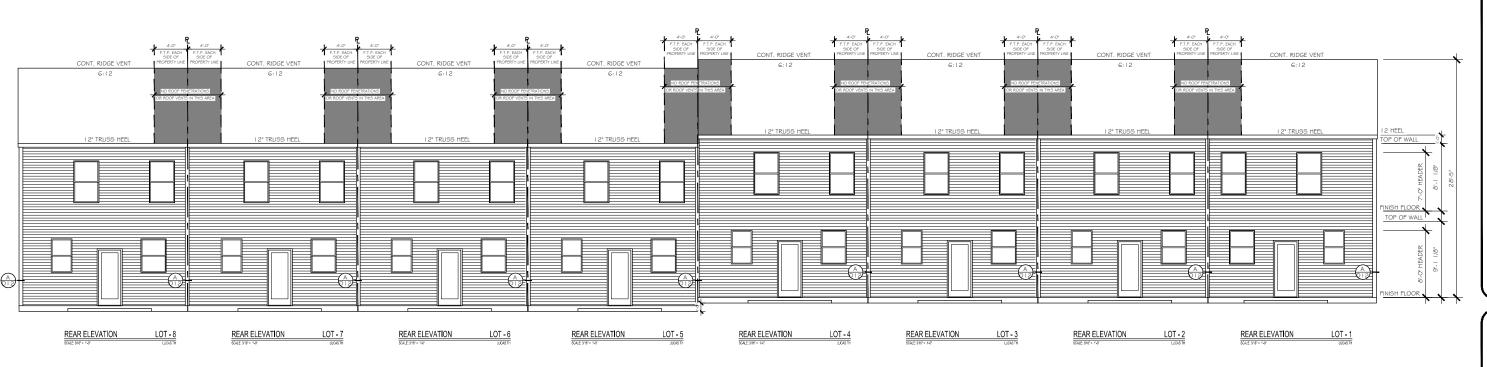
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DATE:

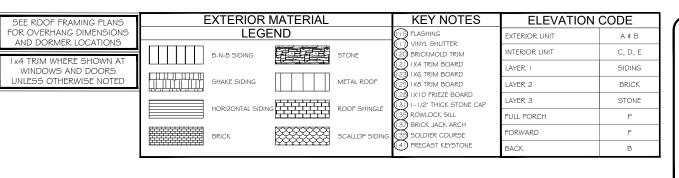
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BUIES CREEK TOWNHOMES 8 UNIT LOTS 1-8

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PREPARED BY:

Michael

DATE:

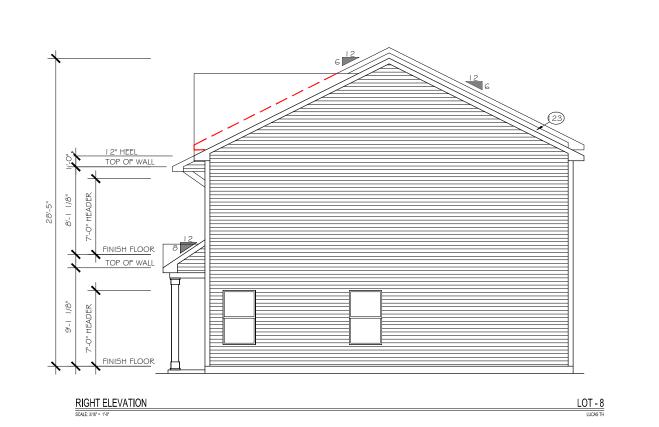
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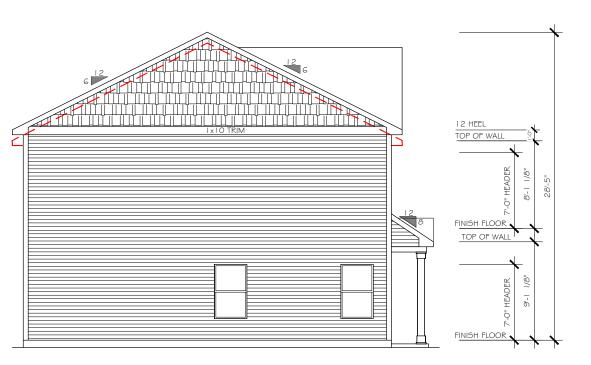
REVIEWED BY:

Chuck

SHEET: **A4.2**

LOT - 1





LEFT ELEVATION SCALE: 3/16" = 1'-0"

ELECTRICAL LEGEND LOW WALL MOUNT FLOOD LIGHT - LOCATION TO BE INDICATES ADDITIONA OUTLET 110V WATER PROOF DUAL USB OUTLET SMOKE / CO -H- HANGING LIGHT O MINI-CAN LIGHT \$ 4-WAY SWITCH USB (3.1 AMP) (METER LOCATION DETECTOR LIGHT FIXTURE **VOLTAGE** VAPOR PROOF SMOKE DETECTOR OUTLET I I OV GFI JUNCTION BOX / PREWIRE UNDER CABINET LIGHT P PUSH BUTTON TV WALL JACK ▲ KEYLESS ENTRY OUTLET \$ TV w/ **LEGEND** (D=DEDICATED CIRCUIT) (D=DEDICATED CIRCUIT WALL SCONCE \oplus DED. HOT TUB CIRCUIT DIMMER SWITCH RECESSED CAN LIGHT EXHAUST FAN PHONE / DATA JACK (STD 72" AFF UNO) OUTLET I I OV OUTLET 110\ CEILING FAN 240v EV CHARGING OUTLET • 36" WHIP IN (50amp, 240v GFI) OUTLET 220V (D=DEDICATED CIRCUIT) PENDANT LIGHT SWITCHED OUTLET LED DISC LIGHT \boxtimes CEILING LIGHT THERMOSTAT 3-WAY SWITCH (50amp, 240v GFI) (6'-7" AFF STD) • (NO OUTLET) HD LINK ELEC. QTY. - FULL PORCH (PER UNIT) ELEC. QTY. - PARTIAL PORCH (PER UNIT) CHECK SELECTIONS FOR CPI LAYOUT 5' AFF ALL TV, PHONE, CABLE, AUDIO, AND SECURITY SYSTEM OUTLETS WILL BE Name Visibility1 Name Visibility1 Ceiling Fan 1. Ceiling Fan 1. w/ Flush Mount Std. w/ Flush Mount Std. LOCATED PER CPI LAYOUT, REGARDLESS CHASE PIPE OF WHETHER TV AND PHONE ARE SHOWN. Detectors Smoke Detector Detectors Smoke Detector HDMI CABLE Detectors 2 Detectors Smoke/Carbon Monoxide Detector Smoke/Carbon Monoxide Detector 2 CATSE DATA TV Jack Jacks Phone Jack Jacks TV/DATA JACK Jacks Jacks Phone Jack I I Ov OUTLET (RECESSED AFF, TV Jack Thermostat Jacks Jacks I I OV OUTLET Lights Exhaust Fan 3 Lights Pendant Light (STANDARD) Lights Exhaust Fan/Light Lights Exhaust Fan/Light CHASE PIPE Ceiling Light Ceiling Light Lights Lights Lights Carriage Light Lights Hanging Light 13 LED Ceiling Light LED Ceiling Light 12 Lights Lights CHASE PIPE WALL Lights Pendant Light Lights Exhaust Fan PLATES Hanging Light 4 Lights Carriage Light (OUTLET SEPARATE GFI GFI 8 8 Receptacle Receptacle (s) SPEAKER 24 Receptacle 1107 24 Receptacle 110V Receptacle Receptacle PRE-WIRE FOR SPEAKER DIMMER 3-WAY DIMMER 3-WAY Receptacle 2 Receptacle 2 4-Way Switch 4-Way Switch WALL PLATE CONTROL 3-Way Switch 3-Way Switch 19 Single Pole Switch Single Pole Switch 19 switch CHECK SELECTIONS FOR switch COMPLETE LOW VOLTAGE LOW VOLTAGE TRADE RESPONSIBLE FOR LOCATING AND NSTALLING ALL SELECTED PRODUCTS.

1340 - LOWER LEVEL ELECTRICAL PLAN LOT - 1 1340 - LOWER LEVEL ELECTRICAL PLAN LOT - 2 1340 - LOWER LEVEL ELECTRICAL PLAN LOT - 5 1340 - LOWER LEVEL ELECTRICAL PLAN LOT - 5 1340 - LOWER LEVEL ELECTRICAL PLAN LOT - 5 1340 - LOWER LEVEL ELECTRICAL PLAN LOT - 5 1340 - LOWER LEVEL ELECTRICAL PLAN LOT - 6 1340 - LOWER LEVEL ELECTRICAL PLAN LOT - 7 1340 - LOWER LEVEL ELECTRICAL PLAN LOT - 7 1340 - LOWER LEVEL ELECTRICAL PLAN LOT - 7 1340 - LOWER LEVEL ELECTRICAL PLAN LOT - 7 1340 - LOWER LEVEL ELECTRICAL PLAN LOT - 7 1340 - LOWER LEVEL ELECTRICAL PLAN LOT - 7 1340 - LOWER LEVEL ELECTRICAL PLAN LOT - 7 1340 - LOWER LEVEL ELECTRICAL PLAN LOT - 7 1340 - LOWER LEVEL ELECTRICAL PLAN LOT - 7 1340 - LOWER LEVEL ELECTRICAL PLAN LOT - 7 1340 - LOWER LEVEL ELECTRICAL PLAN LOT - 7 1340 - LOWER LEVEL ELECTRICAL PLAN LOT - 7 1340 - LOWER LEVEL ELECTR

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TrueHomes

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2649 Brekonridge Centre Dr.
Suite 104
Monroe, N.C. 28110
704-271-1191

BUIES CREEK TOWNHOMES 8 UNIT LOTS 1-8

LUCAS TH 1340 HARNETT COUNTY

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PREPARED BY:

Michael

Micha DATE: 8.19.2

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SCALE:
AS SHOWN
REVIEWED BY:

SHEET:

E1

Chuck

ELECTRICAL LEGEND LOW SMOKE / CO WALL MOUNT FLOOD LIGHT - LOCATION TO BE OUTLET 110V WATER PROOF DUAL USB OUTLET USB (3.1 AMP) -H- HANGING LIGHT O MINI-CAN LIGHT \$ 4-WAY SWITCH (METER LOCATION LIGHT FIXTURE **VOLTAGE** SMOKE DETECTOR VAPOR PROOF CAN LIGHT OUTLET I I OV GFI J JUNCTION BOX / PREWIRE UNDER CABINET LIGHT PUSH BUTTON OUTLET \$ TV w/ COVER TV WALL JACK ▲ KEYLESS ENTRY **LEGEND** (D=DEDICATED CIRCUIT RECESSED OUTLET 110V FLOOR OUTLET 110V DED. HOT TUB CIRCUIT (50amp, 240v GFI) RECESSED CAN LIGHT DIMMER SWITCH EXHAUST FAN PHONE / DATA JACK HTC (STD 72" AFF UNO) CEILING FAN PRE-WIRE OR FIXTURE AS NOTE 240v 50 AMP EV CHARGING OUTLET (50 AMP, 240v GFI) PENDANT LIGHT (6'-7" AFF STD) • 36" WHIP IN OUTLET 220V (D=DEDICATED CIRCUIT) SWITCHED OUTLET EXHAUST FAN / LIGHT LED DISC LIGHT THERMOSTAT -CEILING LIGHT 3-WAY SWITCH WALL (NO OUTLET) HD LINK 5' AFF HD-L CHASE PIPE HDMI CABLE 2 CATSE DATA TV/DATA JACK I IOV OUTLET (RECESSED AFF) I I OV OUTLET (STANDARD) CHASE PIPE

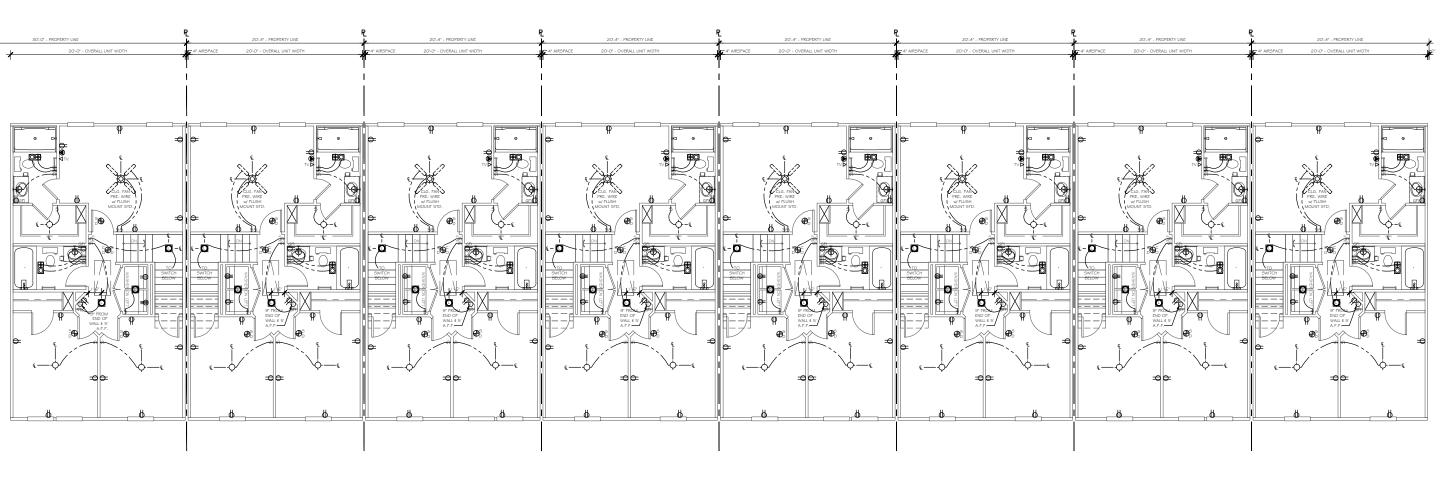
CHASE PIPE WALL PLATES

SPEAKER PRE-WIRE FOR SPEAKER WALL PLATE CONTROL CHECK SELECTIONS FOR COMPLETE LOW VOLTAGE LAYOUT.

LOW VOLTAGE TRADE RESPONSIBLE FOR LOCATING AND INSTALLING ALL SELECTED PRODUCTS.

(5)

(OUTLET SEPARATE)



2649 Brekonridge Centre Dr. Suite 104 Monroe, N.C. 28110 704-271-1191 W Φ E 0 True

BUIES CREEK TOWNHOMES 8 UNIT OTS 1-

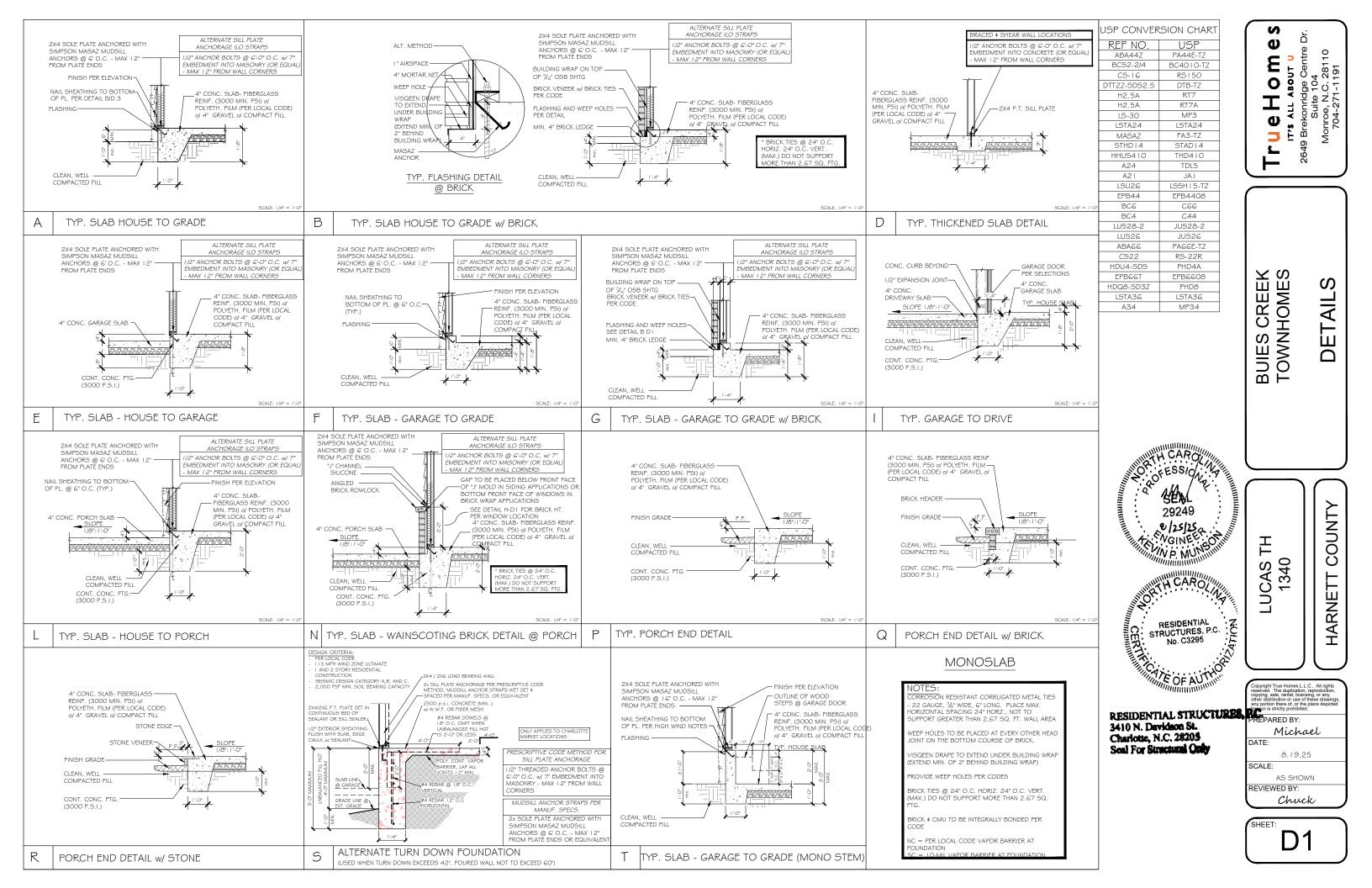
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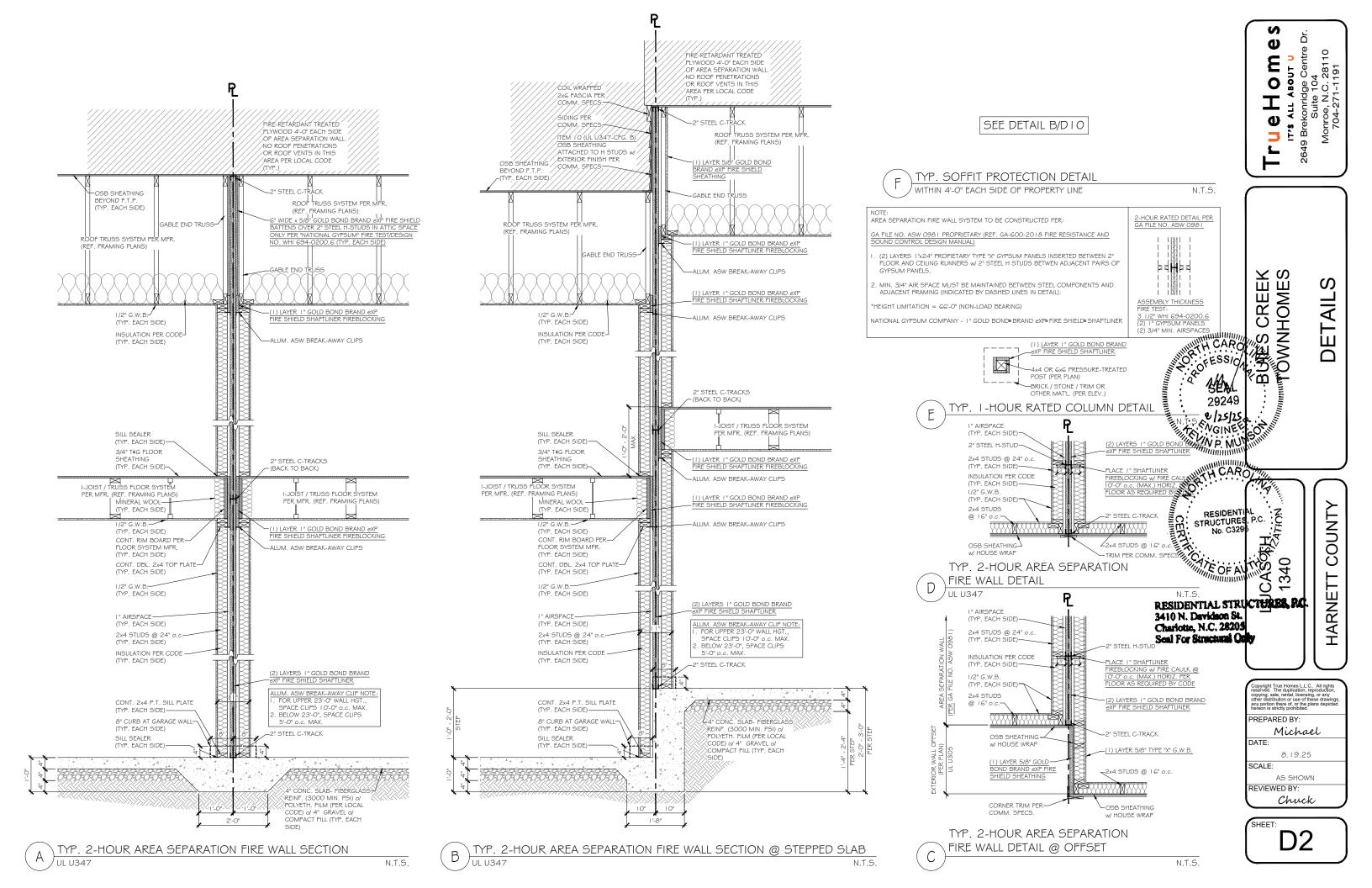
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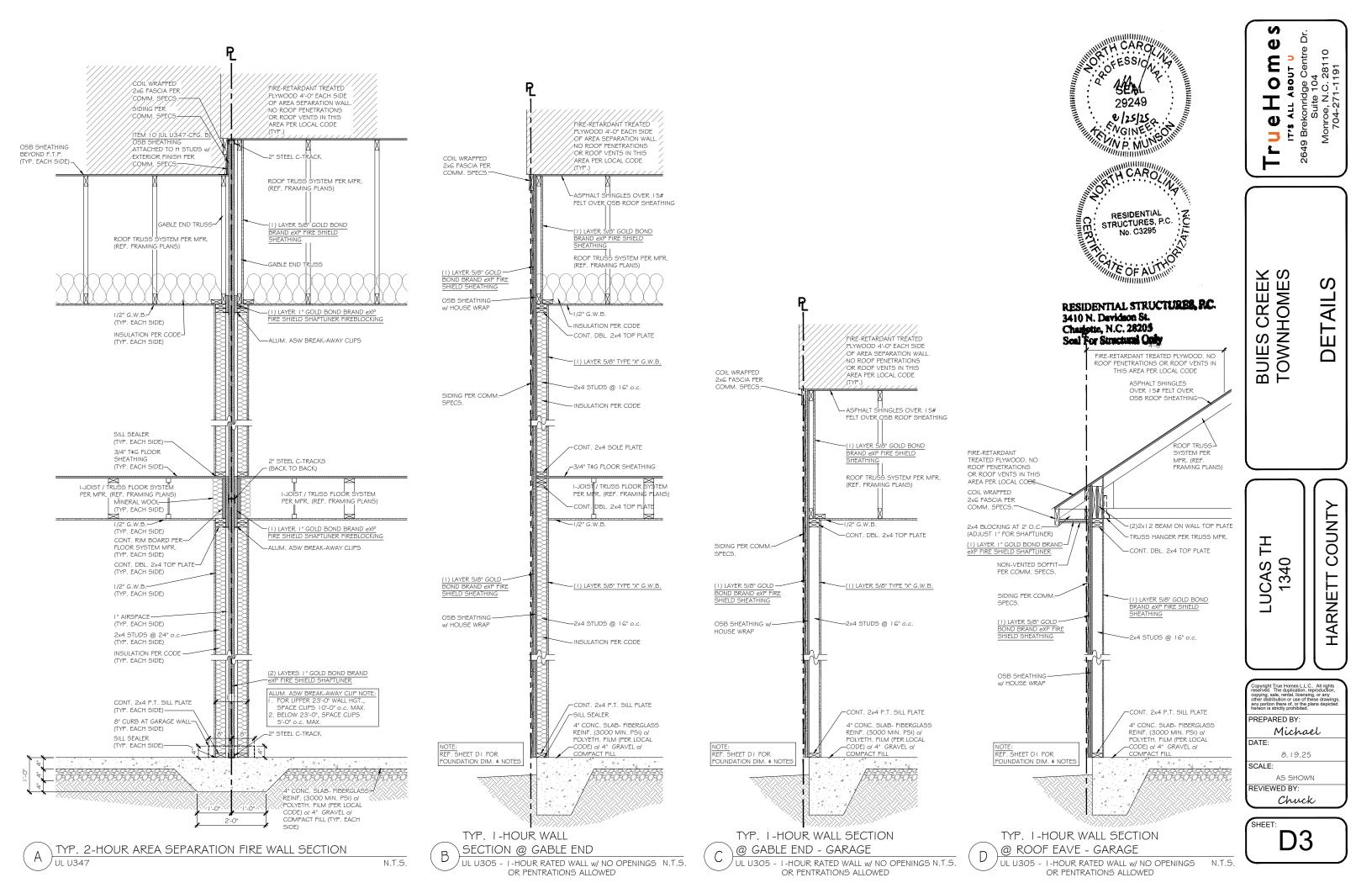
Michael

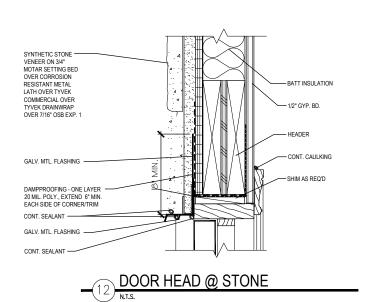
SCALE: AS SHOWN REVIEWED BY:

Chuck









SEAL ALL AROUND

WOOD STOOL AND

APRON (OPT.) GYP. BD. RETURN, TYP.

COMMERCIAL

1" AIR SPACE

7/16" O.S.B.,

CORNER/TRIM

CONT. SEALANT

DAMPPROOFING - ONE LAYER 20 MIL. POLY., EXTEND 6" MIN. EACH SIDE OF CORNER/TRIM

CONT. SEALANT — (BETWEEN BRICK & WINDOW FRAME)

ROWLOCK BRICK COURSE SILL

BLOCKING AS REQ'D

TYVEK COMMERCIAL WRAP

7/16" O.S.B., EXP.

WEEP HOLE @ 24" O.C. HORIZ.

FLASHING

PEEL & STICK — WATERPROOFING; EXTEND 6" MIN. EACH SIDE OF

EXP. 1

DAMPPROOFING - ONE LAYER 20 MIL. POLY. EXTEND 6" MIN. EACH SIDE OF CORNER/TRIM

WINDOW AS SCHEDULED

DOUBLE 2x4 STUDS

2X SYNTH. SILL

BATT, INSULATION

WEEP HOLE (TYP.)

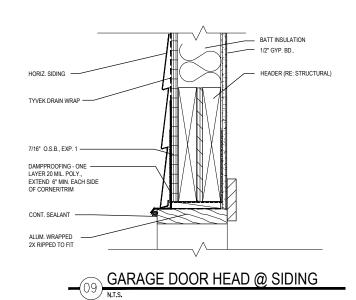
GALV. METAL FLASHING EXTEND OVER SILL PLATE

SYN. STONE VENEER ON 3

SYN. STONE VENEER ON 3" -MORTAR SETTING BED 0VER
CORROSION REST. MTL. LATH
OVER TYYEK COMMERCIAL
WRAP OVER TYVEK
DRAINWRAP OVER 1/2" O.S.B.,
EXP. 1.

SFALANT

SEALANT ALL AROUND



WINDOW JAMB @ BRICK

1/2"GYP BD

- BATT INSULATION

RE: STRUCT.

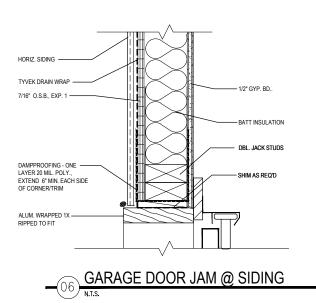
CONT. CAULK

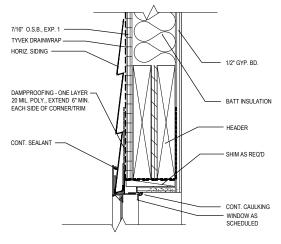
WOOD STOOL AND

APRON (OPT.) GYP. BD. RETURN, TYP.

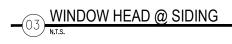
BATT INSULATION

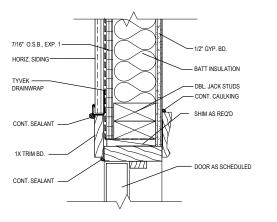
DBL. JACK STUDS,

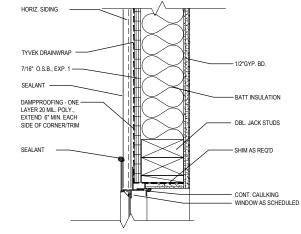




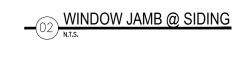


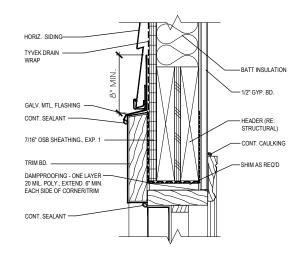


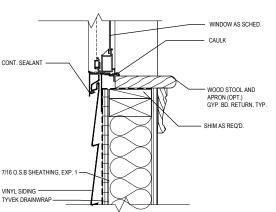


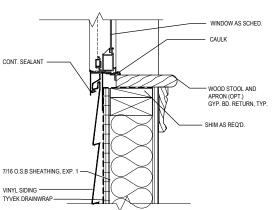


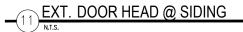
EXTERIOR DOOR JAM @ SIDING



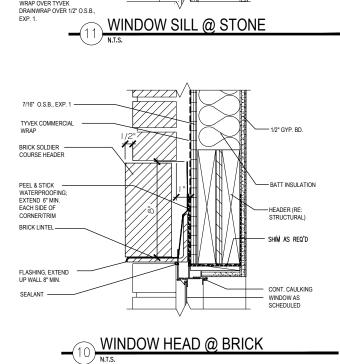








WINDOW SILL @ SIDING



WINDOW SILL @ BRICK

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BUIES CREEK TOWNHOMES

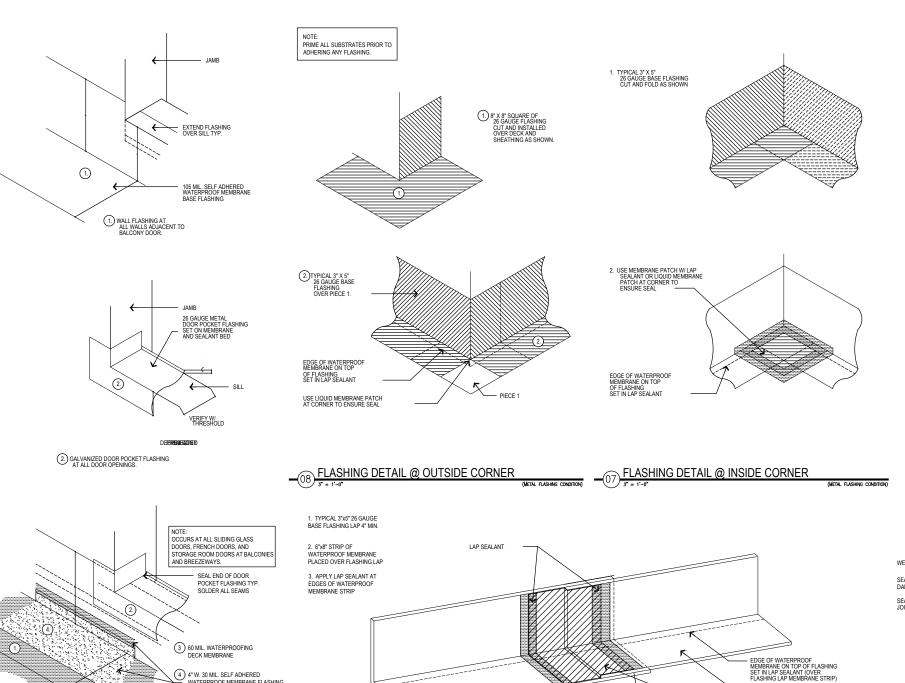
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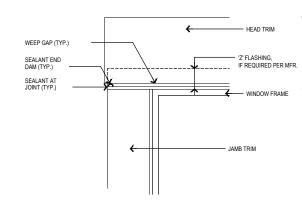
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DETAILS

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SCALE: AS SHOWN REVIEWED BY: Chuck





TYP. WINDOW ELEVATION DETAIL

APPLY SHEATHING TO WALL FRAMING AS SHOWN ON STRUCTURAL DRAWINGS.

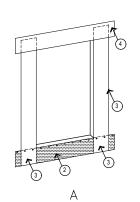
2. ATTACH 9" WIDE SILL SELF-ADHERING RUBBERIZED FLASHING WITH THE TOP EDGE EVEN WITH THE TOP EDGE OF THE SILL. FLASHING TO EXTEND 12" BEYOND EACH JAMB MINIMUM, ATTACH WITH GALVANIZED ROOFING NAILS TO THE TOP EDGE ONLY, LEAVING BOTTOM LOOSE. DO NOT REMOVE BACKING.

FLASHING @ DOOR OPENING

3. APPLY 9" SELF-ADHERING RUBBERIZED ASPHALT FLASHING TAPE TO EACH JAMB. START AT THE BOTTOM OF THE SILL FLASHING AND EXTEND 6" ABOVE WINDOW HEAD.

APPLY 9" SELF-ADHERING RUBBERIZED
 ASPHALT FLASHING TAPE OVER FLANGE AT
 HEAD. EXTEND 12" BEYOND EACH JAMB.

4° W. 30 MIL SELF ADHERED WATERPROOF MEMBRANE FLASHING TAPE TO COVER JOINT CONTINUOUS. SEAL TOP OF TAPE WITH RUBBERIZED ASPHALT BASED MASTIC.

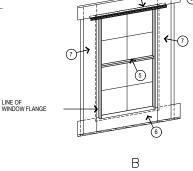


5. SET THE WINDOW AS PER THE WINDOW MANUFACTURER'S RECOMMENDATIONS. 6. APPLY 6" SELF-ADHERING RUBBERIZED ASPHALT FLASHING TAPE OVER FLANGE AT SILL. EXTEND TO END OF SILL FLASHING.

FLASHING LAP

7. APPLY 6" SELF-ADHERING RUBBERIZED ASPHALT FLASHING TAPE OVER FLANGE AT JAMBS. START 6" BELOW SILL AND EXTEND UP, TO 6" ABOVE WINDOW FLANGE AT HEAD.

8. IF REQUIRED BY THE MFR., INSTALL GALVANIZED 'Z' FLASHING AT WINDOW HEAD AND EXTEND TO BE THE LENGTH OF THE HEAD TRIM.



3"x5" BASE FLASHING

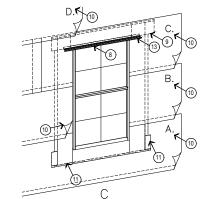
HEAD (AND OVER 'Z' FLASHING IF REQ'D BY MFR). EXTEND MIN. 12" BEYOND EACH JAMB. 10. INSTALL BUILDING PAPER STARTING FROM THE BASE OF THE BUILDING. INSTALL SHINGLE FASHION WITH MINIMUM 4" VERTICAL OVERLAPS AND 6" WITH MINIMOUNT 4 VERTICAL OVERLAPS AND 6
HORIZONTAL OVERLAPS. ATTACH BUILDING WRAP TO
WOOD FRAME WITH NAILS AND CONTRACTOR CAPS
PER MFR. RECOMMENDATIONS. INSTALL BUILDING PAPER UNDER SILL FLAP SHOWN IN STEP TWO BUILDING PAPER TO OVERLAP ALL WINDOW FLANGES AND GALVANIZED 'Z' FLASHING AT ALL WINDOWS. 11. SLIP BOTTOM OF JAMB AND SILL FLASHING OUT OVER THE BUILDING PAPER.

9. APPLY 6" SELF-ADHERING RUBBERIZED ASPHALT FLASHING TAPE OVER FLANGE AT

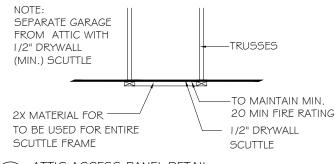
12. TAPE OVER ANY CUTS OR HOLES IN THE BUILDING PAPER.

13. IF 'Z' FLASHING IS REQUIRED PER MFR., PROVIDE SEALANT END DAMS AT THE ENDS OF THE 'Z' FLASHING TYPICAL. 'Z' FLASHING TO SLOPE AWAY FROM BUILDING.

**REFER ALSO TO DOOR AND WINDOW DETAILS.



MUST MEET ENERGY EFFICIENCY REQ PER SEC N I 102. PER N I 102.2.4 HORIZONTAL ACCESS DOORS FROM CONDITIONED SPACE TO UNCONDITIONED SPACES SHALL BE WEATHERSTRIPPED AND INSULATED TO AN R-10 MIN. VALUE, AND VERTICAL DOORS TO SUCH SPACES SHALL BE WEATHERSTRIPPED AND INSULATED TO R-5 MIN. VALUE



ATTIC ACCESS PANEL DETAIL SCALE: N.T.S.

WALL/WINDOW/DOOR WATERPROOFING SPECIFICATIONS:

OWNER SHALL RETAIN THE SERVICES OF A QUALITY ASSURANCE CONSULTING FIRM, SPECIALIZING IN THE AREA OF WATERPOORING FOR THE SOLE PURPOSE OF INSPECTING FLASHINGS BEFORE COVERED WITH FINISHED MATERIALS. DETERMINATION OF PROPER FLASHING TECHNIQUES CAN BE UTILIZED VAIS BLOS. MOCK UP PANGINGS: INDICATING EACH FLASHING AND EDGE DETAIL AND ATTACHMENT REQUIREMENTS.

JUSE STAINLESS STEEL FASTENERS WHEN FASTENING INTO TREFATED LUMPER.

TREATED LUMBER.

ALUMINUM 'Z' FLASHING & THRU WALL FLASHING SHALL BE:
.025" FOR CONCEALED AND .032" FOR EXPOSED

MINIMUM 40 MIL. POLYETHYLENE, BUTYL RUBBER "PEEL AND STICK WATERPROOFING" MIN. 240 DEGREE SOFTENING POINT

STICK WATERPROOFING MIN. 240 DEGREE SUFTENING POINT

6. 6" AND 9" SELF ADRENIG RUBBERGZED ASPHALT FLASHING

TAPE — (WINDOW WRAP) MIN. 20 MIL THICKNESS MEETING THE
FOLLOWING RECONTS: FEDERAL SPECIFICATION UU-B-7900

TYPE I, GRADE A, STYLE 4. TYVEK PRODUCTS OR EQUAL

7. SEALANT FOR DISSIMILAR MATERIAL JOINTS — SONNEBORN NPI

SEALANT FOR DISSIMILAR MATERIAL JOINTS — SONNEBORN NPI
POLYUSETHANE SEALANT OR EQUAL. (EXCEPT AT WODD.)
 SEALANT FOR WOOD TO WOOD JOINTS AND WOOD TO DISSIMILAR
MATERIAL JOINTS — SILICON AGRYLIC SEALANT.
 SEALANT UNDER DOOR THRESHOLDS — SONNEBORN NPI
POLYUSETHANE SEALANT OR FOUAL.
 ALL SEALANT BEADS AND FILLETS TO BE CONTINUOUS.
 ALL METAL FLASHINGS ARE TO HAVE ALL OVERLAPS SEALED
WITH NON-CURING BUTYL SEALANT OR POLYURETHANE
SFAI ANT

SEALANI.

12. PAINT INTERIOR GYPSUM BOARD WINDOW JAMBS WITH ENAMEL PAINT.

PAINT.

13. SET NAILS AT ALL DOOR TRIM.

14. EXTERIOR WOOD TRIM IS TO BE PRE—PRIMED KDAT MATERIAL.

NOTE:
TYVEK COMMERCIAL BUILDING SPECIALISTS CAN BE CONTACTED FOR
FREE FIELD/INSTALLATION SERVICES @ TIME OF CONSTRUCTION.
CONTACT: ANDREW ANDRETTA, CSI 704.226.2864

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PREPARED BY:

Michael

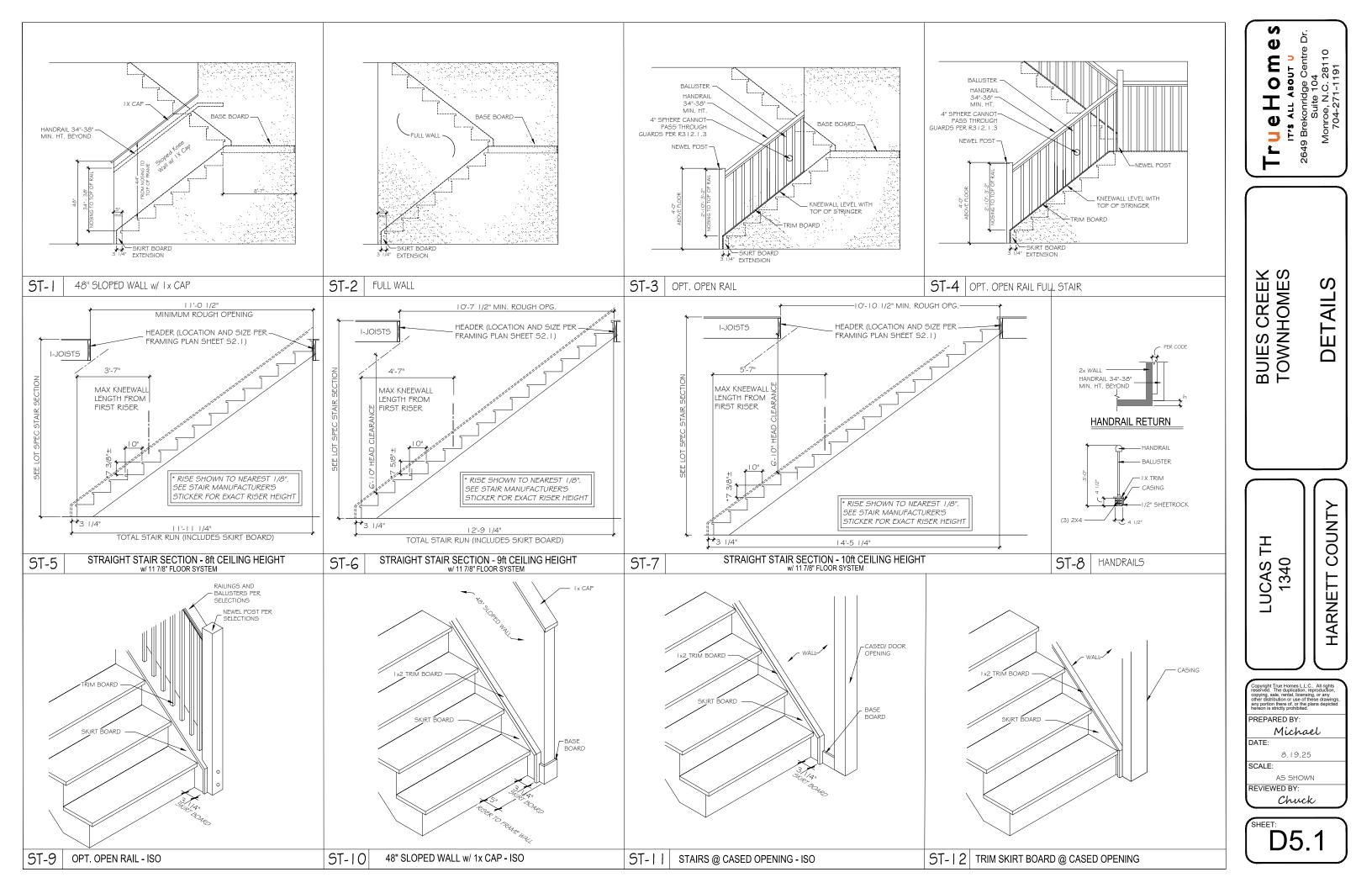
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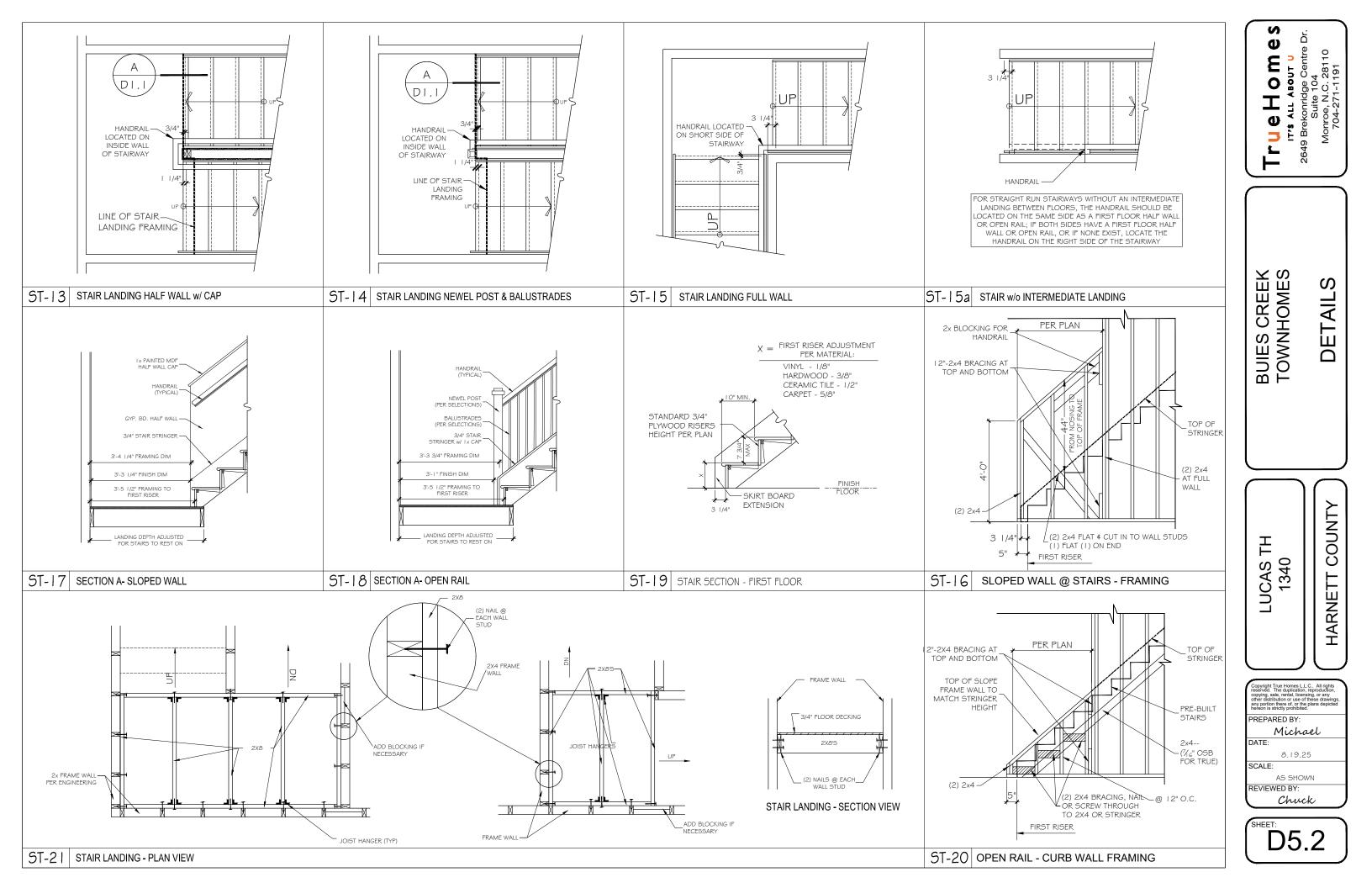
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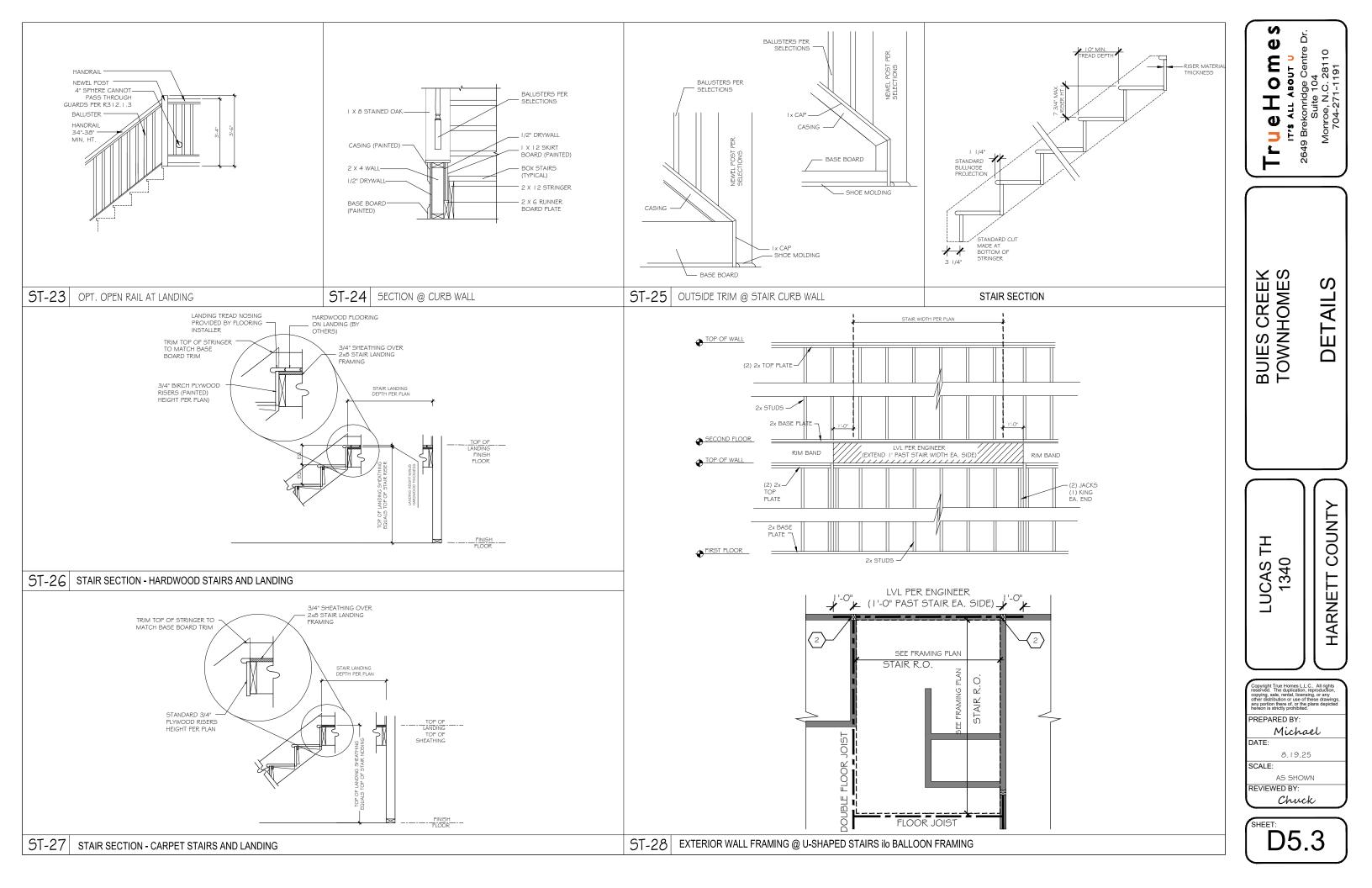
AS SHOWN REVIEWED BY: Chuck

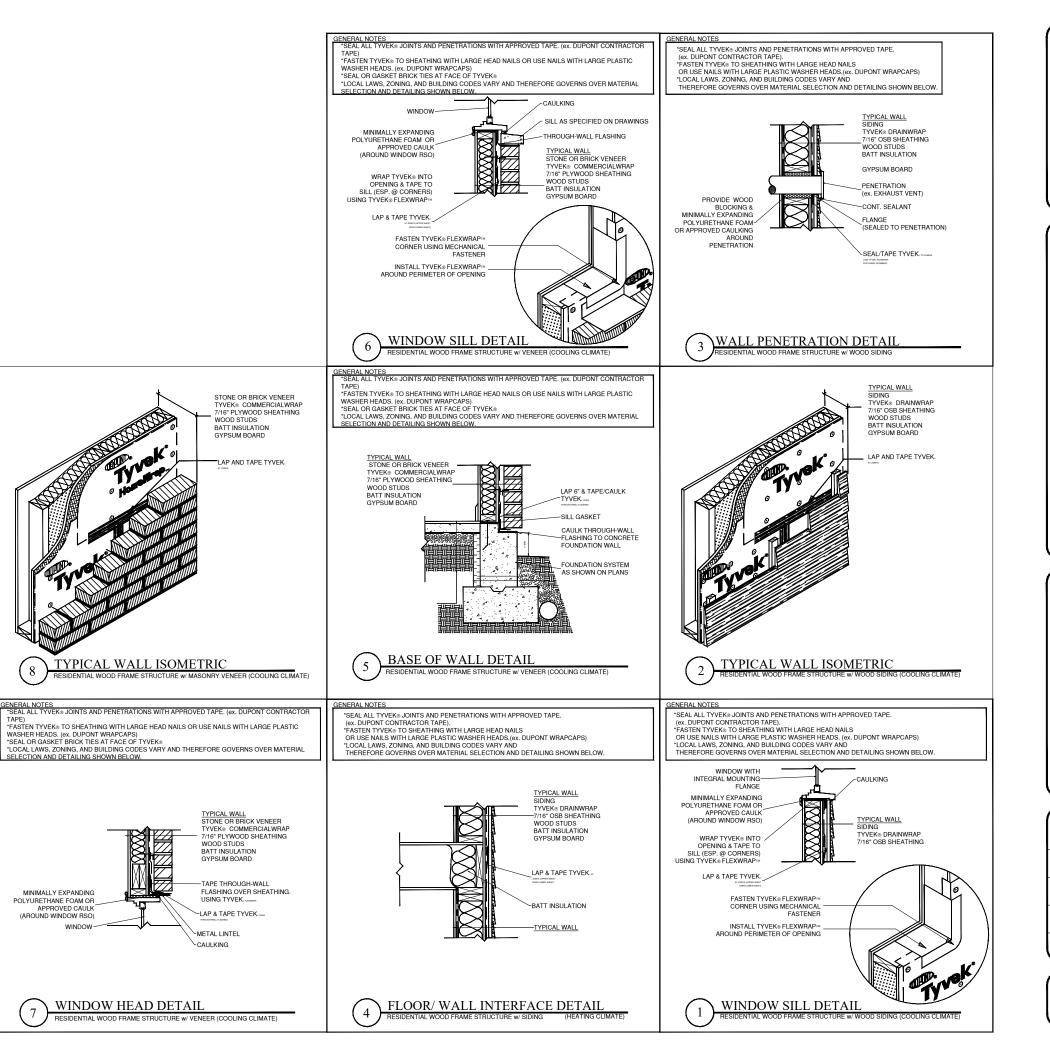
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(02) WINDOW FLASHING WITH BUILDING PAPER ON WALL









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BUIES CREEK TOWNHOMES

ETAIL

COUNTY LUCAS ⁻ 1340 HARNET

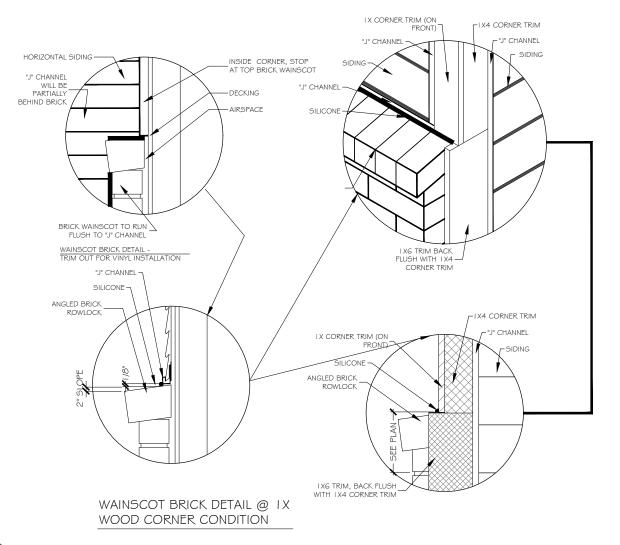
PREPARED BY:

Michael DATE:

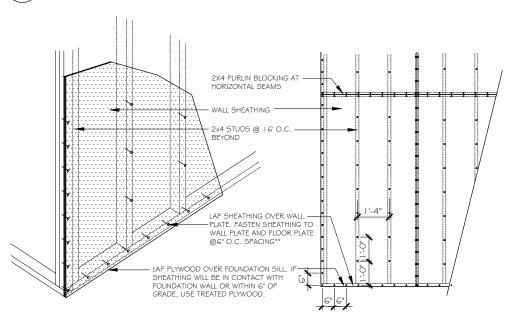
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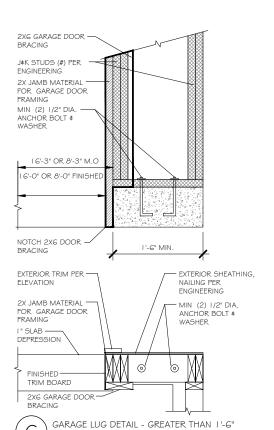
REVIEWED BY: Chuck

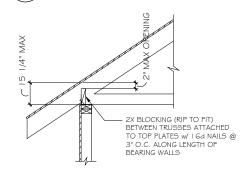
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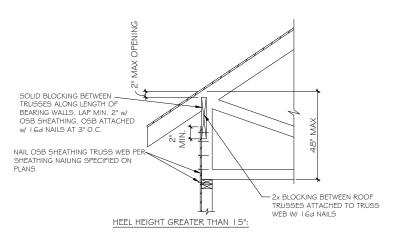
FLASHING @ WAINSCOTING BRICK DETAIL







HEEL HEIGHT GREATER THAN 9 1/4" AND LESS THAN 15 1/4" :

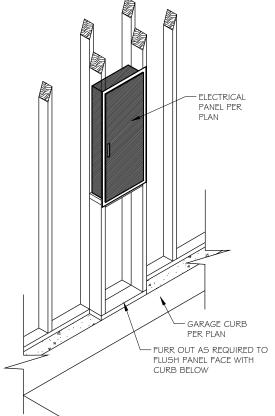


LECTRICAL PANEL REQUIREMENTS

2X6 GARAGE DOOR -BRACING J¢K STUDS (#) PER ENGINEERING 2X JAMB MATERIA FOR GARAGE DOOR FRAMING MIN (I) I/2" DIA. ANCHOR BOLT \$ WASHER 16'-0" OR 8'-0" M.C 2XG DOOR BRACING -FLUSH WITH CURB I'-O" MIN. EXTERIOR TRIM PER -ELEVATION - EXTERIOR SHEATHING, NAILING PER ENGINEERING 2X JAMB MATERIAL FOR GARAGE DOOR FRAMING ANCHOR BOLT & DEPRESSION TRIM BOARD 2XG GARAGE DOOR BRACING GARAGE LUG DETAIL - LESS THAN 1'-6"



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HARNETT

LUCAS 7

COUNTY

PREPARED BY:

Michael DATE:

SCALE: AS SHOWN REVIEWED BY:

Chuck

TYP. NAILING PATTERN

- ALL CONTINUOUS WALL FOOTINGS ARE 8" X | 2" FOR ONE-STORY AND 8"X16" FOR TWO-STORY HOUSES UNLESS OTHERWISE NOTED. REINFORCING IS TO BE AS NOTED ON PLANS. FOOTINGS ON ORIGINAL SOIL DO NOT NEED REBAR. REBAR IS REQUIRED ON ANY COMPACTED FILL REGARDLESS OF COMPACTION
- LL INTERIOR PIERS ARE 8" X 16" CMU UP TO A MAXIMUM HEIGHT OF 32". ALL PIERS OVER 32" HIGH MUST BE FILLED WITH TYPE S ALL INLEXION FIRES ARE 6 X TG CMU OF 10 A MAXIMOM REIGHT OF 32 . ALL FIRES OVER 32 RIGH MUST BE FILLED WITH THE 5 MORTAR, MAXIMUM HEIGHT FOR 8" X 16" FILLED FIRES 16-8", PIERS LARGER THAN 8" X 16" ARE NOTED ON PLANS AND MUST BE FILLE WITH TYPE 5 MORTAR, FOR ONE-STORY STRUCTURES, PIER CAPS ARE TO BE 4" SOLID MASONRY. FOR TWO-STORY STRUCTURES, PIER CAPS ARE TO BE 8" OF SOLID MASONRY.
- 3) FOOTINGS FOR 8" X 16" PIERS ARE 24" X 36" X 10" UNLESS NOTED OTHERWISE. REINFORCING IS TO BE AS NOTED ON PLANS. 4) Interior Thickened Slab Footings which occur in Basements and "Slab on Grade" Floors are 10" deep by 16" wide with 2.#4
 Reinforcing bars running continuously unless noted otherwise. Thickened Footings are required under all bearing walls,
- 5) ALL REBAR SPLICES SHALL BE A MINIMUM OF 2'-0" LINLESS OTHERWISE NOTED
- 1) ALL REDAY STILLES STALL BE A MINIMUM OF 2-0 UNLESS OTHERWISE NOTED.

 5) SHALLOW FOUNDATIONS ARE DESIGNED FOR AN ASSUMED SOIL BEARING CAPACITY OF 2,000 PSF. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE ENGINEER OF RECORD IF ANY SOILS ARE FOUND TO BE UNSUITABLE FOR THIS BEARING CAPACITY. THEE CONTRACTOR IS RESPONSIBLE FOR OBTAINING SOIL TESTING TO ENSURE THAT THE BEARING CAPACITY OF THE SOIL MEETS OR EXCEEDS THIS VALUE. ALL FILL IS TO BE COMPACTED TO 95% DENSITY AS MEASURED BY THE STANDARD PROCTOR TEST (ASTM D-698).
- 7) ALL SOILS AND FILL UNDER FLOORS AND/OR WITHIN OR UNDER BUILDINGS SHALL HAVE PRECONSTRUCTION SOIL TREATMENT FOR PROTECTION AGAINST TERMITES. CERTIFICATION OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY A LICENSED PEST
- CONTROL COMPANY.

 8) ALL FOOTING EXCAVATIONS SHALL BE NEAT, STRAIGHT, AND LEVEL IN THE PROPER ELEVATIONS TO RECEIVE THE CONCRETE. EXCESSIVE VARIATIONS IN THE DIMENSIONS OF FOOTINGS OR SLABS WILL NOT BE PERMITTED. REINFORCING STEEL AND MESH SHALL BE ACCURATEL PLACED AND SUPPORTED TO MAINTAIN THEIR POSITION DURING THE CONCRETE POURING. EDGE FORMS SHALL BE USED FOR CONCRETE THAT WILL BE EXPOSED
- I HAI WILL BE EXPUSEU.

 J ALL SLAB PENETRATIONS ARE TO BE THE RESPONSIBILITY OF THE CONTRACTOR. PENETRATIONS INTERFERING WITH REINFORCING SHALL BE.
- ALL SLAB FEREITATIONS ARE 10 BE FIRE KEYPONSIBILITY OF THE CONTRACTOR. FENEITATIONS INTERFERING WITH REINFORCING SHALL BE APPROVED BY THE ENGINEER OF RECORD PRIOR TO THE PLACEMENT OF CONCRETE. PLEUVATIONS DIFFERENCES BETWEEN THE BOTTOM OF ADJACENT FOOTINGS SHALL BE LESS THAN THEIR HORIZONTAL DISTANCE LESS ONE FOOT. DIFFERENTIAL HEICHTS BETWEEN FOOTINGS CAN BECOME EXCESSIVE USUALLY WHERE A PIER FOOTING IN A CRAWLSPACE OR GARAGE FOOTING IS NEXT TO A BASSMENT WALL FOOTING.

- SPECIAL FOUNDATION CONSIDERATIONS:
 1) CAISSON FOUNDATIONS SHALL BE A MINIMUM OF 12" DIAMETER DRILLED UNREINFORCED CONCRETE CAISSONS. CAISSONS SHALL EXTEND TO A MINIMUM DEPTH PROVIDING 2' PENETRATIONS INTO GOOD ORIGINAL GROUND. DEPTH OF DRILLING IS LIMITED TO 15'. THEREFORE, NO POOR MATERIAL MORE THAN 1.3' DEEP IS SUITABLE FOR A CAISSON FOUNDATION. A CAISSON CANNOT BE USED IF WATER RISES
- MMEDIATELY INTO A DRILLED HOLE. FILES WILL HAVE TO BE USED IN SUCH CASES.

 IREATED WOOD FILES WITH A MINIMUM DIAMETER OR 6° AND A MINIMUM DESIGN LOAD OF SIX TONS ARE USED FOR ALL POUNDATIONS WITH UNSUITABLE SOIL DEFERT HAM 13' OR WITH WATER IN DRILLED CAISSON HOLES. DO FIX TONS ARE USED FOR ALL POUNDATIONS WITH UNSUITABLE SOIL DEFERT HAM 13' OR WITH WATER IN DRILLED CAISSON HOLES. DRIVE PER NORTH CAROLINA OR SOUTH CAROLINA.
- 3) SIZES AND REINFORCING FOR FOOTING CAPS OVER CAISSONS OR PILES SHALL BE AS SHOWN ON PLANS.

- 3) SIZES AND REINFORCING FOR FOOTING CAP'S OVER CAISSONS OR PILES SHALL BE AS SHOWN ON PLANS.
 4) CHIMNEY FOOTINGS ARE TO BE I 2" LARGER THAN THE CHIMNEY FOOTFRINT BY I 2"THICK.
 5) FOUNDATION WALLS BACKFILLED WITH DIRT WHICH SUPPORT STRUCTURAL FRAMING SHALL BE CONSTRUCTED AS FOLLOWS:
 6) FOUNDATION WALLS BACKFILLED WITH DIRT WHICH SUPPORT STRUCTURAL FRAMING SHALL BE CONSTRUCTED AS FOLLOWS:
 6) FOR EARTH FILL WITH HEIGHT OF 8" I SE 8" AS NOTED ON THE PLAN.
 6) FOR EARTH FILL WITH SUPPORT AND AWAIMUM HEIGHT OF 9". USE 8" X 24" FOOTING WITH #4 AT 16" DOWLES HOOKED IN FOOTING AND PROJECTING
 18" ABOVE FOOTINGS. USE 12" CMU WALLS WITH #4 AT 16" VERTICAL BARS LOCATED 4" FROM NON-DIRT FILL FACE, LAP ALL SPLICES 12"

 AND MEET DIREO WAY MEDITALTED ABHENCOMEN SERVE 8" OF NEXT METAL AS PLANS NOTES AND MEET WAT DEST CONTROLLED.
- 18" ABOVE POOLINGS. USE 12" CMU WALLS WITH #4 AT 16" VERTICAL BARS LOCATED #7 FROM NON-JUNK THIL FACE, IAP ALL SPUCES 12" AND USE DUR-O-WALL HORIZONTAL REPORTED FOR THE ROUNT HORIZONTALLY AT ALL CORNERS; I.E., #3 CORNER BARS AT 16" O.C. VERTICALLY. FILL ALL OPEN CELLS OF CMU WITH EITHER TYPE 5 OR M MORTAR OR FILL WITH 2,500 PSI CONCRETE. INSTALL WATERPROP BITUTHENE MEMBRANE OR EQUAL. IN 18 OF THE CORD. IN LIVE AND ASSEMBLY WAS ASSEMBLY WAS ASSEMBLY WAS ASSEMBLY AS ASSEMBLY WAS ASSE
- 7) FOR RETAINING WALLS WITHOUT FRAMING SEE SPECIAL DESIGNS ON DRAWINGS.

- MING CONSTRUCTION OTHER THAN ROOF:

 SEE TABLE RG02.3(1) OF THE CODE FOR A FASTENER SCHEDULE FOR STRUCTURAL MEMBERS.

 WOOD BEAMS SHALL BE SUPPORTED BY METAL HANGERS OF ADEQUATE CAPACITY WHERE FRAMING INTO BEAMS OR LEDGERS. THE

 ALLOWABLE LOAD CAPACITY OF THE HANGER SHALL BE EQUAL TO OR GREATER THAN THE LOAD SPECIFIED ON THE PLAN. WHERE NO LOAD IS SPECIFIED. THE "LIGHTEST" AVAILABLE HANGER FOR THE APPLICATION IS ACCEPTABLE.
- 3) CRAW GIRDERS AND BAND WITH 4" CURTAIN WALL AND PIER CONSTRUCTION SHALL BE 2-2 X TO SOUTHERN YELLOW PINE #2 LINIESS NOTED OTHERWISE. MAXIMUM CLEAR SPANS ARE TO BE 4'-8" (G-0" O/C SPACING OF PIERS). TO AVOID OBJECTIONABLE CRACKING IN FINISHED HARDWOOD FLOORS OVER ANY GIRDERS, USE THE FOLLOWING PROCEDURE:
- A) NAILING

 1) ALL FLOOR JOISTS MUST BE TOENAILED TO THEIR SUPPORT GIRDERS WITH A MINIMUM OF 3-8D NAILS AT EACH END. LARGER NAILS WILL SPLIT AND RENDER THE TOENAL INEFFECTIVE. NO END NAILING THROUGH THE GIRDER OR BAND IS PERMITTED.

 II) IF DROPPED GIRDERS ARE USED, END LAP ALL JOISTS AND SIDE NAIL EACH WITH A MINIMUM OF 3-1 GD NAILS AT EACH END OF
- EACH JOIST. LEDGER STRIPS SHOULD BE SPACED 3" APART AND NAILED WITH 3-16D NAILS AT EACH JOIST END.

 "I) NAIL MULTIPLE MEMBERS BUILT-UF GIRDERS WITH TWO ROWS OF 16D NAILS STAGGERED AT 32" OK, 2" DOWN FROM TI
 2" UP FROM THE BOTTOM WITH 3-16D NAILS AT EACH END OF 16CH FLOST IN THE JOIST THROUGH THE MEMBERS MAKING UP T
- IN LE GIRDER.

 IV) THIS NAILING PATTERN WILL ENSURE A TIGHT FLOOR FROM THE OUTSIDE OF THE HOUSE TO THE OUTSIDE SO THAT WHEN THE FRAMING SHRINKS DURING THE FIRST HEATING SEASON, THE SHRINKAGE WILL BE UNIFORMLY DISTRIBUTED OVER THE ENTIRE FLOOR. IF THE
- GIRDER NAILING PATTERN IS OMITTED. THEN THE SHRINKAGE WILL ACCUMULATE OVER THE GIRDERS AND AN OBJECTIONABLE CRACK WILL DEVELOP IN THE FINISHED HARDWOOD FLOOR OVER THE GIRDER LINE
- AT ALL GIRDERS WHERE THE JOISTS CHANGE DIRECTION, INSTALL BRIDGING AT 6' O/C FOR A MINIMUM OF SIX JOIST SPACINGS BEYOND Y JOIST DIRECTION CHANGE. THIS WILL INSURE SHRINKAGE DISTRIBUTION OVER THE FLOOR AND NOT LET IT ACCUMULATE AT THE GIRDER.

 C) THERE MUST BE WOOD BLOCKING THRU BOLTED TO THE STEEL BEAM WITH JOISTS TOENAILED OR ATTACHED TO THE BEAM WITH METAL

 C) THE STEEL BEAM WITH JOISTS TO SOLD TO THE STEEL BEAM WITH JOISTS TO SOLD TO THE BEAM WITH METAL

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 THE STEEL BEAM WITH JOISTS TO SOLD TO THE STEEL BEAM WITH JOISTS TO SOLD TO THE BEAM WITH JOISTS
- HANGERS LINDER ANY HARDWOOD FLOORS THAT PASS OVER A STEEL BEAM SUPPORTING FLOOR JOISTS. THIS CONDITION OFTEN EXISTS OVER BASEMENT AREAS.
- ALL OTHER LUMBER MAY BE SPRUCE #2 UNLESS NOTED OTHERWISE
- LAM" BEAMS MUST HAVE 3-2X4 STUD JACKS UNDER EACH END SUPPORT UNLESS NOTED OTHERWISE.
- - FOR SPANS UP TO 6': USE 3 1/2" X 3 1/2" X 1/4" STEEL ANGLES
- FOR SPANS FROM 6' TO 10': USE 5" X 3 ½" X 5/16" STEEL ANGLES.
 FOR SPANS FROM 9' TO 18': USE A PAIR OF 9-GAUGE WIRES IN EACH OF THE FIRST 3 COURSES OF BRICK ON A 5" X 3 ½" X 5/16" STEEL ANGLE LAP ALL 9-GALIGE WIRE SPLICES A MINIMUM OF L2" AND EXTEND WIRES A MINIMUM OF L2" INTO JAMPS. TEMPORARILY SUPPORT THE STEEL ANGLES BEFORE LAYING MASONRY. THE SHORING MAY BE REMOVED FIVE DAYS FOLLOWING THE INSTALLATION OF
- WHEN STRUCTURAL STEEL BEAMS WITH BOTTOM PLATES ARE USED TO SUPPORT MASONRY, THE BOTTOM PLATE MUST EXTEND THE FULL LENGTH OF THE STEEL BEAM. THIS PROVIDES SUPPORT TO THE ENDS OF THE PLATE BY BEARING ON THE ADJACENT MASONRY JAMBS. THE BEAM SHOULD BE TEMPORARILY SHORED PRIOR TO LAYING THE MASONRY. THE SHORING MAY BE REMOVED FIVE DAYS AFTER LAYING
- ALL BRICK VENEER OVER LOWER ROOFS (BRICK CLIMBS) MUST HAVE A STRUCTURAL ANGLE LAG SCREWED TO AN ADJACENT STUD WALL IN
- ACCORDANCE WITH DETAIL, WITH STEEL BRICK STOPS TO PREVENT SLIDING OF BRICK.
 ALL RAFTER BRACES MUST HAVE TWO STUDS FROM PLATE THROUGH ALL FLOORS TO THE FOUNDATION OR SUPPORTING BEAM BELOW. NO BRACES SHALL BE ATTACHED TO TOP WALL PLATE WITHOUT STUDS DIRECTLY UNDER THEM.

- CONCRETE GENERAL NOTES: I) EXCEPT WHERE OTHERWISE NOTED, FOR ALL CONCRETE, THE PROPORTIONS OF CEMENT, AGGREGATE, AND WATER TO ATTAIN REQUIRED
- 1) EXCEPT WHERE O THERWISE NOTED, FOR ALL CONCRETE, THE PROPORTIONS OF CEMENT, AGGREGALE, AND WATER TO ATTAIN REQUIRED PLASTICITY AND COMPRESSIVE STRENGTH SHALL BE IN ACCORDANCE WITH ACI 318 CODE. CONCRETE SHALL BE 2,500 PSI IN 28 DAYS FOR FOOTINGS AND 2,500 PSI FOR WALLS, BEAMS, AND COLUMNS, UNLESS NOTED OTHERWISE.

 2) BEFORE PLACING CONCRETE, ALL DEBRIS, WATER AND OTHER DELETERIOUS MATERIAL SHALL BE REMOVED FROM THE PLACES TO BE OCCUPIED BY THE CONCRETE. THE PLACING OF ALL CONCRETE SHALL BE IN ACCORDANCE WITH ACI 318 AND ASTM C94 REQUIREMENTS, PUMPING OF CONCRETE WILL BE PERMITTED ONLY WITH THE ENGINEER OF RECORDS APPROVAL OF PROPOSED CONCRETE MIX AND METHOD OF PUMPING, CONCRETE SHALL BE RAPIDLY HANDLED FROM THE MIXER TO FORMS AND DEPOSITED AS NEARLY AS POSSIBLE TO ITS FINAL POSITION TO AVOID SEGREGATION DUE TO REHANDLING. CONCRETE TO BE SPADED AND WORKED BY HAND AND VIBRATED TO ASSURE CLOSE CONTACT WITH ALL SURFACES OF FORMS AND REINFORCING STEEL AND LEVELED OFF AT PROPER GRADE TO RECEIVE FINISH. ALL
- CLOSE CONTACT WITH ALL SURFACES OF FORMS AND REINFORCING STEEL AND LEVELED OFF AT FROPER GRADE TO RECEIVE FINISH. ALL CONCRETE SHALL BE FLACED UPON CLEAN, DAMP SURFACES. VIRRATION SHALL BE APPLIED DIRECTLY TO THE CONCRETE AND SHALL BE SUFFICIENT TO CAUSE FLOW OF SETTLEMENT BUT NOT LONG ENOUGH TO CAUSE SEGREGATION OF THE MIX.

 3) CONSTRUCTION JOINTS SHALL BE LOCATED IN ACCORDANCE WITH ACI 301. ALL REINFORCING STEEL SHALL BE CONTINUOUS ACROSS JOINTS. IN SLABS ON GRADE, SAW CONTRACTION JOINTS SHALL NOT BE OVER 20 FEET CENTER TO CENTER FACH WAY. JOINTS SHALL BE SAWN A DEPTH OF ONE-THIRD OF THE SLAB THICKNESS. SAWING OF THE JOINTS SHALL COMMENCE AS SOON AS THE CONCRETE HAS HARDENED SUFFICIENTLY TO PERMIT SAWING WITHOUT EXCESSIVE RAVELING. FILL THE SAW CUTS WITH APPROVED JOINT FILLER AFTER THE
- TORRITE IN COURTS.

 CRETE, WHEN DEPOSITED, SHALL HAVE A TEMPERATURE NOT BELOW 50°P AND NOT ABOVE 90°P. THE METHODS AND RECOMMENDED INCRETES AS DESCRIBED IN ACI 306 SHALL BE FOLLOWED FOR COLD WEATHER CONCRETING AND ACI 305 FOR HOT WEATHER.
- CONCRETING. 5) FRESHLY PLACED CONCRETE SHALL BE PROTECTED FROM PREMATURE DRYING BY ONE OF THE FOLLOWING METHODS:
- A) PONDING OR CONTINUOUS SPRINKLING. B) ABSORPTIVE MAT OR FABRIC KEPT CONTINUOUSLY WET.

- DRIBORN TVE MINI OK HARMA TO MINIODOSCH WELL.

 (I) WATERPROOF PAPER CONFORMING TO ASTM CLITA

 (I) APPLICATION OF AN APPROVED CHEMICAL CURING COMPOUND.

 THE CURING SHALL CONTINUE UNTIL THE CUMULATIVE NUMBER OR DAYS WHEN THE AMBIENT TEMPERATURE ABOVE 50°P HAS TOTALED SEVEN.

 DURING CURING, THE CONCRETE SHALL BE PROTECTED FROM ANY MECHANICAL INJURY, LOAD STRESSES, SHOCK, VIBRATION, OR DAMAGE TO FINISHED SURFACES.
- 6) REINFORCING STEEL BARS SHALL BE DEFORMED IN ACCORDANCE WITH ASTM A305 AND OR A408 AND FORMED OF ASTM A615-78 GRADE WELDED WIRE FABRIC REINFORCING TO BE ASTM A 185 STEEL WIRE. ACCESSORIES SHALL CONFORM TO THE CRSI "MANUAL OF STANDARD PRACTICE." THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED OVER REINFORCING BARS
- C) SLABS NOT EXPOSED TO WEATHER D) BEAMS AND COLUMNS

GENERAL NOTES

- MASONRY GENERAL NOTES:

 1) MASONRY WALLS ARE TO BE OF THE SIZES AND IN THE LOCATIONS SHOWN ON THE PLANS AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF ACI 530.

 2) HOLLOW LOAD BEARING UNITS: ASTM C90 MADE WITH LIGHTWEIGHT OR NORMAL WEIGHT AGGREGATES. GRADE N-I UNITS SHALL BE
- PROVIDED FOR EXTERIOR AND FOUNDATION WALLS, GRADE N-I OR S-I UNITS SHALL BE PROVIDED FOR OTHER LOAD-BEARING WALLS OR
- NCRETE BUILDING BRICK: ASTM C55 MADE WITH LIGHTWEIGHT OR NORMAL AGGREGATES, GRADE N-I OR S-I EXCEPT THAT BRICK.
- EXPOSED TO WEATHER SHALL BE N-I.
 MORTAR: ASTM C270-95, TYPE 5 PREPACKAGED MORTAR MIX WHICH SHALL NOT CONTAIN ANY NON-CEMENTITIOUS FILLERS COMBINED
- WITH NOT MORE. THAN THREE PARTS SAND PER ON PART MIX.
 REINFORCING STEEL: ASTM AG I 5 GRADE GO STEEL DEFORMED BARS WHERE INDICATED ON THE PLANS. WHERE REINFORCING BARS ARE REINFORCING SIEEL: ASIM AS IS GRAUP 60 SIEEL DEFORMED BARS WHITER INDICATED ON THE FLANS, WHERE REINFORCING BARS ARE INSTALLED IN THE FELLS OF CONCRETE MASONRY UNITS, THEY SHALL BE SECURED WITH WHER ITES AT INTERVALS NOT EXCEEDING 24" OCC TO MAINTAIN THE BARS LOCATION IN THE CELL. THE TOLERANCE FOR SPACING OF VERTICAL BARS IS ± 2 INCHES ALONG THE LENGTH OF THE WALL. THE TOLERANCE FOR THE DISTANCE BETWEEN THE FACE OF THE CONCRETE MASONRY UNIT AND THE CENTER OF THE BAR SHALL NOT EXCEED ± ½".

 MORTAR PROTRUSION SHALL BE LESS THAN ½". A PROTRUSION OF ½" OR GREATER MUST BE REMOVED BEFORE GROUTING.
- HORIZONTAL JOINT REINFORCEMENT: ASTM A62 FABRICATED FROM COLD DRAWN STEEL WIRE AND HOT DIP ZINC COATED (A5TM A153). IT SHALL CONSIST OF TWO OR MORE PARALLEL LONGITUDINAL WIRES 0. 14575 IN DIAMETER AIT OF LONGICTED CROSS WIRES 0. 1463* IN DIAMETER AIT A MINIMUM OF 16" O/C. JOINT REINFORCEMENT IS TO BE INSTALLED IN EVERY OTHER COURSE AND IN THE 0.1465 IN DIAMETER AT A MINIMOM OF TE O/C. JOHN REINFORCEMENT IS TO BE INSTALLED IN EVERT OTHER COURSE AND IN THE
 FIRST TWO COURSES AT THE BOTTOM AND TOP OF WALL OPENINGS AND SHALL EXTEND NOT LESS THAN 24" PAST THE OPENING. SPLICES
 SHALL OVERLAP NOT LESS THAN 12".

 EXECUTION: MASONRY UNITS SHALL BE LAID IN A RUNNING BAND PATTERN UNLESS NOTED OTHERWISE. THE WALLS SHALL BE CARRIED UP
- LEVEL AND PLUMB WITHIN THE TOLERANCES SPECIFIED IN ACI 530.1-88, SECTION 2.3.3.2. IF NONSTANDARD DIMENSIONS ARE ENCOUNTERED, BLOCK SHALL BE CUT WITH A MASONRY SAW TO FIT, NOT BY STRETCHING OR SHRINKING JOINTS. UNFINISHED WORK SHALL BE STEPPED BACK FOR JOINING WITH NEW WORK. TOOTHING WILL NOT BE PERMITTED EXCEPT WHERE SPECIFICALLY APPROVED DAMAGED LINITS ARE TO BE CUT OUT AND NEW LINITS SET IN PLACE
- DAMAGED UNITS ARE TO BE CUT OUT AND NEW UNITS SET IN PLACE.

 THE FILLED CELLS AND BOND BEAM BLOCKS OF REINFORCED MASONRY WALLS ARE TO BE FILLED WITH ASTM C476-91, GROUT FOR

 MASONRY WITH MINIMUM COMPRESSIVE STRESS OF 2,000 F3 AND SLUMP RANGE OR 8" TO 11". THE OUTSIDE FACE OF THE BOTTOM

 BLOCK OF EACH CELL IS TO BE BROKEN OUT FOR INSPECTION OF REINFORCING AND CLEAN OUT OF MORTAR DROPPINGS IN CELL. THE

 GROUT IS TO BE PUMPED INTO THE CELL IN MAXIMUM FIVE FOOT LIFTS AND IMMEDIATELY VIBRATED TO MINIMIZE ANY VOIDING OF

 THE GROUT. RECONSOLIDATE EACH LIFT BY VIBRATING. SEVERAL INCHES INTO THE PRECEDING LIFT BEFORE

 PLASTICITY IS LOST. RECONSOLIDATE THE TOP LIFT AND FILL WITH GROUT ANY SPACE LEFT BY SETTLEMENT SHRINKAGE
-) WHERE PARTITIONS FALL BETWEEN FLOOR JOISTS OR TRUSSES, 2 X 4 LADDERS AT 16" O/C MUST BE PLACED PERPENDICULAR TO THE TRUSSES TO SUPPORT THE PLYWOOD DECKING. THE LADDERS SHALL BE SUPPORTED WITH SIMPSON "Z" CLIP OR SIMILAR DEVICE.

) ALL WOOD I-JOISTS AND OPEN JOISTS MUST BE BRACED IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS PLUS DETAILS SHOWN
- ON PLANS. LOAD-BEARING PARTITIONS, JACKS, BEAMS AND COLUMN SUPPORTS MUST BE SOLID BLOCKED THROUGH FLOOR. TRUSSES AND PLYWOOD SHALL NOT CARRY CONCENTRATED POINT LOADS. I-JOIST MATERIAL SHOULD NOT BE USED AS BLOCKING UNDER CONCENTRATED POINT LOADS. ALL POINT LOADS MUST BE CARRIED TO FOUNDATIONS WITH ADEQUATE BLOCKING AND/OR BEAMS
- ALL STEEL COLUMNS WHERE STEEL COLUMNS BEAR ON CONCRETE OR MASONRY, UNLESS OTHERWISE NOTED, A 5/8" X 6 1/2" X 6 1/2" OR 12) ALL STELL COLUMNS WITH STELL COLUMNS DEAM ON CONSENTE ON WISCONT, WITESS OTHERWISE NOTIFE, A 5/3 X 6/2 X 6 72 ON 5/6/3 X 6/2 X 6/2 X 6/2 ON 5/6/3 X 6/2 X 6
- OPENING NAILED SECURELY TO THE HEADER OF ENING MALLED SECRETE TO THE TRADE.
 WALLS 12'TO 20' HIGH: BALLOON FRAME 2 X 6 STUDS AT 16" O/C (1/2" OSB SHEATHING REQUIRED FOR WALL HEIGHTS > 17"). PROVIDE WALLS 12 TO 20 HIGH: BALLOUN FRANC 2 X 6 STUDS AT 16 O/L (12 OSS SHEATING REQUIRED FOR WALL REIGHTS > 17). FROVIDE 2-1 14"X 5 A VI'LV KING STUDS ON EACH SIDE OF OPENINGS 3"TO 6" WIDE AND 2-2 X 6 KING STUDS FOR OPENINGS LESS THAN 3" WIDE. FASTEN KING STUDS SECURELY TO ALL HEADERS WITH A MINIMUM OF 12-16D NAILS OR 4-3/8" DIAMETER LAG SCREWS EMBEDDED A MINIMUM. OF 4" INTO THE HEADER.
- GABLE END WALLS OR ROOMS WITH VAULTED CEILING JOISTS: BALLOON FRAME WALL AND PROVIDE TRIPLE KING STUD ON EACH SIDE OF DPENINGS. NAILED SECURELY TO THE HEADER.
- OPENINGS, NAILED SECURELY 10 THE HEADER.

 TWO-STORY HIGH FOYER WALLS LESS THAN 9' WIDE: EXTEND 3 ½" X 9 ¼" PSL MEMBER WITH 3-2 X 4 FLAT PLATES ACROSS THE ENTIRE WALL. LOCATE THE BEAM NEAR MID-HEIGHT OF THE WALL AT OR NEAR RIRST FLOOR TOP PLATE.
- NOTE: SEE SPECIAL DESIGN OR ENGINEER FOR WALLS TALLER THAN 20, WHEN OPENINGS IN HIGH WALLS EXCEED 6' IN WIDTH, OR IF THE
 WALL CANNOT BE CONSTRUCTED USING ANY OF THE METHODS MENTIONED.

 14) CONTINUOUS 2 X 6 BRIDGING SHALL BE NAILED TO DIAGONAL OR VERTICAL WEB MEMBERS OF ALL OPEN-WEB FLOORS TRUSSES OVER 10'
- LONG. THEY SHALL BE INSTALLED NEAR MID-SPAN AS A LOAD DISTRIBUTION MEMBER. IF THE 2 X 6 BRIDGING IS NOT CONTINUOUS, LAB ENDS OF BRIDGING ONE TRUSS SPACE. 15) LOWER STUD WALLS FOR BUILDINGS OVER TWO STORIES. BUT NOT MORE THAN THREE STORIES."

- EXTERIOR WALLS
- LOTE 2 X 6 AT 16" O/C WITH 1/2" X 4' X 8' PLYWOOD SHEATHING AT ALL CORNERS AND EVERY 25'; OR USE 2 X 4 AT 12" O/C WITH 1/2" PLYWOOD SHEATHING SOLID ON WALLS
- HEADERS SHALL BE AS SHOWN UNLESS NOTED DIFFERENTLY ON PLANS:

- SPANS 6'6" OR MORE
- MOSPANS 6'6" ON MOKE.
 HEADERS WIDER THAN 5' SHALL HAVE A MINIMUM OF THREE KING STUDS ON EACH SIDE UNLESS NOTED OTHERWISE.
 WHEN CEILING JOISTS ARE PARALLEL TO AN EXTERIOR WALL, TIE THE RAFTERS NEAR THE TOP PLATE TO CEILING JOISTS WITH A 2 X 6 STRONGBACK. A MINIMUM OF 6' LONG AT 4 FEET ON CENTER ACROSS THE TOP OF THE CEILING JOISTS. 2 X 4 RAFTER TIES SHALL BE FASTENED TO THE SIDE OF THE RAFTER AND THE STRONGBACK.
 AT ALL EXTERIOR DIAGONAL WALL PANELS, EACH PANEL SHALL BE NAILED TO EACH ADJACENT PANEL WITH 5-16 D NAILS OR TIED TOGETHER
- WITH METAL STRIPPING NAILED AT FOUR LOCATIONS BETWEEN PLOORS WITH A MINIMUM OF 2-1 GD NAILS INTO EACH PANEL AT EACH STRAP. THIS WILL AVOID VERTICAL CRACKING IN PANEL JOINTS DUE TO HORIZONTAL OSCILLATING PANELS.
- 19) AT ALL STAIRS, EVERY STUD AT EACH STRINGER MUST BE NAILED TO EACH STRINGER WITH A MINIMUM OF 2-16D NAILS. THIS WILL AVOID CRACKING BETWEEN WALLBOARD AND TOP OF BASE MOLDING DUE TO VERTICAL OSCILLATION OF STAIR STRINGERS 20) ROOF TRUSSES THAT HAVE NON-BEARING PARTITIONS PASSING UNDER THEM SHOULD BE NAILED TO THE PARTITION PLATES TO AVOID
-) ROOF TRUSSES THAT HAVE NON-BLAKING FARTHONS FASSING UNDER THEM SHOULD BE NAILED TO THE FARTHON FLATES TO AVOID CEILING-WALL CRACKING.) ROOF TRUSSES CLOSE TO SIDE WALLS FRAMING AND USED AS DEAD WOOD FOR SHEETROCK BOARDS SHOULD BE NAILED TO THE WALL FRAMING TO PREVENT CEILING-WALL CRACKING.
 22) ALL STRUCTURAL FRAMING LUMBER EXPOSED DIRECTLY TO THE WEATHER OR BEARING DIRECTLY ON EXTERIOR MASONRY PIERS OR
- 22) ALL STRUCTURAL FRAMING LUMBER EXPOSED DIRECTLY TO THE WEATHER OR BEARING DIRECTLY ON EXTERIOR MASONRY PIERS OR CONCRETE SHALL BE TREATED. ALL WOOD IN CONTACT WITH THE GROUND IS TO BE GOUND-CONTACT APPROVED. ALL WOOD EXPOSED DIRECTLY TO THE WEATHER. SHALL BE PROTECTED TO PREVENT THE OCCURRENCE OF ROT.

 23) UNLESS OTHERWISE DETAILED, ALL STICK-BUILT "FALSE CHIMNEYS" SHALL BE CONSTRUCTED WITH 2 X 4 STUDS AT 1 2" O/C, BALLOON-FRAMED FROM ATTIC CEILING OR FLOOR. FASTEN I 5/32" COX PLYWOOD ON ALL SIDES OF THE CHIMNEY ALONG THE FULL LENGTH OF THE STUDS. FASTEN EACH STUD TO THE SUPPORTING BEAM OR CEILING JOIST WITH A 1 1/2" X 24", 18-GAUGE METAL STRAP, OR A SAWING CONNINCETOR. 24) ITEM UNCHANGED, BUT MOVED FROM UNDER #14 ON OLD PAGE 2:
- . TE:ALL POINT LOAD'S FROM ROOF BRACES, JACK STUDS, BEAM SUPPORTS WHETHER WOOD OR STEEL CANNOT BEAR ON SHEATHING ALONE. BLOCKING EQUAL TO OR BETTER THAN THE POINT LOAD SUPPORTS ABOVE MUST BE CARRIED THROUGH ALL SHEATHING ALONE. BLOCKING EURAL TO OR BETTER THAN THE F CONSTRUCTION TO THE FOUNDATION.

 NOTE TO APPLY TO ALL HARD COAT STUCCO EXTERIOR FINISHES: JOINTS ARE NECESSARY AT THE FOLLOWING LOCATIONS:
- HORIZONTALLY AT EACH FLOOR LINE. NO AREAS LARGER THAN 144 S.F. SURFACE EXPOSED.
- NO DIMENSION LONGER THAN 18'. NO DIMENSION LONGER THAN 2 ½ TIMES THE SHORTEST DIMENSION.
- NO DIMINISION LONGER HAIM 2" 92 ININCED THE SHORKEST DIMINISION.

 DRIP SCREED REQUIRED AT THE BOTTOM OF ALL WALLS 2" ABOVE PAVED AREAS AND 4" ABOVE GRADE.

 SEE ASTM 926 AND 1063 FOR FURTHER INFORMATION.

 APPLICATION OF AN APPROVED CHEMICAL CURING COMPOUND.
- THE CURING SHALL CONTINUE UNTIL THE CUMULATIVE NUMBER OR DAYS WHEN THE AMBIENT TEMPERATURE ABOVE 50°F HAS TOTALED SEVEN DURING CURING THE CONCRETE SHALL BE PROTECTED FROM ANY MECHANICAL INJURY LOAD STRESSES, SHOCK VIBRATION OR DAMAGE TO FINISHED SURFACES

WALL BRACING NOTES:

I. THIS STRUCTURE HAS BEEN ANALYZED BY A PROFESSIONAL ENGINEER FOR LATERAL LOADING. IT HAS BEEN DESIGNED USING CONTINUOUSLY SHEATHED 7116" OSB SHEATHING, FASTENED AT 6" O.C. ALONG THE EDGES AND 12" O.C. ALONG THE INTERIOR TO MEET OR EXCEED THE INTERIOR TO THE 20 IS INTERIOR TO MEET OR EXCEED THE INTERIOR TO THE 20 IS INTERIOR TO MEET OR EXCEED THE INTERIOR TO THE 20 IS INTERIOR TO MEET OR EXCEED THE INTERIOR TO THE 20 IS INTERIOR TO MEET OR EXCEED THE INTERIOR TO THE 20 IS INTERIO

- ROOF CONSTRUCTION:

 1) ALL ROOF TRUSSES MUST BE BUILT IN ACCORDANCE WITH TRUSS MANUFACTURERS' REQUIREMENTS. TIE-DOWN CONNECTIONS TO RESIST UPIET SHALL BE INSTALLED WHERE REQUIRED. WHEN ROOF TRUSS MANUFACTURERS DO NOT PROVIDE THE REQUIRED CONNECTORS, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ROOF TRUSS ENGINEER OR THE ENGINEER OF
- 2) IN ADDITION TO THE CODE'S EASTENER SCHEDULE UNIESS NOTED OTHERWISE ON THE PLAN ROOF MEMBERS SHALL BE TIED DOWN VITH ADDITIONAL METAL CONNECTORS AS FOLLOWS
- WITH AUDITIONAL METAL CONNECTORS AS FOLLOWS:

 A) STICK-FRAMED RAFTER MEMBERS EXCEEDING 10' IN LENGTH, AS MEASURED FROM THEIR HORIZONTAL PROJECTION, AND ALL ROOFS
 OVER, UNENCLOSED AREAS SUCH AS FORCHES USE SIMPSON H2.5 CONNECTORS EVERY 4' OR AT EVERY THIRD RAFTER TO FASTEN
 THE LOWER END OF THE RAFTER TO THE TOP PLATE.

 B) ALL LOWER ENDS OF VALLEY AND HIP MEMBERS WHICH BEAR ON A TOP PLATE USE A SIMPSON HCP OR EQUIVALENT CONNECTOR.
- RAFTERS SHALL BE 2 X 6 AT 16" 0/C SPRUCE-PINE-FUR #2 FOR SHINGLES EXCEPT AS NOTED. THEY ARE TO BE CUT INTO HIPS, RIDGES, ETC., UNILESS NOTED OTHERWISE. TILE, SLATE AND OTHER HEAVY ROOF COVERINGS SHALL USE 2 X 8 AT 16" 0/C SPRUCE-PINE-FUR #2 RAFTERS DIVILESS NOTED OTHERWISE.
- SPRUCE-PINE-PUR 92 RAPIERS UNLESS NO LIED OF INERWISE.
 COLLAR TIES SHALL BE 2 X 6 AT 48" O/C AT ALL RIDGES UNLESS NOTED OTHERWISE AND LOCATED A NOMINAL 3' BELOW THE RIDGE.
 VAULTED CEILINGS REQUIRE SPECIAL COLLAR TIE OR RIDGE BEAM DETAILS. SEE THE END OF TABLE R802.5.1. IN THE CODE UNLESS
 OTHERWISE DETAILED ON THE PLAN.
 A MINIMUM OF THIREE COLLAR TIES SHALL BE USED AT ALL RIDGES EVEN IF TWO TIES MUST BE PUT ON ONE SET OF RAFTERS.
- ALL HIPS AND RIDGES ARE A SIZE LARGER THAN RAFTERS UNLESS NOTED OTHERWISE
- ALL HOGS ON CEILING JOISTS OR RAFTERS ARE I 2' LONG AND 2 X 6'S UNLESS NOTED OTHERWISE. RAFTERS MAY BE SPLICED OVER SPLICE RAFTER HOGS ONLY AT A ROOF BRACE.
- HOGS. SMICE KAPIER HOGS ONLY ALA ROOP BRACE. GABLE END MUST BE BRACED PARALLEL TO RIDGES AS REQUIRED PER TRUSS MANUFACTURER. GABLE END TRUSS BEARING SHALL FOLLOW THE TRUSS MANUFACTURE TYPICAL DETAILS AND BE LOCATED APPROXIMATELY MID-HEIGHT OF GABLE WALLS. BRACES SHALL BE AT AN ANGLE OF APPROXIMATELY 45°. OTHER BRACING MAY BE USED WITH THE DESIGN ENGINEER'S APPROVAL. FIELD FRAMED GABLE END WALLS SHALL BE CONTINUOUS STUDS FROM THE CEILING LEVEL TO THE ROOF AND SHALL FOLLOW THE EXTERIOR WALL STUD SCHEDULE
- 9) CFILING JOISTS WHEN ERECTED PARALLEL TO RAFTERS MUST BE SISTERED TO RAFTERS AND NAILED WITH 3-LGD NAILS AT FACH
- 9) CEILING JOISTS WHEN ERECTED PARALLEL TO RAFTERS MUST BE SISTERED TO RAFTERS AND NAILED WITH 3- I GD NAILS AT EACH
 RAFTER. IF A KNEEWALL IS USED AND CEILING JOISTS CANNOT TOUCH RAFTERS, THEN RAFTERS MUST BE TIED TO THE CEILING
 JOISTS USING 2 X 4 OR I X 6 RAFTER TIES SPACED NO MORE THAN 4" ON CENTER.
 D) ALL ROOP BRACES ARE 2-2 X 4 NAILED WITH I 6 PENNY NAILS AT 9" O/C VERTICALLY FROM TOP TO BOTTOM. BRACES LONGER
 THAN 10" MUST BE BRACED HORIZONTALLY IN TWO DIRECTIONS AT MID-HEIGHT.
 E) MAXIMUM SPACING OF ROOF BRACES IS TO BE AS FOLLOWS:

480

1,600,000

SOUTHERN YELLOW PINE

... 6'-0" O/C FOR 2 X 8 HOG

LUMBER GENERAL NOTES:

1) ALL COMMON FRAMING LUMBER IS TO MEET THE FOLLOWING MINIMUM SPECIFICATIONS AT 19% MOISTURE CONTENT MATERIAL # 2 SPRUCE PINE FUR

600

2) ALL STRUCTURAL COMPOSITE LUMBER (LVL, LSL, PSL) IS TO MEET THE FOLLOWING MINIMUM SPECIFICATIONS: FC (PSI)(PERP.) E (PSI) APPLICATION FB (PSI)
GIRDERS & BEAMS (LVL,PSL) 2,600 COLUMNS (LSL) \$ RIMBOARDS 1,700 1.400 400

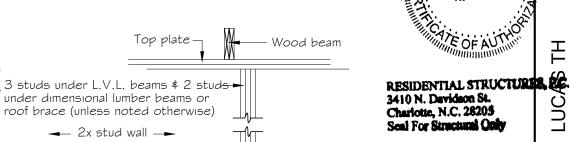
3) ALL GLUE LAMINATED TIMBER (GLU-LAM) IS TO MEET THE FOLLOWING MINIMUM SPECIFICATIONS APPLICATION
GIRDERS & BEAMS 1 700 000

4) OPEN WEB FLOOR TRUSSES: APPLICATION TOP \$ BOTTOM CHORDS 9F MSR LUMBER COLUMNS (LSL) & RIMBOARDS I 4F IUMBER

VALUE CAROLINA WHERE THREE OR FOUR-PLY "LAM" BEAMS ARE SIDE-LOADED (JOISTS FRAME INTO THE SIDE AT THE OUTSIDE PLIES), FASTEN TOGETHER WITH TWO ROWS OF 1/2" DIAMETER BOLTS AT 16" O/C. THE BOLTS SHALL BE LOCATED A MINIMUM OF 2 1/2" AND 1/2" FROM THE TOP OR BOTTOM OF THE BEAM.

6) BUILT-UP WOOD COLUMNS CONSISTING OF MULTIPLE STUDS SHALL HAVE EACH LAMINATION NAILED WITH 16D NAILS AT

PLANS PERMITTED IN NORTH CAROLINA ARE DESIGNED TO MEET THE 2018 NORTH CAROLINA RESIDENTIAL BUILDING COE AS ISSUED BY THE STATE OF NORTH CAROLINA



Do not use I-Joist blocking material under concentrated loads. Use only

2x stud wall —

Same number of studs-

as above to bear on

solid wood blocking

(2) 2x4 studs laid flat against rim board \$ nailed to rim board w/(4) I 2d nails (Each block) w/3/4" plywood nailed over studs

I 1/4" rım board (Se<u>e</u>

plan for height)

· 3/4" T&G plywood subfloor

beam or foundation below \bot Number of studs / blocking transfer load detail at engineered floor system

Top plate -

Bottom plate-

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Michael DATE 8.19.25

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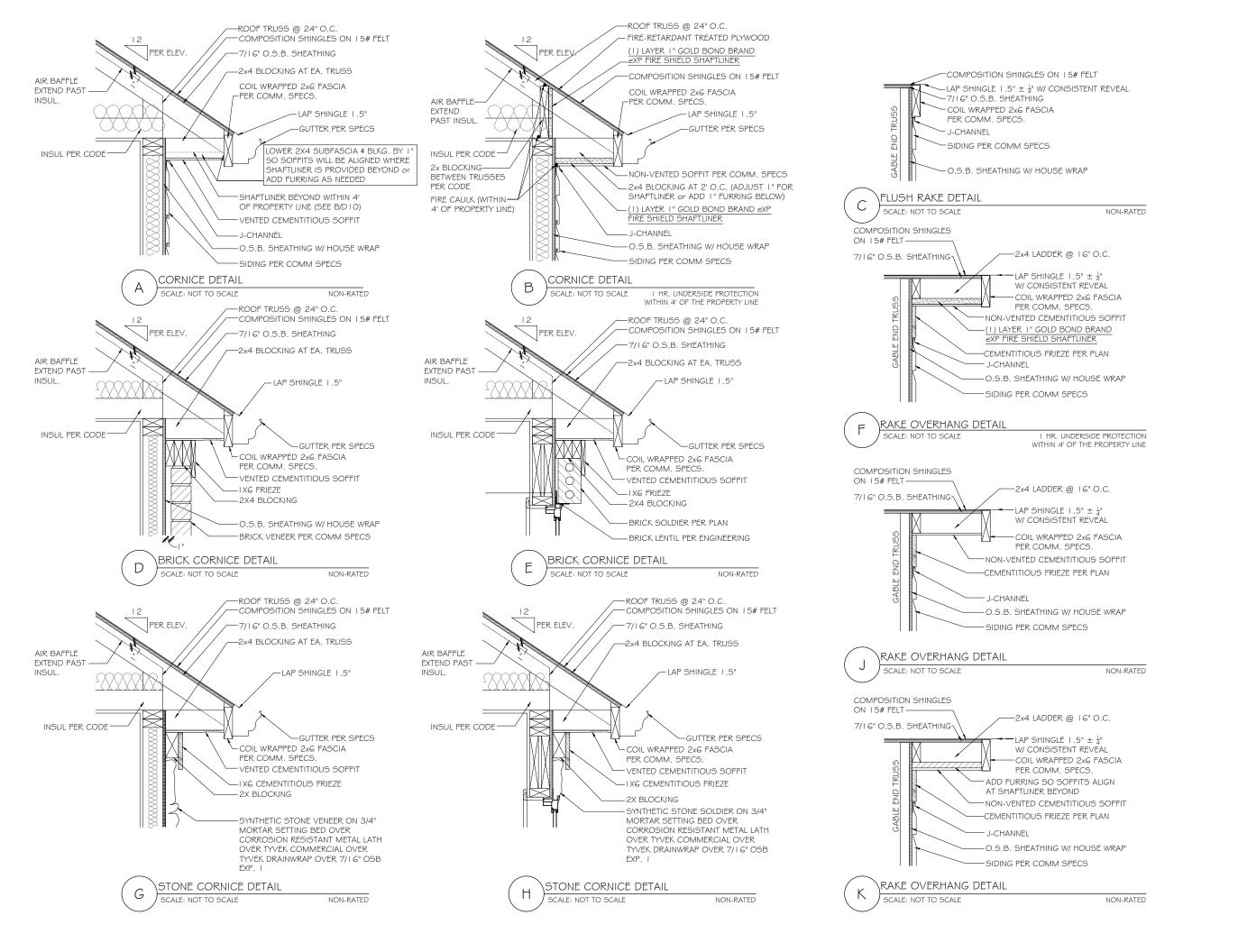
COUNTY HARNETT

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SCALE: AS SHOWN REVIEWED BY:

Chuck

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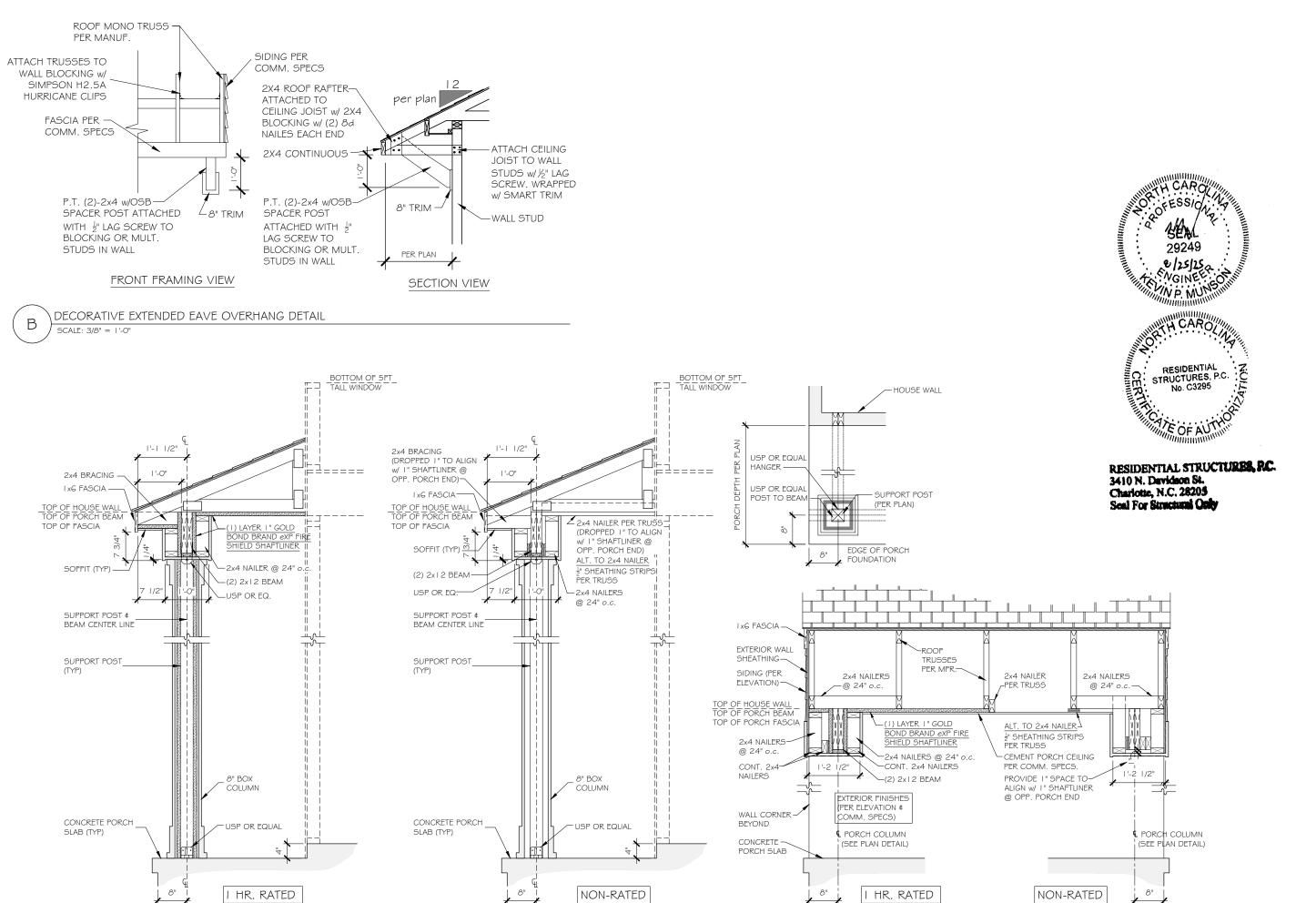
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Michael DATE:

8.19.25

SCALE: AS SHOWN

REVIEWED BY: Chuck



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BUIES CREEK TOWNHOMES

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LUCAS TH 1340 HARNETT COUNTY

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Michael

DATE: 8.19.2

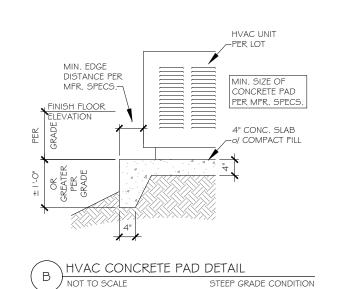
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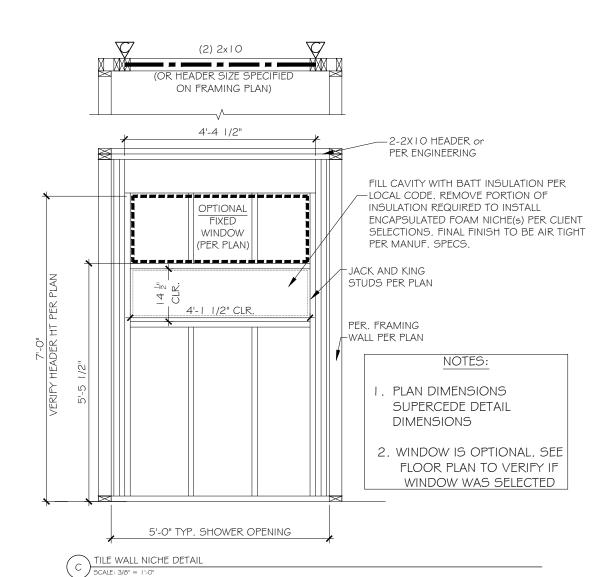
REVIEWED BY:
Chuck

T:

8" BOX COLUMN DETAIL

SCALE: 1/2" = 1'-0"







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PREPARED BY: Michael

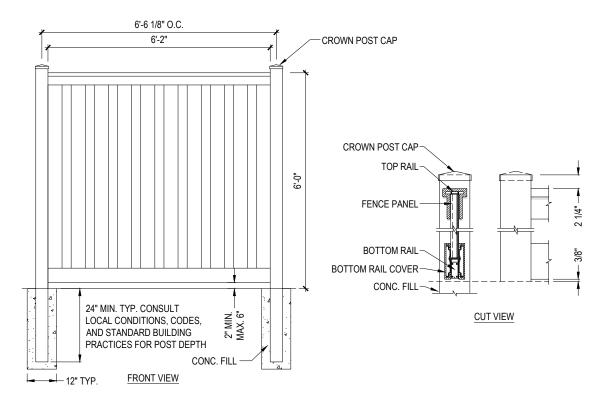
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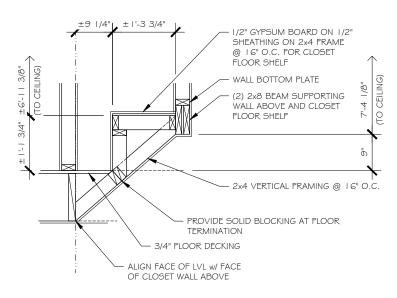
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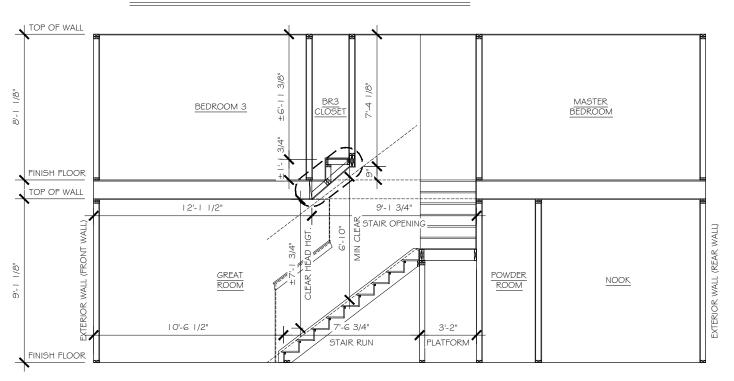
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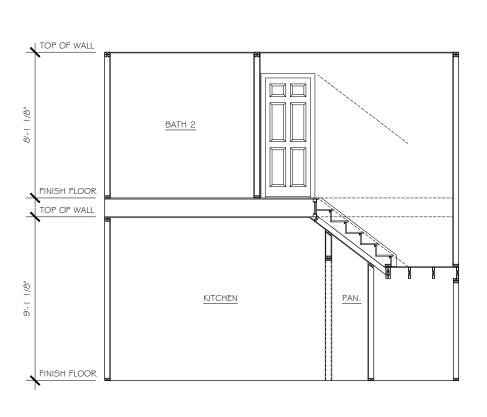
Chuck





CLOSET FLOOR SHELF DETAIL





STAIR SECTIONS

TWO-STORY UNITS

TrueHomes

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PREPARED BY:

Michael

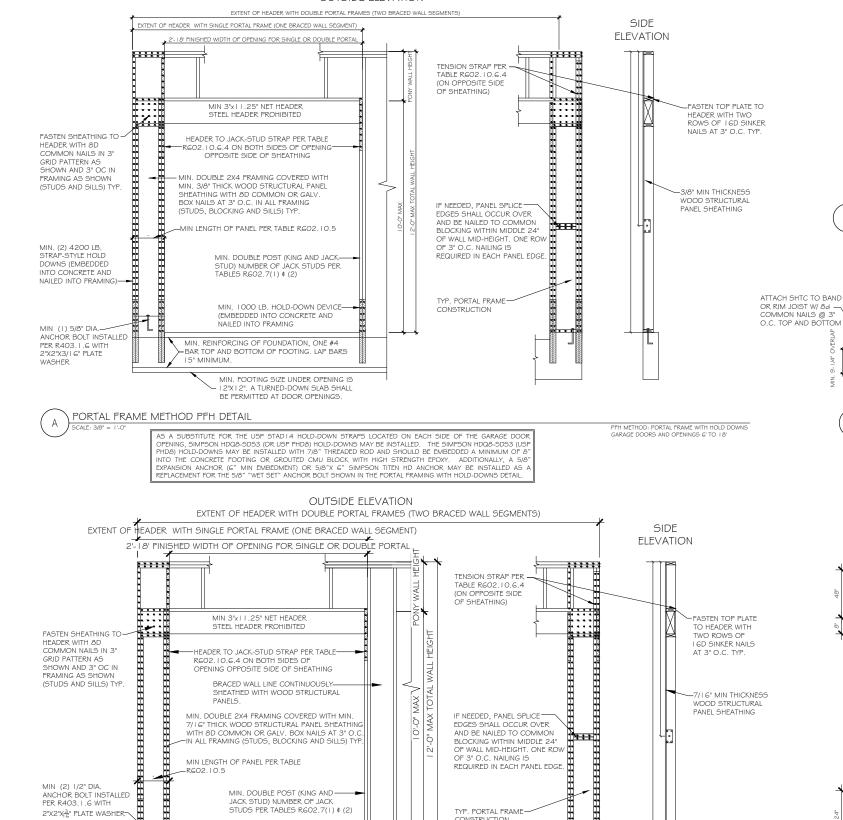
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AS SHOWN REVIEWED BY: Chuck

WALL BRACING HAS BEEN DESIGNED IN ACCORDANCE WITH THE 2018 NCRC AND/OR THE 2021 IRC AS ALLOWED PER SECTION R602.10

OUTSIDE ELEVATION



TYP. PORTAL FRAME-

CS-PF METHOD: CONTINUOUSLY SHEATHED PORTAL FRAME-GARAGE DOOR GARAGE DOORS AND OPENINGS 8' AND GREATER

CONSTRUCTION

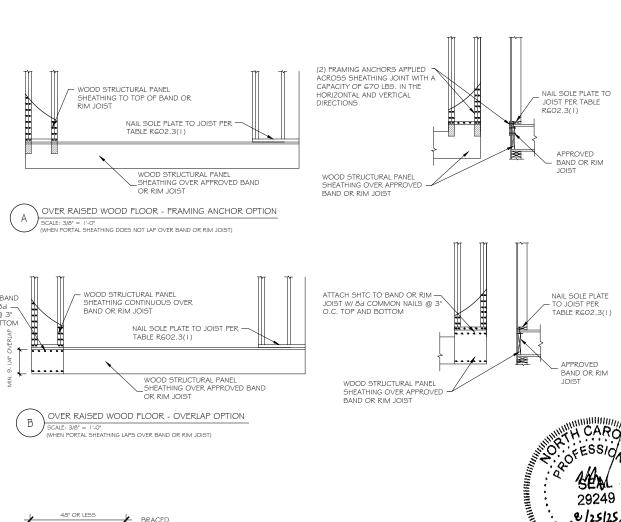
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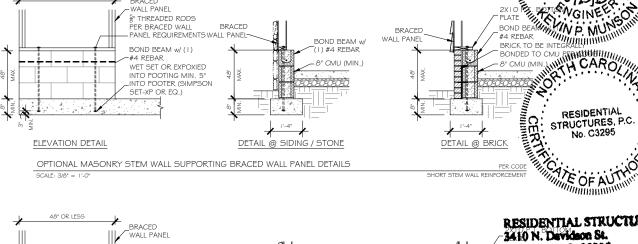
JACK STUD) NUMBER OF JACK

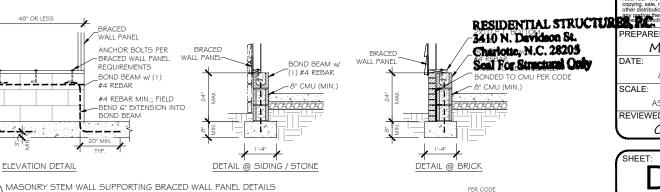
ANCHOR BOLT PER SECTION R403.1.6-

PORTAL FRAME METHOD CS-PF DETAIL

STUDS PER TABLES R602.7(1) \$ (2)







SHORT STEM WALL REINFORCEN

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Michael

8.19.25

AS SHOWN

Chuck

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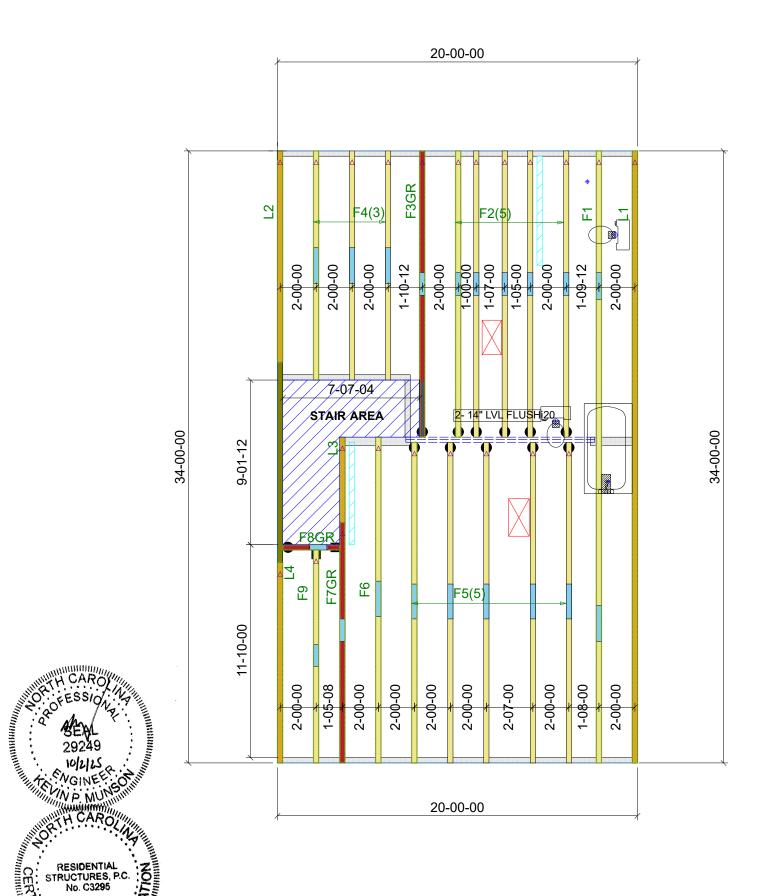
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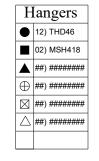
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OF AUTHORITION OF AUT

FLOOR TRUSS LAYOUT SCALE: 3/16" = 1'



DATE:

The Building Center, Inc.

THE BUILDING CENTER, INC.

2591 Jenkins Dairy Rd PH. (704) 824-8182 FAX. (704) 824-2232

True Homes

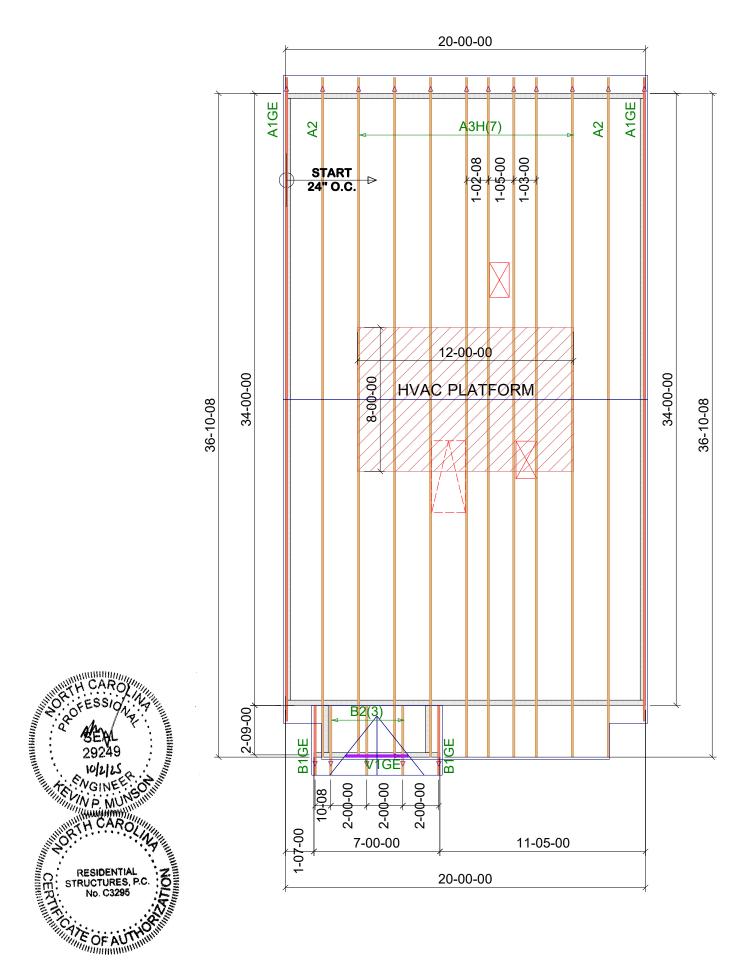
Job Desc: **LUCAS TH - 1340** Site Information: Lot 8 - BCTH Salesman: NA 10/01/2025 Drafter: MS/PM 25094451F

SHOP DRAWING APPROVAL

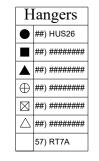
THIS LAYOUT IS THE SOLE SOURCE FOR FABRICATION OF TRUSSES AND VOIDS ALL PREVIOUS ARCHITECTURAL OR OTHER TRUSS LAYOUTS. REVIEW AND APPROVAL OF THIS LAYOUT MUST BE RECEIVED BEFORE ANY TRUSSES WILL BE BUILT. VERIFY ALL CONDITIONS TO INSURE AGAINST CHANGES THAT WILL RESULT IN EXTRA CHARGES TO YOU.

REVIEWED BY: APPROVED BY:

THIS IS A TRUSS PLACEMENT DIAGRAM ONLY. These trusses are designed as individual building components to be incorporated into the building design at the specification of the building designer. See individual design sheets for each truss design identified on the placement drawing. The building designer is responsible for temporary and permanent bracing of the roof and floor system and for the overall structure. The design of the truss support structure including headers, beams, walls, and columns is the responsibility of the building designer. For general guidance regarding bracing, consult "Bracing of Wood Trusses" available from the Truss Plate Institute, 583 D'Onifrio Drive; Madison, WI 53179.



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ROOF TRUSS LAYOUT SCALE: 3/16" = 1'

The Building Center, Inc.

THE BUILDING CENTER, INC.

2591 Jenkins Dairy Rd PH. (704) 824-8182 FAX. (704) 824-2232

Client: True Homes	
Notes:	Job Desc: LUCAS TH - 1340
	Site Information:
	Lot 8 - BCTH
	Salesman: NA Date: 10/01/2025
_	Drafter: MS/PD Job #: 25094451R

THIS IS A TRUSS PLACEMENT DIAGRAM ONLY. These trusses are designed as individual building components to be incorporated into the building design at the specification of the building designer. See individual design sheets for each truss design identified on the placement drawing. The building designer is responsible for temporary and permanent bracing of the roof and floor system and for the overall structure. The design of the truss support structure including headers, beams, walls, and columns is the responsibility of the building designer. For general guidance regarding bracing, consult "Bracing of Wood Trusses" available from the Truss Plate Institute, 583 D'Onifrio Drive; Madison, WI 53179.

SHOP DRAWING APPROVAL

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REVIEWED BY: APPROVED BY: DATE:

North Carolina 2018 - R402.1.5 Total UA

Property
TBD
Lillington, NC 27546
Model: 1340 Lucas B1_TH-EndUnit_3

Community: Buies Creek

Organization

Performance Point, LLC. Rodrigo Torres

Builder True Homes

Buies Creek 8 True_Buies Creek 8_1340 Lucas B1_TH-En **Inspection Status**Results are projected

This report is based on a proposed design and does not confirm field enforcement of design elements.

Building UA

Elements	NC Reference	As Designed
Ceilings	20.4	17.5
Above-Grade Walls	84.1	85.8
Windows, Doors and Skylights	62.9	50.8
Slab Floor:	37.2	37.2
Framed Floors	0.0	0.0
Foundation Walls	0.0	0.0
Rim Joists	5.1	4.8
Overall UA (Design must be equal or lower):	209.7	196.1

Requirements

_			
	R402.1.5	Total UA alternative compliance passes by 6.5%.	The proposed home meets the UA requirement by 6.5%
	R402.3.2	Average SHGC: 0.22 Max SHGC: 0.30	Average SHGC of 0.22 is greater than the maximum of 0.30.
	R402.4.2.2	Air Leakage Testing	Air sealing is 5.00 ACH at 50 Pa. It must not exceed 5.00 ACH at 50 Pa.
	R402.5	Area-weighted average fenestration SHGC	Area-weighted average fenestration SHGC is 0.22. The maximum allowed value is [No Limit].
	R402.5	Area-weighted average fenestration U-Factor	
	R404.1	Lighting Equipment	
	Mandatory Checklist	Mandatory code requirements that are not checked by Ekotrope must be met.	2015 IECC Mandatory Checklist must be checked as complete.
	R403.3.1	Duct Insulation	Duct insulation meets the requirements specified in North Carolina 2018 Code Section 403.3.1.
	403.3.3	Duct Testing	

Design exceeds requirements for North Carolina 2018 Prescriptive compliance by 6.5%.

Name:	Rodrigo Torres	Signature:	100	
Organization:	Performance Point, LLC.	Digitally signed:	10/1/25 at 3:16 PM	

Property TBD Lillington, NC 27546 Model: 1340 Lucas B1_TH-EndUnit_3 Community: Buies Creek Buies Creek 8 True_Buies Creek 8_1340 Lucas B1_TH-En **General Building Information** Conditioned Area (sq ft) Conditioned Volume (cubic ft) Insulated Shell Area (sq ft) Slab F

Organization

Performance Point, LLC.

Rodrigo Torres

Builder

True Homes

1,360 12,523 3,349.1

The building energy model in Ekotrope reflects the building assemblies and energy features listed below. Sometimes energy features will change in the field from what has been modeled. The inspection process should identify any changes and ensure that the home continues to meet the applicable energy code.

Inspection Status

Results are projected

	Name: House Slab(680 s.f., 74 ft. exterior perimeter) R-10 perimeter insulation, R-0 under slab insulation.
ram	ned Floor
	None Present
oun	dation Wall
	None Present
lbov	ve Grade Wall
	Name: 2x4 Ambient (1,257.5 s.f.) R-0 continuous insulation, R-15 cavity insulation Insulation Grade: I
	Name: Niche (2 s.f.) R-0 continuous insulation, R-0.5 cavity insulation Insulation Grade: I
	Name: 2x4 Kneewall - Porch (12.4 s.f.) R-0 continuous insulation, R-15 cavity insulation Insulation Grade: I

Property TBD Lillington, NC 27546 Model: 1340 Lucas B1_TH-EndUnit_3		Organization Performance Point, LLC. Rodrigo Torres	Inspection Status Results are projected			
Community: Buies Creek		Builder True Homes				
	Creek 8 Buies Creek 8_1340 Lucas B1_TH-En					
	Name: 2x4 Adiabatic (584.4 s.f.) R-0 continuous insulation, R-11 cavity insulation Insulation Grade: I					
Rim .	Joist					
	Name: Ambient (82.4 s.f.) R: 14.10					
	Name: Attic (8.6 s.f.) R: 14.10					
	Name: Adiabatic (41.8 s.f.) R: 14.10					
Ceili	ng / Roof					
	Name: Clng- 6:12 (680 s.f.) R-28.5 continuous insulation, R-9.5 Insulation Grade: I	cavity insulation				
Opad	que Door					
	Name: Front Door (20 s.f.) R: 7.00					
Glazi	ing					
	Name: Front (60 s.f.), U: 0.300, SI	HGC: 0.22, Orientation: WEST				
	Name: Right (30 s.f.), U: 0.300, SH	HGC: 0.22, Orientation: SOUTH				
П	Name: Back (30 s.f.), U: 0.300, SH	GC: 0.22, Orientation: EAST				
П	Name: Rack - Kitchen 2'6"y4' (10 s f) II:0300 SHGC:022 Orient	ration: EAST			

Property TBD Lillington, NC 27546 Model: 1340 Lucas B1_TH-EndUnit_3		Organization Performance Point, LLC. Rodrigo Torres	Inspection Status Results are projected		
	nunity: Buies Creek	Builder True Homes			
	Creek 8 Buies Creek 8_1340 Lucas B1_TH-En				
	Name: Back - Nook 3'x4' (12 s.f.), U	1: 0.300, SHGC: 0.22, Orientatio	on: EAST		
	Name: Back Door (17.8 s.f.), U: 0.30	00, SHGC: 0.22, Orientation: EA	AST		
Skyli	ght				
	None Present				
Mecl	nanical Ventilation				
	None Present				
Mecl	nanical Equipment				
	Water Heater • Electric • 100% Hot Water Load @ 0.93 UEF				
	Heat Pump / All • Electric • 100% Heating Load @ 8.2 HSPF, 100% Cooling Load @ 14 SEER				
Air L	eakage Control				
	Test Status: Blower-door tested House is air-sealed as to achieve 1,0	044 CFM50 (5.00 ACH50) or less at	t final blower-door test.		
	Infiltration Requirements for IECC in	n Climate Zone 4			
	2009 IECC Infiltration limit for	or the design home is 7 ACH50.			
	2012 IECC Infiltration limit for	or the design home is 3 ACH50.			
	2015 IECC Infiltration limit for	or the design home is 3 ACH50.			
	2018 IECC Infiltration limit for	or the design home is 3 ACH50.			
		or the design home is 5 ACH50.			
		or the design home is 4 ACH50.			
	Note: Under IECC 2021 a	nd later, this home is considered	to be in Climate Zone 3		

Property

TBD Lillington, NC 27546

Model: 1340 Lucas B1_TH-EndUnit_3

Community: Buies Creek

Organization

Performance Point, LLC. Rodrigo Torres

Buies Creek 8

True_Buies Creek 8_1340 Lucas B1_TH-En

Inspection Status Results are projected

Builder

True Homes

Duct Leakage

Duct System 1

NOT entirely within conditioned space, testing required

Leakage to Outside specified as: 4 CFM25 / 100 ft²

Total Leakage specified as: 4 CFM25 / 100 ft² (Post-Construction)

Duct Leakage Code Requirements for IECC

2009 IECC:

Postconstruction Leakage Test: Duct Leakage to Outdoors <= 8 CFM25 / 100 sq ft CFA.

Rough in Test with AHU: Total Duct Leakage <= 6 CFM25 / 100 sq ft CFA.

Rough in Test without AHU: Total Duct Leakage <= 4 CFM25 / 100 sq ft CFA.

2012 IECC Mandatory, 2015, 2018, & 2021 IECC Prescriptive Paths:

Postconstruction Leakage Test: Total Duct Leakage <= 4 CFM25 / 100 sq ft CFA.

Rough in Test with AHU: Total Duct Leakage <= 4 CFM25 / 100 sq ft CFA.

Rough in Test without AHU: Total Duct Leakage <= 3 CFM25 / 100 sq ft CFA.

* Note: IECC 2021 requires Total Duct Leakage <= 8 CFM25 / 100 sq ft CFA when all ducts and air handlers are within the building thermal envelope.

2015 and 2018 IECC Performance Paths (Cost Compliance):

Leakage testing is required UNLESS all ducts and air handlers are located entirely within the thermal envelope. There is no pass/fail threshold for duct leakage on the performance path.

Project Notes

EP 9/30/2025 Performance Report Worst Orientation Lot 1 (W) SC_10/1/2025_QC

True 1340 Lucas B1 TH-EndUnit 3

Energy Specifications Label

TBD

Model: 1340 Lucas B1_TH-EndUnit_3 Ekotrope RATER - Version: 5.1.0.3720

Building Envelope Specs

Ceiling: R-38

Above Grade Walls: R-15 Foundation Walls: N/A Exposed Floor: N/A

Slab: R-10

Infiltration: 5 ACH50

Duct Insulation: Supply: R8, Return: R8 Duct Lkg to Outdoors: 4 CFM25 / 100 ft²

Window & Door Specs

U-Value: 0.3, SHGC: 0.22

Door: R-7

Mechanical Equipment Specs

Heating: Air Source Heat Pump • Electric • 8.2 HSPF Cooling: Air Source Heat Pump • Electric • 14 SEER Hot Water: Residential Water Heater • Electric • 0.93 UEF

Average Mechanical Ventilation: 0 CFM

Builder or Design Professional

Signature: _

Builder Affidavit

Property

TBD

Lillington, NC 27546

Model: 1340 Lucas B1_TH-EndUnit_3 Community: Buies Creek

Buies Creek 8

True_Buies Creek 8_1340 Lucas B1_TH-En

Organization

Performance Point, LLC. Rodrigo Torres

Builder

True Homes

Inspection StatusResults are projected

Important Notice to Builder

Builder affirms in this affidavit that all building characteristics described in the Building Summary Report accurately reflect this New Home. Builder agrees to allow the Home Energy Rating System (HERS) Provider and/or Rater to verify building characteristics of this New Home fully at the HERS Rater/Provider's discretion. The HERS Provider and Rater do not create or imply any duty or obligations to Builder or any subsequent owner. Builder is responsible for taking any actions necessary to protect Builder's interest. There is no quarantee or warranty whatsoever expressed or implied from the HERS Provider or Rater.

HERS® Index Score:79

Builder Name: True Home	es	Builder Signature:		
Name:	Rodrigo Torres	Signature:		
Organization:	Performance Point, LLC.	 Digitally signed:	10/1/25 at 3:16 PM	