

TrueHomes

IT'S ALL ABOUT U

HEADER SCHEDULE		
ALL INTERIOR BEARING AND EXTERIOR WALLS		
1. SPANS UP TO 3'-6"	--	(2) 2x8's
2. SPANS 3'-6" TO 6'-6"	--	(2) 2x10's
3. SPANS 6'-6" OR MORE	--	SEE PLAN
** SOUTH CAROLINA SPECIFIC NOTE **		
ALL OPENINGS IN THERMAL ENVELOPE MUST HAVE INSULATED HEADER PER CODE		

EXTERIOR HINGED DOOR SCHEDULE				
DOOR WIDTH		DOOR HEIGHT R.O.		
PLAN I.D.	R.O. WIDTH	8FT CEILING	9FT CEILING	10FT CEILING
3/0	3'-2 1/2"	82'-1/2"	82'-1/2"	98'-1/2"
2/8	2'-10 1/2"			
5/0	5'-3 5/8"			
5/4	5'-7 5/8"			
6/0	6'-3 5/8"			
SLIDING PATIO DOORS				
5/0	4'-11 1/2"	80"	80"	96"
6/0	5'-11 1/2"			

INTERIOR HINGED DOOR SCHEDULE				
DOOR WIDTH		DOOR HEIGHT R.O.		
PLAN I.D.	R.O. WIDTH	8FT CEILING	9FT CEILING	10FT CEILING
1/4	1'-6"	82'-1/2" 82'-1/2" NOMINAL DOOR HEIGHT + 2'-1/2"	82'-1/2" 82'-1/2" NOMINAL DOOR HEIGHT + 2'-1/2"	98'-1/2" 98'-1/2" NOMINAL DOOR HEIGHT + 2'-1/2"
1/6	1'-8"			
1/8	1'-10"			
2/0	2'-2"			
2/4	2'-6"			
2/6	2'-8"			
2/8	2'-10"			
2/10	3'-0"			
3/0	3'-2"	6'-8" 6'-8" NOMINAL DOOR HEIGHT + 2'-1/2"	6'-8" 6'-8" NOMINAL DOOR HEIGHT + 2'-1/2"	8'-0" 8'-0" NOMINAL DOOR HEIGHT + 2'-1/2"
4/0	4'-2"			
5/0	5'-2"			
6/0	6'-2"			
 LOAD BEARING		 NON-LOAD BEARING		

INTERIOR PASS THRU SCHEDULE		
FRAMED OPENING DIMENSIONS		
WALL HEIGHT	R.O. WIDTH	R.O. HEIGHT
8'-1 1/8"	PLAN I.D. + 2"	82'-1/2"
9'-1 1/8"	PLAN I.D. + 2"	94'-1/2"
10'-1 1/8"	PLAN I.D. + 2"	98'-1/2"
ROUGH OPENING HEIGHTS ARE FOR DO, CO, & AO OPENINGS. SHIM HEIGHTS AS NEEDED TO MATCH INTERIOR HINGED DOOR CASING		
INTERIOR DOORWAY OPENINGS: DO = DRYWALL OPENING CO = CASED OPENING AO = ARCHED OPENING		

GENERAL NOTES	
1.	PLANS PERMITTED IN NORTH CAROLINA ARE DESIGNED TO MEET THE 2018 NORTH CAROLINA RESIDENTIAL BUILDING CODE, AS ISSUED BY THE STATE OF NORTH CAROLINA; AND PLANS PERMITTED IN SOUTH CAROLINA DESIGNED TO MEET 2021 SOUTH CAROLINA RESIDENTIAL BUILDING CODE AS ISSUED BY THE STATE OF SOUTH CAROLINA, WITH MODIFICATIONS AS REQUIRED TO MEET LOCAL BUILDING CODES FOR EACH APPLICABLE JURISDICTION.
2.	DO NOT SCALE DIMENSIONS FROM PRINTS. USE DIMENSIONS GIVEN OR CONSULT ARCHITECTURAL SERVICES DEPARTMENT FOR FURTHER CLARIFICATION.
3.	ALL DIMENSIONS ARE FROM WALL FRAMING (FACE OF STUD), NO FINISHED DIMENSIONS ARE GIVEN U.N.O.
4.	ALL INTERIOR NON-LOAD BEARING WALLS TO BE 2x4 STUDS @ 24" O.C. (U.N.O.). <u>OR</u> AS SPECIFIED PER COMMUNITY SPECS & MUNICIPALITY REQUIREMENTS.
5.	ALL STRUCTURAL FRAMING LUMBER EXPOSED DIRECTLY TO THE WEATHER OR BEARING DIRECTLY ON MASONRY OR CONCRETE SHALL BE TREATED. ALL WOOD IN CONTACT WITH THE GROUND MUST BE GROUND-CONTACT APPROVED. ALL WOOD EXPOSED DIRECTLY TO THE WEATHER SHALL BE PROTECTED TO PREVENT THE OCCURRENCE OF ROT.
6.	ALL ANGLED WALLS ARE AT 45 DEGREES UNLESS NOTED OTHERWISE.
7.	REFER TO QUALITY STANDARDS AND/OR MANUFACTURER SPECS FOR WINDOW ROUGH OPENING SIZES. SEE ELEVATIONS FOR WINDOW HEADER HEIGHTS (U.N.O.).
8.	PROVIDE BLOCKING ABOVE WINDOWS AND DOORS 16" O.C.
9.	PROVIDE EXTRA STUDS AS INDICATED AT BEAM BEARING LOCATIONS.
10.	WALLS TO BE FRAMED WITH STUDS AT 16" O.C. AT KITCHEN & BATH WALLS WITH CABINETS AND AT TUB/SHOWER LOCATIONS (PER MANUF.).
11.	ALL COMMON CEILING BETWEEN GARAGE TO HOUSE PROVIDE 5/8" TYPE X GWB PER GARAGE SEPARATION REQUIREMENTS PER CODE. ALL JOINTS TO BE TAPED & MUDDED FOR FIRE SEPARATION. ALL STRUCTURES SUPPORTING FLOOR/CEILING ASSEMBLIES USED FOR SEPARATION REQUIRE NOT LESS THAN ½" GYP OR EQ. PER SECTION R302.6
12.	SEPARATE GARAGE FROM ATTIC WITH 5/8" TYPE X GWB SCUTTLE MINIMUM AND 2X SCUTTLE FRAMING MATERIAL.
13.	HEEL HEIGHTS: SEE ELEVATIONS SHEETS FOR TOP OF FASCIA DIMENSIONS TO GATHER PROPER HEEL HEIGHT REQUIREMENTS.
14.	PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES AND PER MANUFACTURER SPECS.
15.	PROVIDE 1 ½" FLAT WALL FRAMING FOR ALL HVAC CHASES UNLESS NOTED OTHERWISE. SEE FRAMING SHEET GN FOR ADDITIONAL NOTES PER LOCAL CODES.
16.	TYPICAL DOOR OFFSET FROM PERPENDICULAR WALL U.N.O. = 4" FOR ANSWER, INTEGRITY, ELEMENTS, & TRIBUTE <u>OR</u> TYPICAL DOOR OFFSET FROM PERPENDICULAR WALL U.N.O. = 6" FOR TRADITIONS COLLECTION <u>OR</u> DOOR OFFSET CENTERED IN THE WALL UNLESS NOTED OTHERWISE
17.	ALL HOMES TREATED WITH BORA-CARE TERMITE TREATMENT.
18.	SMURF DOORS ARE 21 1/2" x 39" NOMINAL (R.O. 22 1/2" x 40").
19.	DIMENSION AND NOTATIONS ON PLANS HAVE PREFERENCE OVER GRAPHIC DEPICTIONS AND SHOULD BE UTILIZED TO SETTLE ANY DISCREPANCIES - ANY DISCREPANCIES FOUND SHOULD BE FORWARDED TO THE ARCHITECTURAL SERVICES DEPARTMENT FOR RESOLUTION. (ATTN: TRUE HOMES FIELD ASSOC. IF YOU HAVE READ THIS FAR, PLEASE CALL CAD HOTLINE FOR PRIZE)
20.	TYPICAL FOUNDATION AND ENGINEERING CONSTRUCTION DETAILS ARE SHOWN IN RESPECTIVE PLANS. TYPICAL DETAILS SHALL APPLY TO ALL SITUATIONS OCCURRING ON THE PLAN THAT ARE THE SAME OR SIMILAR TO THOSE SPECIALLY DETAILED. THE APPLICABILITY OF THE DETAIL TO ITS LOCATION ON THE DRAWINGS CAN BE DETERMINED BY THE TITLE OF THE DETAIL. SUCH DETAILS SHALL APPLY WITHER OR NOT THEY ARE REFERENCED AT EACH LOCATION.
21.	ALL CONSTRUCTION SPECIFICATION NOT COVERED ON THIS SHEET, OR IN PLAN SETS AND GENERAL SPECIFICATIONS, ARE TO MEET ALL APPLICABLE STATE AND LOCAL BUILDING CODES.
22.	HOUSE CONSTRUCTION IS TYPICAL 2x4 STUDS AT 16" O.C. AT ALL EXTERIOR WALLS UNLESS OTHERWISE NOTED. WALLS THAT ARE TO BE BALLOON FRAMED OR CONSTRUCTED WITH 2X6 STUDS WILL BE NOTED AS SUCH. ALL BASEMENT FRAMED WALLS TO BE 2x4 STUDS FOR ONE-STORY PLANS AND 2X6 STUDS FOR LOAD BEARING WALLS ON TWO-STORY PLANS UNLESS OTHERWISE NOTED.
23.	TRUE HOMES RESERVES THE RIGHT TO MAKE MODIFICATIONS TO FLOOR PLANS, DIMENSIONS, MATERIALS, AND SPECIFICATIONS WITHOUT NOTICE. THESE DRAWINGS ARE FOR THE PURPOSE OF CONVEYING AN ARCHITECTURAL CONCEPT ONLY.

DESIGN CRITERIA	
1.	DESIGN LOADS ARE ALL DEAD LOADS PLUS:
A.	SLEEPING ROOMS.....30 PSF
B.	ALL OTHER FLOORS.....40 PSF
C.	BALCONIES.....40 PSF
D.	ATTIC FLOOR LIVE LOADING WITH THE FOLLOWING:
i.	AREA ACCESSIBLE BY STAIRS.....40 PSF
ii.	ROOF SLOPES >3:12.....20 PSF
iii.	ROOF SLOPES <3:12.....10 PSF
E.	ROOF LIVE LOAD.....20 PSF
F.	WIND LOAD.....120 MPH
G.	SNOW LOAD.....20 PSF
H.	SEISMIC ZONE.....B
I.	DESIGN IS COMPLIANT WITH 2018 NCRC ENERGY CODE N1102.2 PRESCRIPTIVE FOR CLIMATE ZONE 4A

REVISION LOG	
1. DATE:	DRAWN BY:
2. DATE:	DRAWN BY:
3. DATE:	DRAWN BY:
4. DATE:	DRAWN BY:

BUIES CREEK TOWNHOMES

THE 'LUCAS TH'

LOTS 1-8		INTEGRITY COLLECTION	
ADDRESS LILLINGTON, NC		HELP HOTLINES	TABLE OF CONTENTS
COMMUNITY SPECS (Detailed listing of all Community Specifications can be found in Showroom Selections)		"WHEN IN DOUBT, GIVE US A SHOUT" TRUE BUILDER: (To be filled in by Builder on site)	CS COVER SHEET
		NAME: _____	SF1 SLAB FORMWORK PLAN
- MONO FOUNDATION w/ INSULATION - VINYL SIDING - CEMENT SOFFIT - CEMENT PORCH CEILINGS - ALUMINUM COIL WRAPPED 6" FASCIA - HVAC LOCATION REAR		NUMBER: _____	S1 MONO FOUNDATION PLAN
		ARCHITECTURAL SERVICES:	S2 LOWER LEVEL FRAMING PLAN
NORTH CAROLINA PROFESSIONAL SEAL 29249 8/25/25 KEVIN P. MUNSON REGISTERED PROFESSIONAL ENGINEER		• Missing or Conflicting Dimensions • Plan Legibility • Missing Options	S2.1 LOWER LEVEL BRACED WALL PLAN
		Mon-Fri: 8am - 5pm CHARLOTTE MKTS: 704-681-2032 ALL OTHER MKTS: 704-993-1861 E-mail: CADISSUE@truehomesusa.com	S3 UPPER LEVEL FRAMING PLAN
NORTH CAROLINA RESIDENTIAL STRUCTURES, P.C. No. C3295 CERTIFICATE OF AUTHORIZATION		ESTIMATING:	S3.1 UPPER LEVEL BRACED WALL PLAN
		• Missing Material or Shortage • Purchase Order Questions	A1 LOWER LEVEL FLOOR PLAN
RESIDENTIAL STRUCTURES, P.C. 3410 N. Davidson St. Charlotte, N.C. 28209 Seal For Structural Only		Mon-Fri: 8am - 5pm ALL MKTS: 704-681-4916	A2 UPPER LEVEL FLOOR PLAN
		NOTICE TO CONTRACTOR: All construction shall comply with current local building codes and is subject to field inspection and verification. APPROVED Contract Building and related Permit holder responsible for full compliance with this code. 10/09/2025 Harnett COUNTY NORTH CAROLINA	A4.1 FRONT ELEVATIONS
SQ. FOOTAGE		LOWER LEVEL	680 SQ.FT.
		UPPER LEVEL	680 SQ.FT.
FRONT PORCH (FULL)		TOTAL LIVABLE	1360 SQ.FT.
		FRONT PORCH (PARTIAL)	108 SQ.FT.
FRONT PORCH (PARTIAL)		REAR PATIO	24 SQ.FT.
			100 SQ.FT.

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Monroe, N.C. 28110
704-271-1191

BUIES CREEK TOWNHOMES
8 UNIT
LOTS 1-8

LUCAS TH
1340

HARNETT COUNTY

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PREPARED BY:
Michael

DATE:
8.19.25

SCALE:
AS SHOWN

REVIEWED BY:
Chuck

SHEET:
CS

NOTE:
1. THIS PLAN IS FOR PURPOSES OF ESTABLISHING
ACCURATE FORMWORK FOR EXECUTION OF
CONCRETE SLAB POUR.
2. DIMENSIONS ARE TO SLAB CORNERS WHETHER
INTERIOR OR EXTERIOR.
3. THIS PLAN IS CONSIDERED NON-STRUCTURAL.

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SCALE:

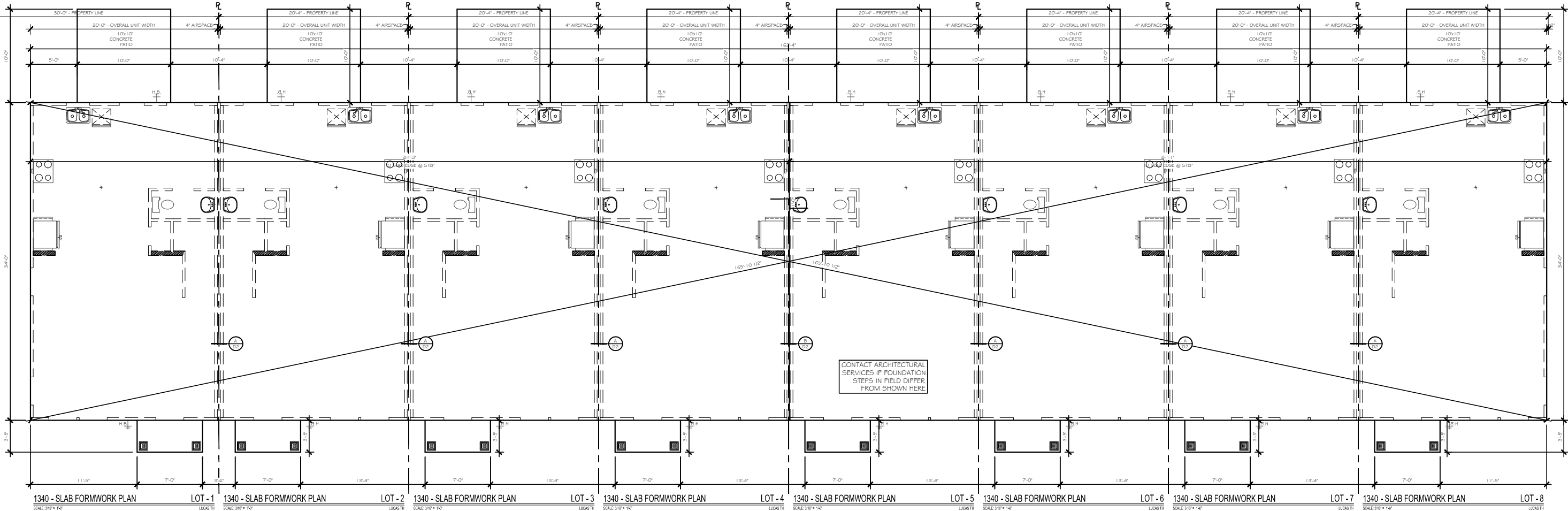
AS SHOWN

REVIEWED BY:

Chuck

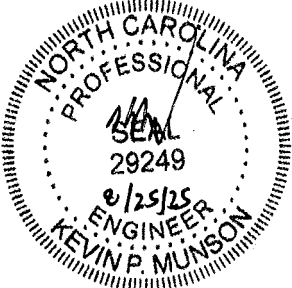
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SF1



KEYNOTE	SIZE
A	18"x18"x8" w/3-#4's E.W.
B	24"x24"x12" w/4-#4's E.W.
C	30"x30"x12" w/4-#4's E.W.
D	36"x36"x12" w/4-#4's E.W.
E	48"x48"x12" w/6-#4's E.W.
F	36"x60"x12" w/4's @ 6" O.C. E.W.

- NOTE:
1. OUTSIDE DIMENSIONS ARE TO FOUNDATION CORNERS AND MASONRY OPENINGS.
 2. INSIDE DIMENSIONS ARE FROM FACE OF AREA SEPARATION WALL (BETWEEN UNITS) TO CENTER OF APPLIANCES, FIXTURES AND FOOTINGS.



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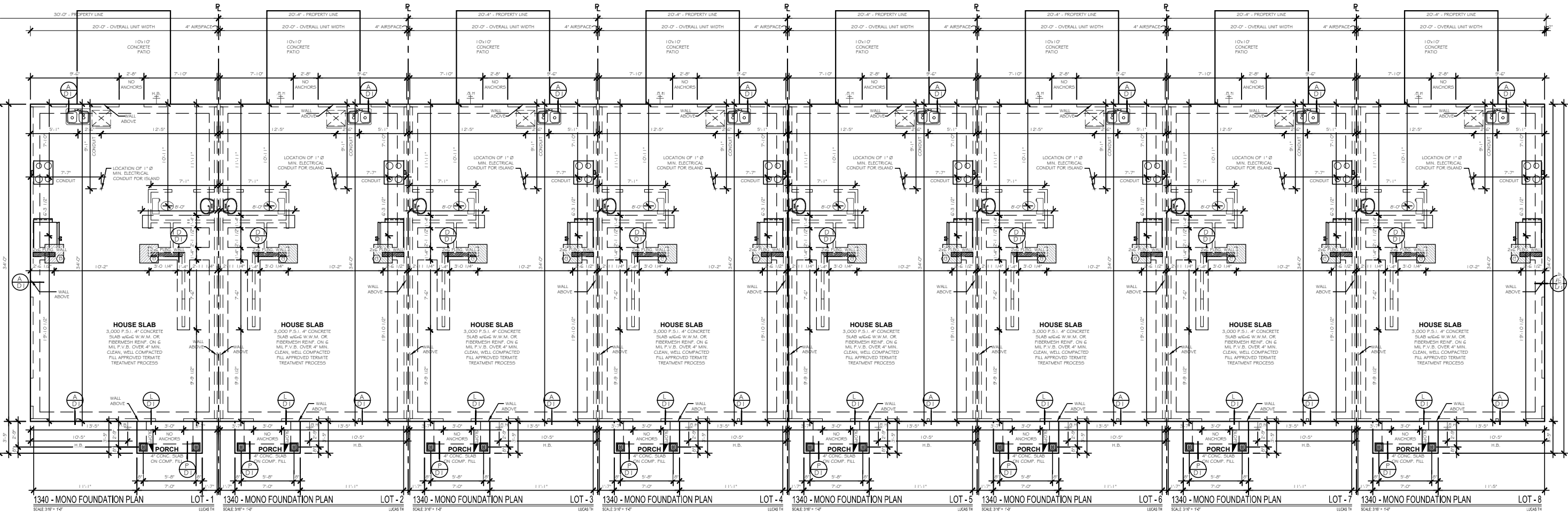
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REVIEWED BY:

Chuck

SHEET:

S1

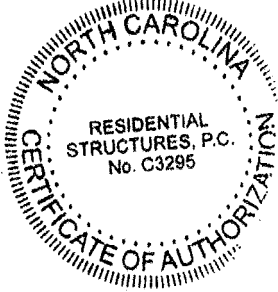
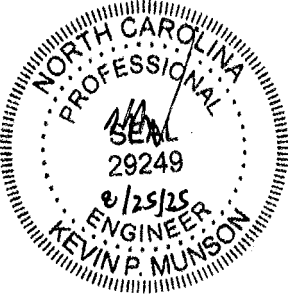


POST SCHEDULE		**SEE COVER PAGE FOR** ROUGH OPENING DIMENSIONS
2x4 STUDS	2x6 STUDS	
		
EX: (2) 2X4	EX: (2) 2X6	
NUMBER INSIDE CALLOUT INDICATES TOTAL NUMBER OF STUDS.		
4X4 POST	6X6 POST	
		
LETTER 'P' INSIDE CALLOUT INDICATES A SOLID 4x4 or 6x6 POST		
		KING / JACK STUD SCHEDULE
		 (2) JACKS
		 (1) JACK & (1) KING
		 (1) JACK & (2) KINGS
		 (1) JACK & (3) KINGS
		 (2) JACKS & (1) KING
		 (2) JACKS & (2) KINGS
		 (2) JACKS & (3) KINGS
		 (3) JACKS & (3) KINGS
		 (4) JACKS & (4) KINGS

STRUCTURAL LEGEND	
	BEARING WALL
	METHOD GB OF 2015 IRC
	BEARING WALL W/ METHOD GB OF 2015 IRC
	CENTER OF BEAM / JOIST / GIRDER TRUSS
	USP LSTA24 HOLDDOWN OR EQ.
	USP DTB-TZ HOLDDOWN OR EQ.

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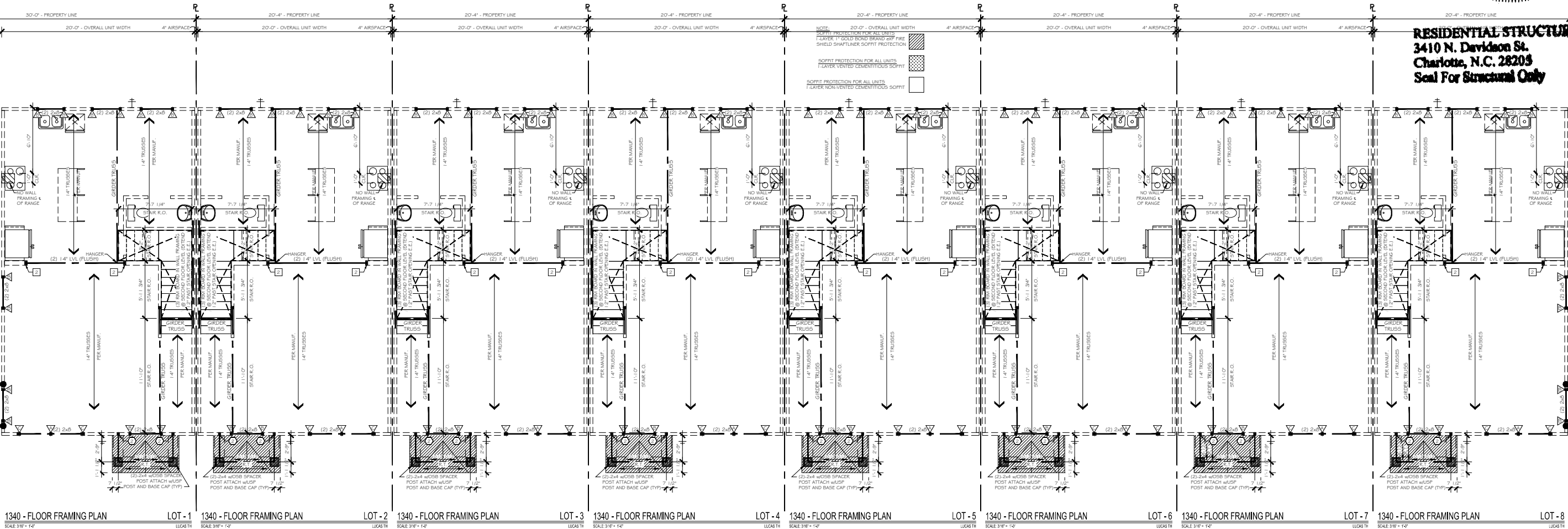
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PREPARED BY:
Michael
DATE:
8.19.25
SCALE:
AS SHOWN
REVIEWED BY:
Chuck

SHEET:
S2



WALL BRACING NOTES:

THIS STRUCTURE HAS BEEN ANALYZED BY A PROFESSIONAL ENGINEER FOR LATERAL LOADING. IT HAS BEEN DESIGNED USING CONTINUOUSLY SHEATHED 7/16" OSB SHEATHING, FASTENED AT 6" O.C. ALONG THE EDGES AND 12" O.C. ALONG THE INTERIOR (w/6d common nails or 8d-2 1/2" long x 0.113" diameter-nails) TO MEET OR EXCEED THE INTENT OF THE 2018 NC RESIDENTIAL BUILDING CODE. BLOCKING SHALL BE PROVIDED AT ALL PANEL EDGES. ALL INTERIOR WALLS (WHERE NOTED) SHOULD BE METHOD GB AND FASTENED WITH 5d COOLER NAILS OR #6 SCREWS AT 7" ALONG THE EDGES AND 7" FIELD. ALL INTERIOR COMMON WALLS (PARTY WALLS) SHOULD BE METHOD GB 1-SIDE FASTENED WITH 5d COOLER NAILS OR #6 SCREWS AT 7" ALONG THE EDGES AND 7" FIELD. ANY METHODS THAT DEVIATE FROM THE ABOVE ARE NOTED ON THE PLAN SET. WHERE WALL LINES REQUIRE FURTHER REINFORCEMENT, ADDITIONAL BRACING METHODS, ENGINEERED WALL SECTIONS AND HOLD DOWNS HAVE BEEN INCLUDED TO RESIST THE LATERAL LOADS. CONTINUITY TO BE PROVIDED BETWEEN UNITS.

WALL BRACING NOTE

- 115 MPH WIND ZONE - EXP. B
- 8, 9 OR 10 FT. WALL HEIGHT
- ENGINEERED WALL BRACING DESIGN MEETS OR EXCEEDS THE INTENT OF THE: 2018 IRC

METHOD	MATERIAL	FASTENER SPACING
CS-WSP	MIN. 3/8" OSB	6" EDGES, 12" FIELD
GB	MIN. 1/2" GYP	7" EDGES, 7" FIELD

ALL WOOD STRUCTURAL PANEL BRACING SHALL BE ATTACHED TO FRAMING OR BLOCKING, EXCEPT GB BRACING. HORIZONTAL JOINTS SHALL NOT BE REQD TO BE BLOCKED WHEN JOINTS ARE FINISHED.

STRUCTURAL LEGEND

BEARING WALL

METHOD GB OF 2015 IRC

BEARING WALL W/ METHOD GB OF 2015 IRC

CENTER OF BEAM / JOIST / GIRDER TRUSS

USP LSTA24
HOLDDOWN OR EQ.

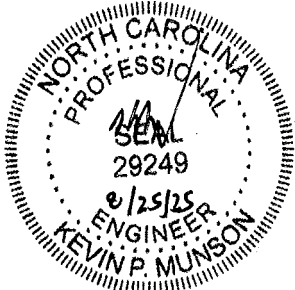
USP DTB-TZ
HOLDDOWN OR EQ.

BWL GB (2-SIDED) = WALL BRACING METHOD GB OF 2015 IRC (2 SIDE)

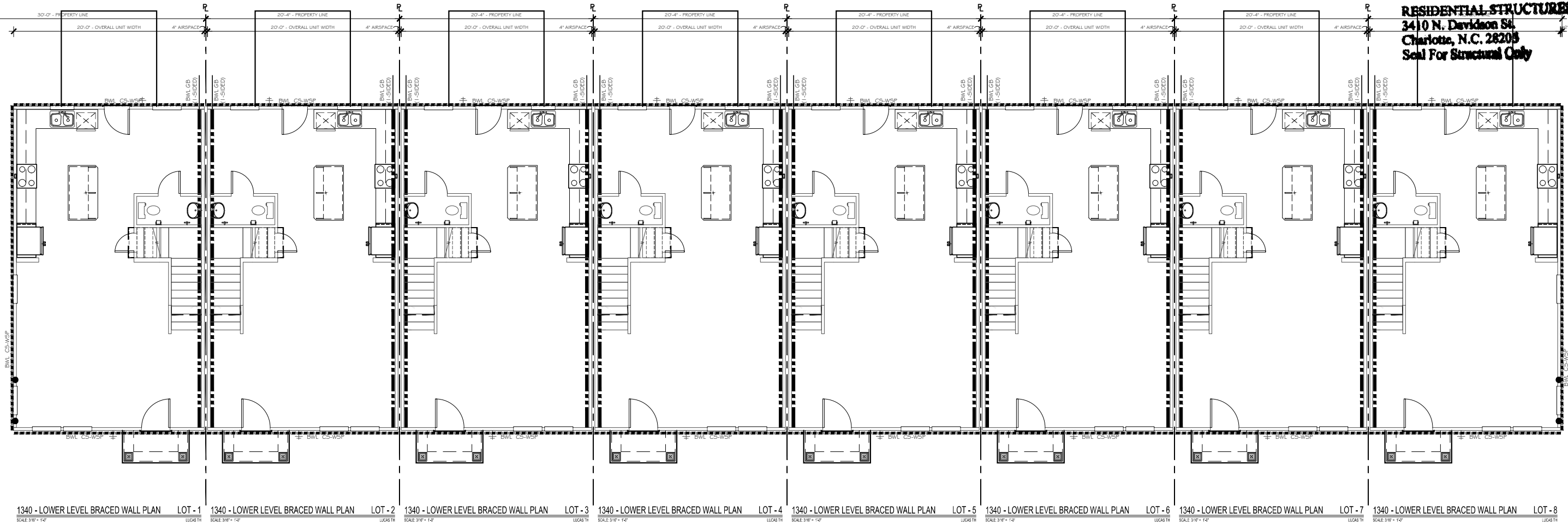
BWL GB (1-SIDED) = WALL BRACING METHOD GB OF 2015 IRC (1 SIDE)

BWL CS-WSP = WALL BRACING METHOD CS-WSP OF 2015 IRC

**INSTALL AN EXTRA JOIST BELOW ALL PARALLEL PARTITION WALLS, U.N.O.



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PREPARED BY:
Michael

DATE:
8.19.25

SCALE:
AS SHOWN

REVIEWED BY:
Chuck

SHEET:

S2.1

POST SCHEDULE		**SEE COVER PAGE FOR** ROUGH OPENING DIMENSIONS	
2x4 STUDS	2x6 STUDS	KING / JACK STUD SCHEDULE	
			(2) JACKS
EX: (2) 2X4	EX: (2) 2X6		(1) JACK & (1) KING
NUMBER INSIDE CALLOUT INDICATES TOTAL NUMBER OF STUDS.			(1) JACK & (2) KINGS
4X4 POST	6X6 POST		(1) JACK & (3) KINGS
			(2) JACKS & (1) KING
LETTER 'P' INSIDE CALLOUT INDICATES A SOLID 4x4 or 6x6 POST			(2) JACKS & (2) KINGS
			(2) JACKS & (3) KINGS
			(3) JACKS & (3) KINGS
			(4) JACKS & (4) KINGS

STRUCTURAL LEGEND	
	BEARING WALL
	METHOD GB OF 2015 IRC
	BEARING WALL W/ METHOD GB OF 2015 IRC
	CENTER OF BEAM / JOIST / GIRDER TRUSS
	USP LSTA24 HOLDDOWN OR EQ.
	USP DTB-TZ HOLDDOWN OR EQ.

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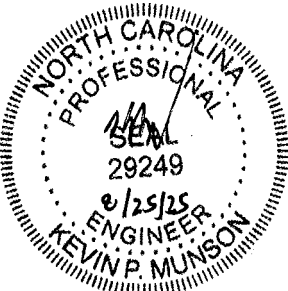
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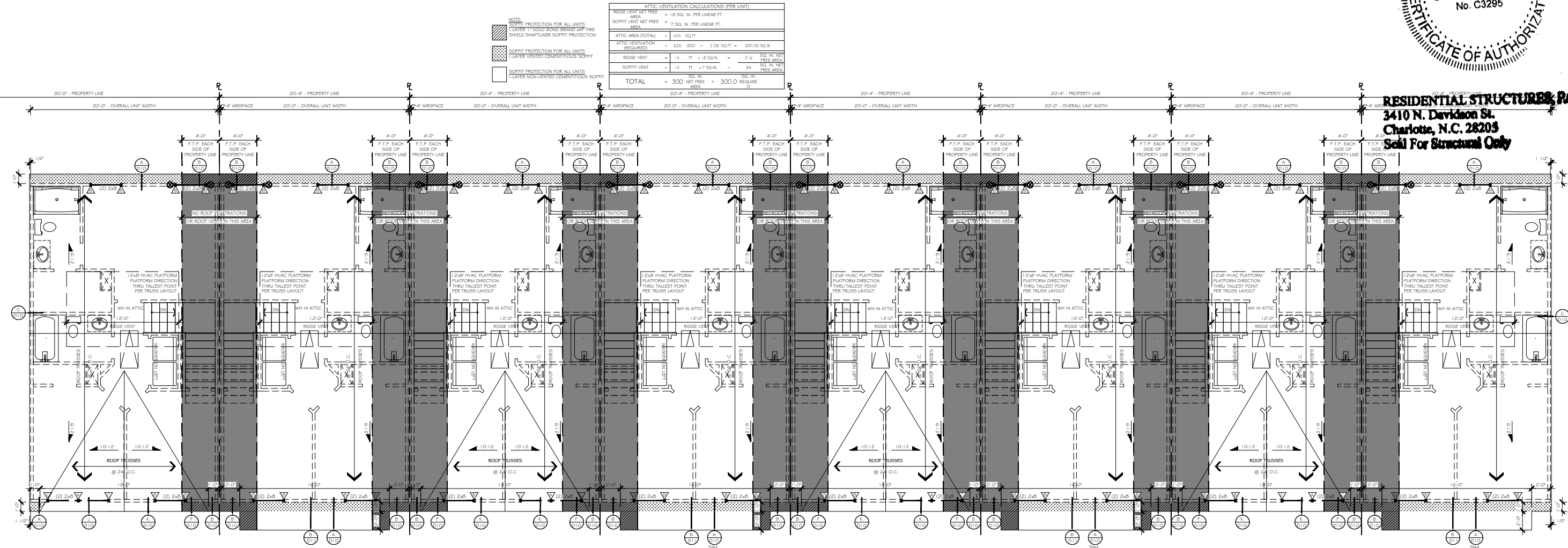
Chuck

SHEET:

S3



RESIDENTIAL STRUCTURES, P.C.
3410 N. Davidson St.
Charlotte, N.C. 28205
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1340 - ROOF FRAMING PLAN

LOT - 1 1340 - ROOF FRAMING PLAN

LOT - 2 1340 - ROOF FRAMING PLAN

LOT - 3 1340 - ROOF FRAMING PLAN

LOT - 4 1340 - ROOF FRAMING PLAN

LOT - 5 1340 - ROOF FRAMING PLAN

LOT - 6 1340 - ROOF FRAMING PLAN

LOT - 7 1340 - ROOF FRAMING PLAN

LOT - 8

WALL BRACING NOTES:

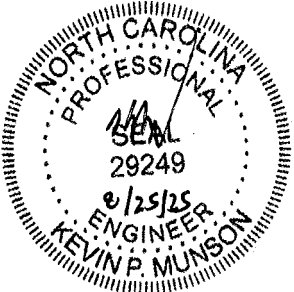
THIS STRUCTURE HAS BEEN ANALYZED BY A PROFESSIONAL ENGINEER FOR LATERAL LOADING. IT HAS BEEN DESIGNED USING CONTINUOUSLY SHEATHED 7/16" OSB SHEATHING, FASTENED AT 6" O.C. ALONG THE EDGES AND 12" O.C. ALONG THE INTERIOR (w/6d common nails or 8d-2 1/2" long x 0.113" diameter-nails) TO MEET OR EXCEED THE INTENT OF THE 2018 NC RESIDENTIAL BUILDING CODE. BLOCKING SHALL BE PROVIDED AT ALL PANEL EDGES. All INTERIOR WALLS (WHERE NOTED) SHOULD BE METHOD GB AND FASTENED WITH 5d COOLER NAILS OR #6 SCREWS AT 7" ALONG THE EDGES AND 7" FIELD. All INTERIOR COMMON WALLS (PARTY WALLS) SHOULD BE METHOD GB 1-SIDE FASTENED WITH 5d COOLER NAILS OR #6 SCREWS AT 7" ALONG THE EDGES AND 7" FIELD. ANY METHODS THAT DEVIATE FROM THE ABOVE ARE NOTED ON THE PLAN SET. WHERE WALL LINES REQUIRE FURTHER REINFORCEMENT, ADDITIONAL BRACING METHODS, ENGINEERED WALL SECTIONS AND HOLD DOWNS HAVE BEEN INCLUDED TO RESIST THE LATERAL LOADS. CONTINUITY TO BE PROVIDED BETWEEN UNITS.

WALL BRACING NOTE		
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GB	MIN. 1/2" GYP	7" EDGES, 7" FIELD
ALL WOOD STRUCTURAL PANEL BRACING SHALL BE ATTACHED TO FRAMING OR BLOCKING, EXCEPT GB BRACING. HORIZONTAL JOINTS SHALL NOT BE REQD TO BE BLOCKED WHEN JOINTS ARE FINISHED.		

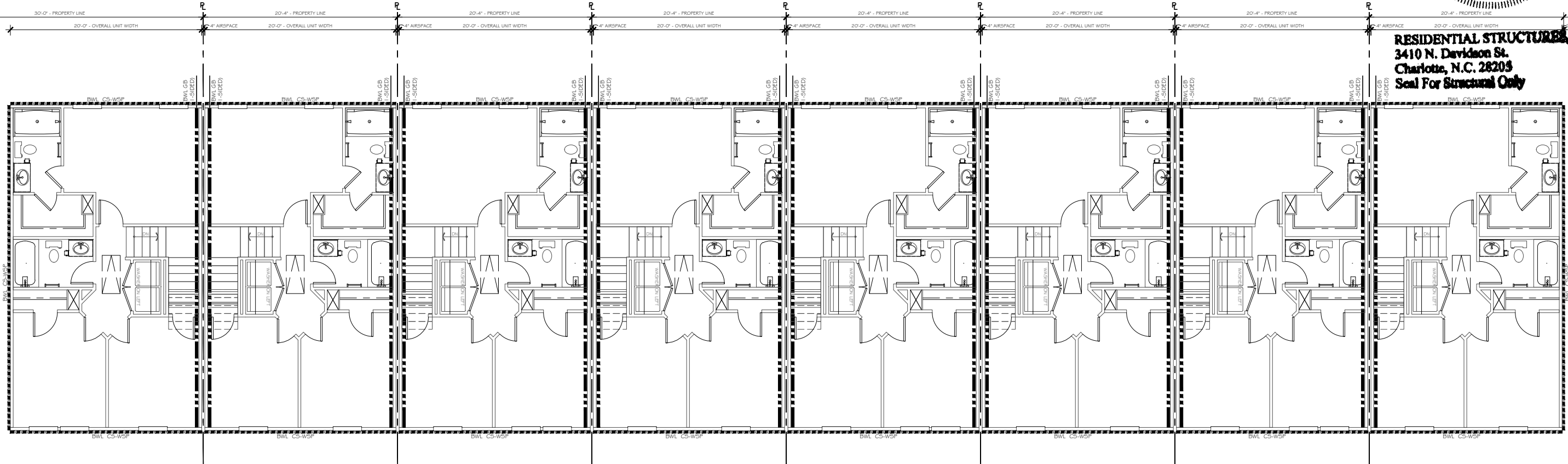
BWL GB (2-SIDED) = WALL BRACING METHOD GB OF 2015 IRC (2 SIDE)
BWL GB (1-SIDED) = WALL BRACING METHOD GB OF 2015 IRC (1 SIDE)
BWL CS-WSP = WALL BRACING METHOD CS-WSP OF 2015 IRC

**INSTALL AN EXTRA JOIST BELOW ALL PARALLEL PARTITION WALLS, U.N.O.

STRUCTURAL LEGEND	
	BEARING WALL
	METHOD GB OF 2015 IRC
	BEARING WALL W/ METHOD GB OF 2015 IRC
	CENTER OF BEAM / JOIST / GIRDER TRUSS
	USP LSTA24 HOLDDOWN OR EQ.
	USP DTB-TZ HOLDDOWN OR EQ.



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BUIES CREEK
TOWNHOMES
8 UNIT
LOTS 1-8

LUCAS TH
1340

HARNETT COUNTY

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PREPARED BY:
Michael
DATE:
8.19.25
SCALE:
AS SHOWN
REVIEWED BY:
Chuck

SHEET:
S3.1

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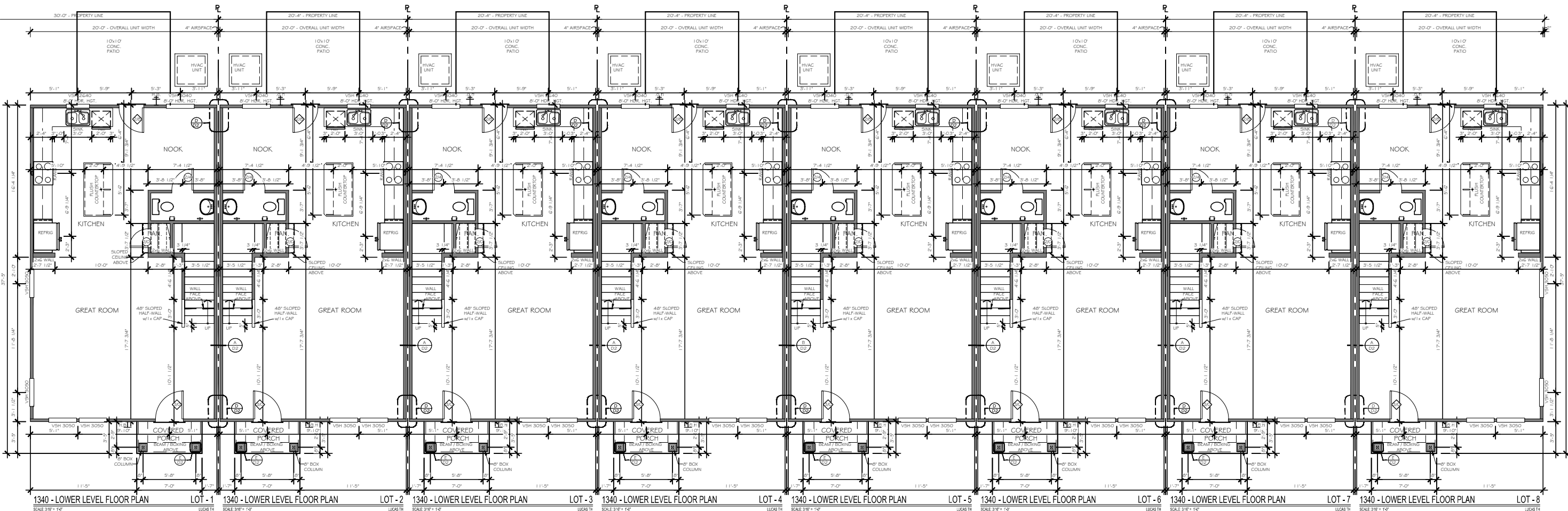
AS SHOWN

REVIEWED BY:

Chuck

SHEET:

A1



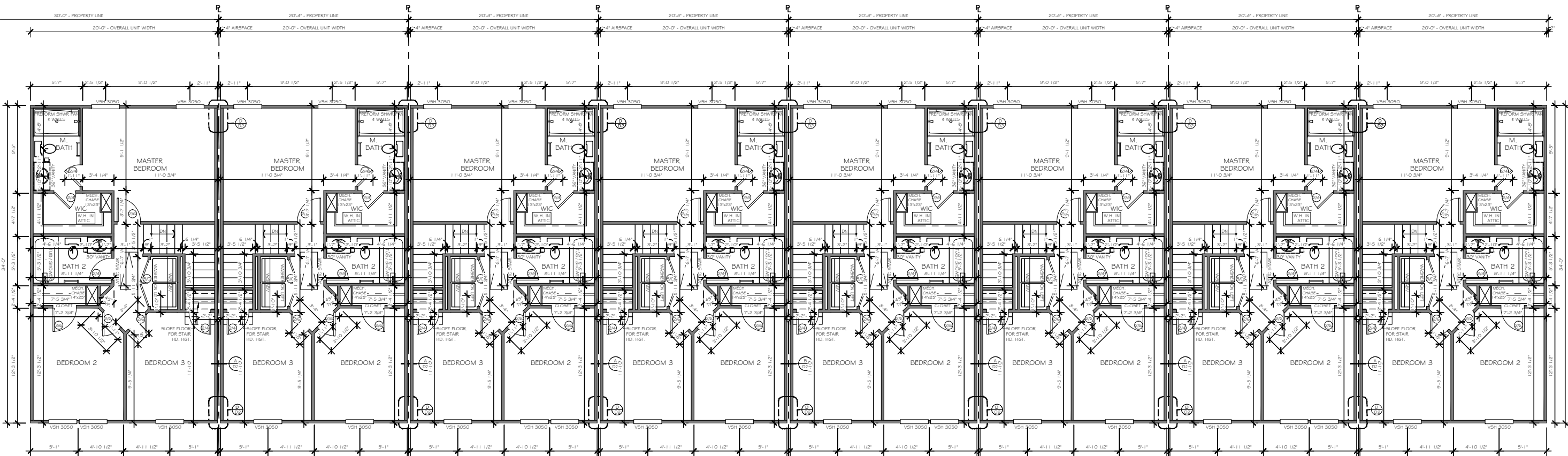
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SHEET:
A2



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TOWNHOMES
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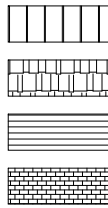
SHEET:

A4.1

SEE ROOF FRAMING PLANS
FOR OVERHANG DIMENSIONS
AND DORMER LOCATIONS

1x4 TRIM WHERE SHOWN AT
WINDOWS AND DOORS
UNLESS OTHERWISE NOTED

EXTERIOR MATERIAL
LEGEND



B-N-B SIDING

SHAKE SIDING

HORIZONTAL SIDING

BRICK

STONE

METAL ROOF

ROOF SHINGLE

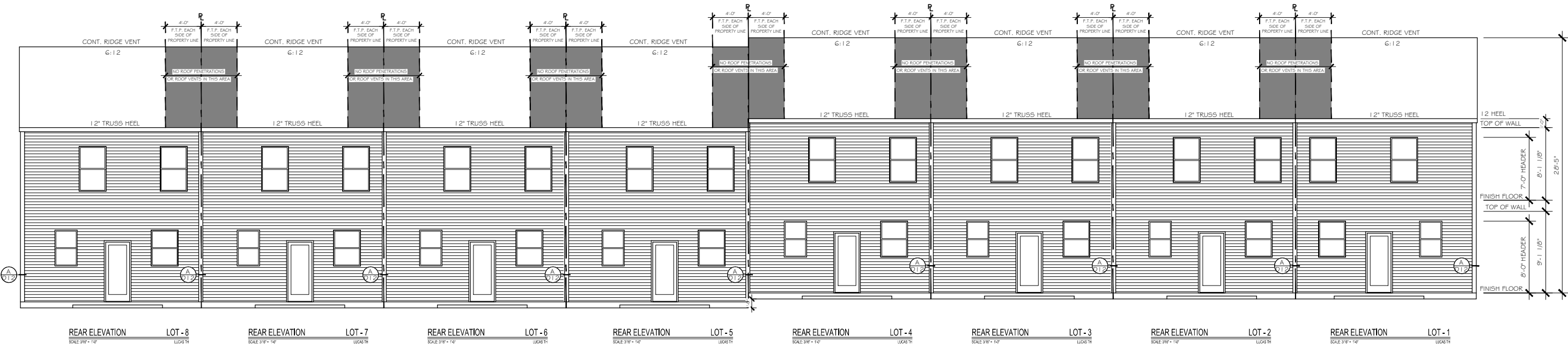
SCALLOP SIDING

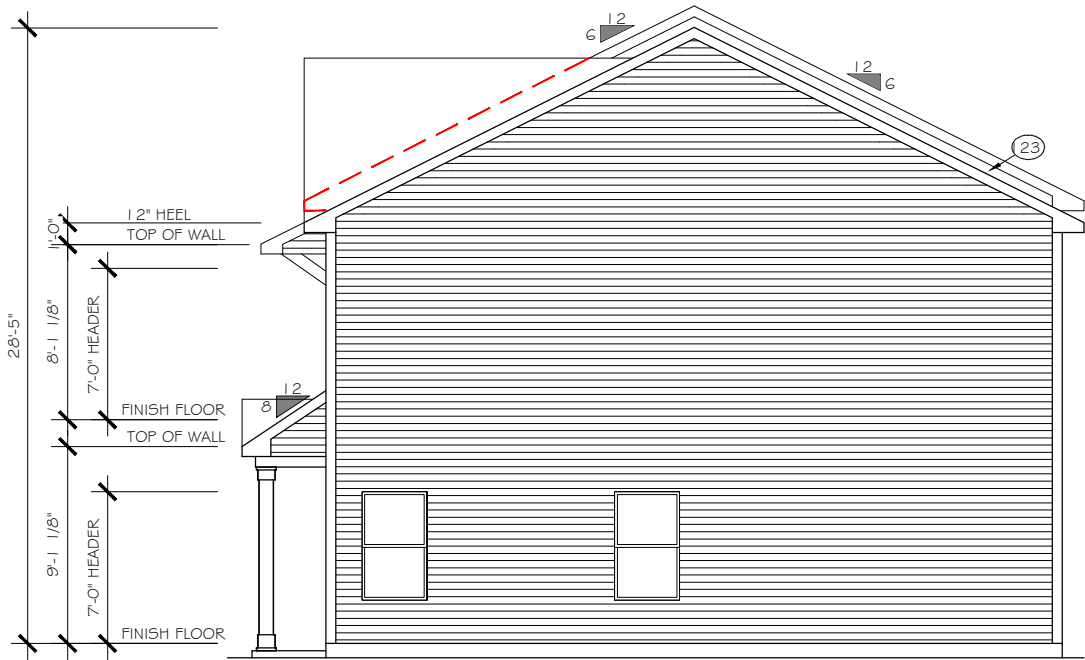
KEY NOTES

- FLASHING
- VINYL SHUTTER
- BRICKMOLD TRIM
- 1X4 TRIM BOARD
- 1X6 TRIM BOARD
- 1X8 TRIM BOARD
- 1X10 FRIEZE BOARD
- 1-1/2" THICK STONE CAP
- ROWLOCK SILL
- BRICK JACK ARCH
- SOLDIER COURSE
- PRECAST KEYSTONE

ELEVATION CODE

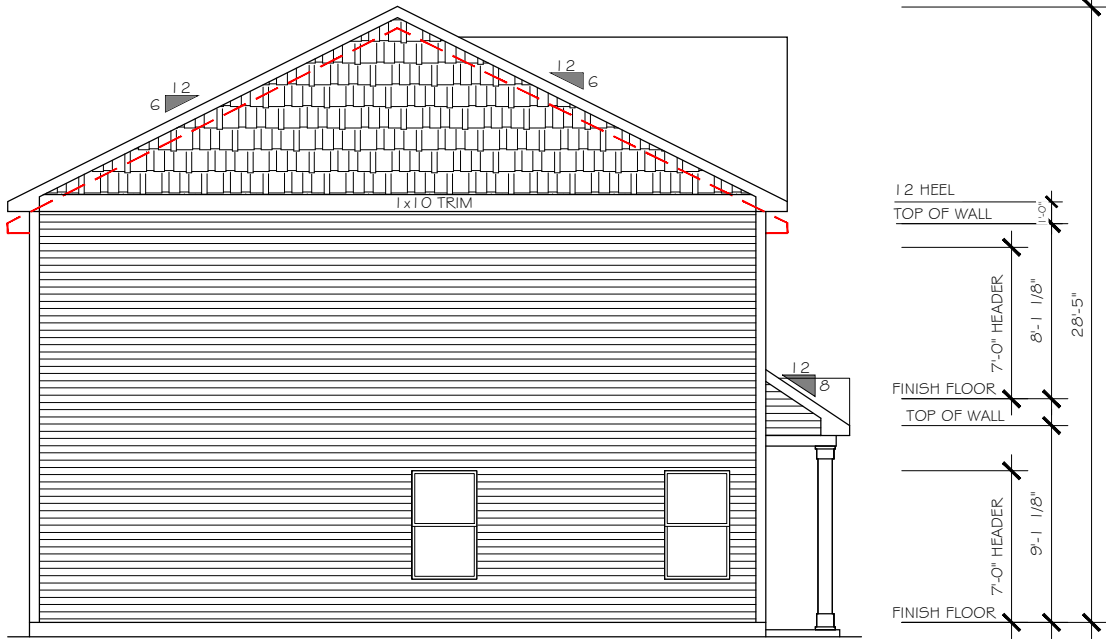
EXTERIOR UNIT	A # B
INTERIOR UNIT	C, D, E
LAYER 1	SIDING
LAYER 2	BRICK
LAYER 3	STONE
FULL PORCH	P
FORWARD	F
BACK	B





RIGHT ELEVATION
SCALE 3/16" = 1'-0"

LOT - 8
LUCAS TH



LEFT ELEVATION
SCALE 3/16" = 1'-0"

LOT - 1
LUCAS TH

SEE ROOF FRAMING PLANS
FOR OVERHANG DIMENSIONS
AND DORMER LOCATIONS

1x4 TRIM WHERE SHOWN AT
WINDOWS AND DOORS
UNLESS OTHERWISE NOTED

EXTERIOR MATERIAL LEGEND			
	B-N-B SIDING		STONE
	SHAKE SIDING		METAL ROOF
	HORIZONTAL SIDING		ROOF SHINGLE
	BRICK		SCALLOP SIDING

KEY NOTES	
(1) 5	FLASHING
(1) 7	VINYL SHUTTER
(2) 0	BRICKMOLD TRIM
(2) 4	1x4 TRIM BOARD
(2) 6	1x6 TRIM BOARD
(2) 8	1x8 TRIM BOARD
(2) 9	1x10 FRIEZE BOARD
(3) 1	1-1/2" THICK STONE CAP
(3) 5	ROWLOCK SILL
(3) 7	BRICK JACK ARCH
(3) 9	SOLDIER COURSE
(4) 1	PRECAST KEYSTONE

ELEVATION CODE	
EXTERIOR UNIT	A # B
INTERIOR UNIT	C, D, E
LAYER 1	SIDING
LAYER 2	BRICK
LAYER 3	STONE
FULL PORCH	P
FORWARD	F
BACK	B

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PREPARED BY:
Michael

DATE:
8.19.25

SCALE:
AS SHOWN

REVIEWED BY:
Chuck

SHEET:

A4.2

ELECTRICAL LEGEND

LOW VOLTAGE LEGEND

TEC CAN

TEC CAN

- 36" WHIP IN WALL
- (NO OUTLET)

HD LINK

5' AFF HD-L

- CHASE PIPE
- HDMI CABLE
- 2 CAT5E DATA
- TV/DATA JACK
- 110v OUTLET (RECESSED AFF)
- 110v OUTLET (STANDARD)

CHASE PIPE

5' AFF CH-P

- CHASE PIPE WALL PLATES
- (OUTLET SEPARATE)

S

SPEAKER

PWS

PRE-WIRE FOR SPEAKER

●

WALL PLATE CONTROL

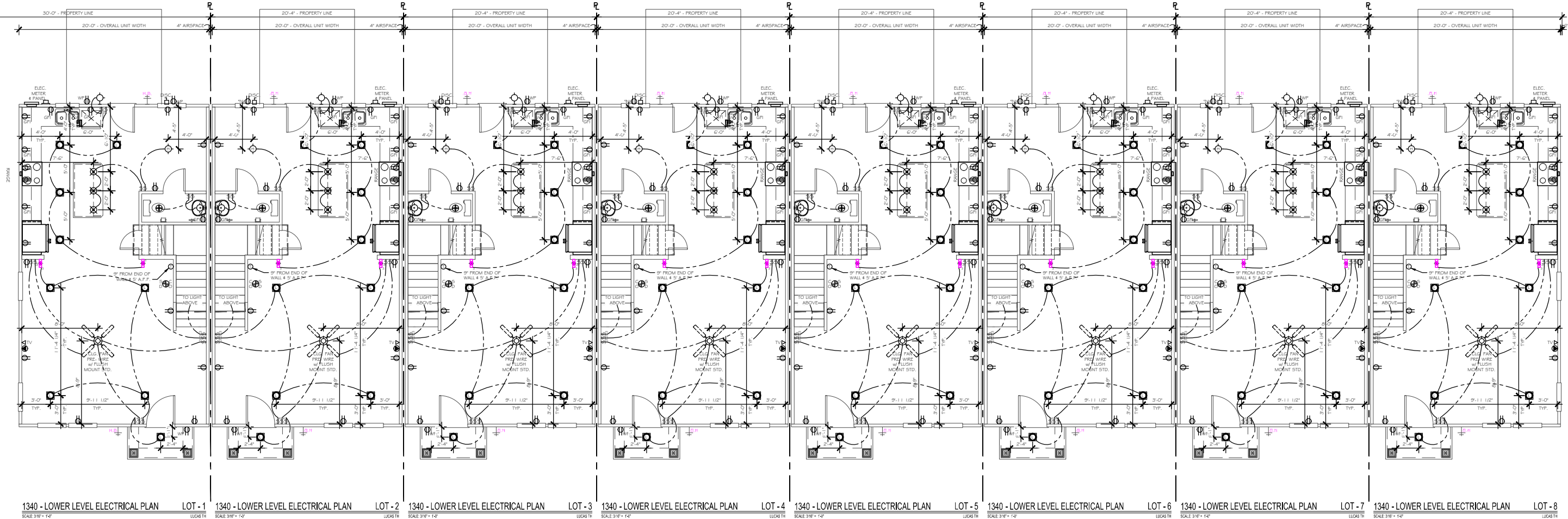
CHECK SELECTIONS FOR COMPLETE LOW VOLTAGE LAYOUT.

LOW VOLTAGE TRADE RESPONSIBLE FOR LOCATING AND INSTALLING ALL SELECTED PRODUCTS.

* INDICATES ADDITIONAL OUTLET PER CLIENT	WP OUTLET 110V WATER PROOF	USB DUAL USB OUTLET (3.1 AMP)	SMOKE / CO DETECTOR	4 4-WAY SWITCH	H HANGING LIGHT	o MINI-CAN LIGHT	WALL MOUNT LIGHT FIXTURE	FLOOD LIGHT - LOCATION TO BE VERIFIED IN FIELD WITH BUILDER/CLIENT	ELECTRIC PANEL (METER LOCATION MAY VARY)	CEILING FAN PRE-WIRE
OUTLET 110V (D=DEDICATED CIRCUIT)	GFI OUTLET 110V GFI (D=DEDICATED CIRCUIT)	TV TV WALL JACK	SMOKE DETECTOR	PUSH BUTTON	J JUNCTION BOX / PREWIRE	I UNDER CABINET LIGHT	VAPOR PROOF CAN LIGHT	KEYLESS ENTRY	77" AFF WP TV	
5' AFF RECESSED OUTLET 110V	FLOOR OUTLET 110V	PHONE / DATA JACK	SWITCH	DIMMER SWITCH	R RECESSED CAN LIGHT	WALL SCONCE (STD 72" AFF UNO)	EXHAUST FAN	DISC. DISCONNECT BOX	DED. HOT TUB CIRCUIT (50amp, 240v GFI)	
OUTLET 220V (D=DEDICATED CIRCUIT)	SWITCHED OUTLET	T THERMOSTAT	3-WAY SWITCH	CEILING LIGHT	LED DISC LIGHT	PENDANT LIGHT (6'-7" AFF STD)	EXHAUST FAN / LIGHT	EV CHARGING OUTLET (50amp, 240v GFI)		

CHECK SELECTIONS FOR CPI LAYOUT. ALL TV, PHONE, CABLE, AUDIO, AND SECURITY SYSTEM OUTLETS WILL BE LOCATED PER CPI LAYOUT, REGARDLESS OF WHETHER TV AND PHONE ARE SHOWN.

ELEC. QTY. – FULL PORCH (PER UNIT)			ELEC. QTY. – PARTIAL PORCH (PER UNIT)		
Count	Name	Visibility1	Count	Name	Visibility1
2	Ceiling Fan 1.1	w/ Flush Mount Std.	2	Ceiling Fan 1.1	w/ Flush Mount Std.
3	Detectors	Smoke Detector	3	Detectors	Smoke Detector
2	Detectors	Smoke/Carbon Monoxide Detector	2	Detectors	Smoke/Carbon Monoxide Detector
2	Jacks	Phone Jack	2	Jacks	TV Jack
2	Jacks	Thermostat	2	Jacks	Phone Jack
2	Jacks	TV Jack	2	Jacks	Thermostat
1	Lights	Exhaust Fan	3	Lights	Pendant Light
2	Lights	Exhaust Fan/Light	2	Lights	Exhaust Fan/Light
3	Lights	Ceiling Light	3	Lights	Ceiling Light
4	Lights	Carriage Light	1	Lights	Hanging Light
13	Lights	LED Ceiling Light	12	Lights	LED Ceiling Light
3	Lights	Pendant Light	1	Lights	Exhaust Fan
1	Lights	Hanging Light	4	Lights	Carriage Light
8	Receptacle	GFI	8	Receptacle	GFI
24	Receptacle	110V	24	Receptacle	110V
3	Receptacle	WP	3	Receptacle	WP
2	Receptacle 2	DIMMER 3-WAY	2	Receptacle 2	DIMMER 3-WAY
2	switch	4-Way Switch	2	switch	4-Way Switch
8	switch	3-Way Switch	8	switch	3-Way Switch
19	switch	Single Pole Switch	19	switch	Single Pole Switch



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PREPARED BY:
Michael

DATE:
8.19.25

SCALE:
AS SHOWN

REVIEWED BY:
Chuck

SHEET:
E1

ELECTRICAL LEGEND

LOW VOLTAGE LEGEND

TEC CAN

36" WHIP IN WALL

(NO OUTLET)

HD LINK

5' AFF HD-L

HD-L

CHASE PIPE

HDMI CABLE

2 CAT5E DATA

TV/DATA JACK

110v OUTLET (RECESSED AFF)

110v OUTLET (STANDARD)

CHASE PIPE

5' AFF CH-P

CH-P

CHASE PIPE WALL PLATES

(OUTLET SEPARATE)

S

SPEAKER

PWS

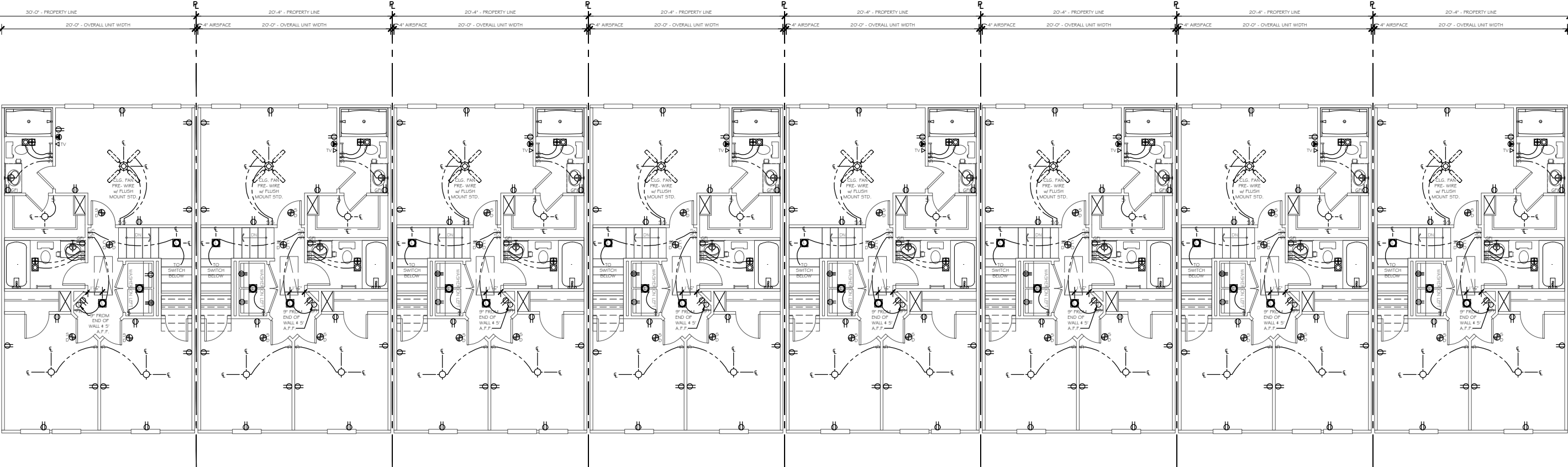
PRE-WIRE FOR SPEAKER

WALL PLATE CONTROL

CHECK SELECTIONS FOR COMPLETE LOW VOLTAGE LAYOUT.

LOW VOLTAGE TRADE RESPONSIBLE FOR LOCATING AND INSTALLING ALL SELECTED PRODUCTS.

*	INDICATES ADDITIONAL OUTLET PER CLIENT	WP	OUTLET 110V WATER PROOF	USB	DUAL USB OUTLET (3.1 AMP)	SMOKE / CO DETECTOR	4	4-WAY SWITCH	H	HANGING LIGHT	o	MINI-CAN LIGHT		WALL MOUNT LIGHT FIXTURE		FLOOD LIGHT - LOCATION TO BE VERIFIED IN FIELD WITH BUILDER/CLIENT		ELECTRIC PANEL (METER LOCATION MAY VARY)		CEILING FAN PRE-WIRE OR FIXTURE AS NOTED	
	OUTLET 110V (D=DEDICATED CIRCUIT)	GFI	OUTLET 110V GFI (D=DEDICATED CIRCUIT)	TV	TV WALL JACK	SMOKE DETECTOR		PUSH BUTTON	J	JUNCTION BOX / PREWIRE	I	UNDER CABINET LIGHT		VAPOR PROOF CAN LIGHT		KEYLESS ENTRY		77" AFF WP GFI TV			EXT. RECESSED OUTLET & TV w/ COVER
5' AFF	RECESSED OUTLET 110V		FLOOR OUTLET 110V		PHONE / DATA JACK			DIMMER SWITCH	R	RECESSED CAN LIGHT		WALL SCONCE (STD 72" AFF UNO)		EXHAUST FAN		DISC. DISCONNECT BOX					DED. HOT TUB CIRCUIT (50amp, 240v GFI)
	OUTLET 220V (D=DEDICATED CIRCUIT)		SWITCHED OUTLET		T	THERMOSTAT		3-WAY SWITCH		LED DISC LIGHT		PENDANT LIGHT (6'-7" AFF STD)		EXHAUST FAN / LIGHT		240v 50 AMP GFI		EV CHARGING OUTLET (50amp, 240v GFI)			



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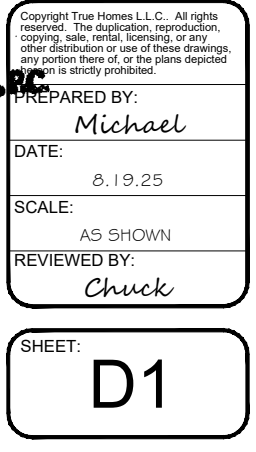
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8.19.25

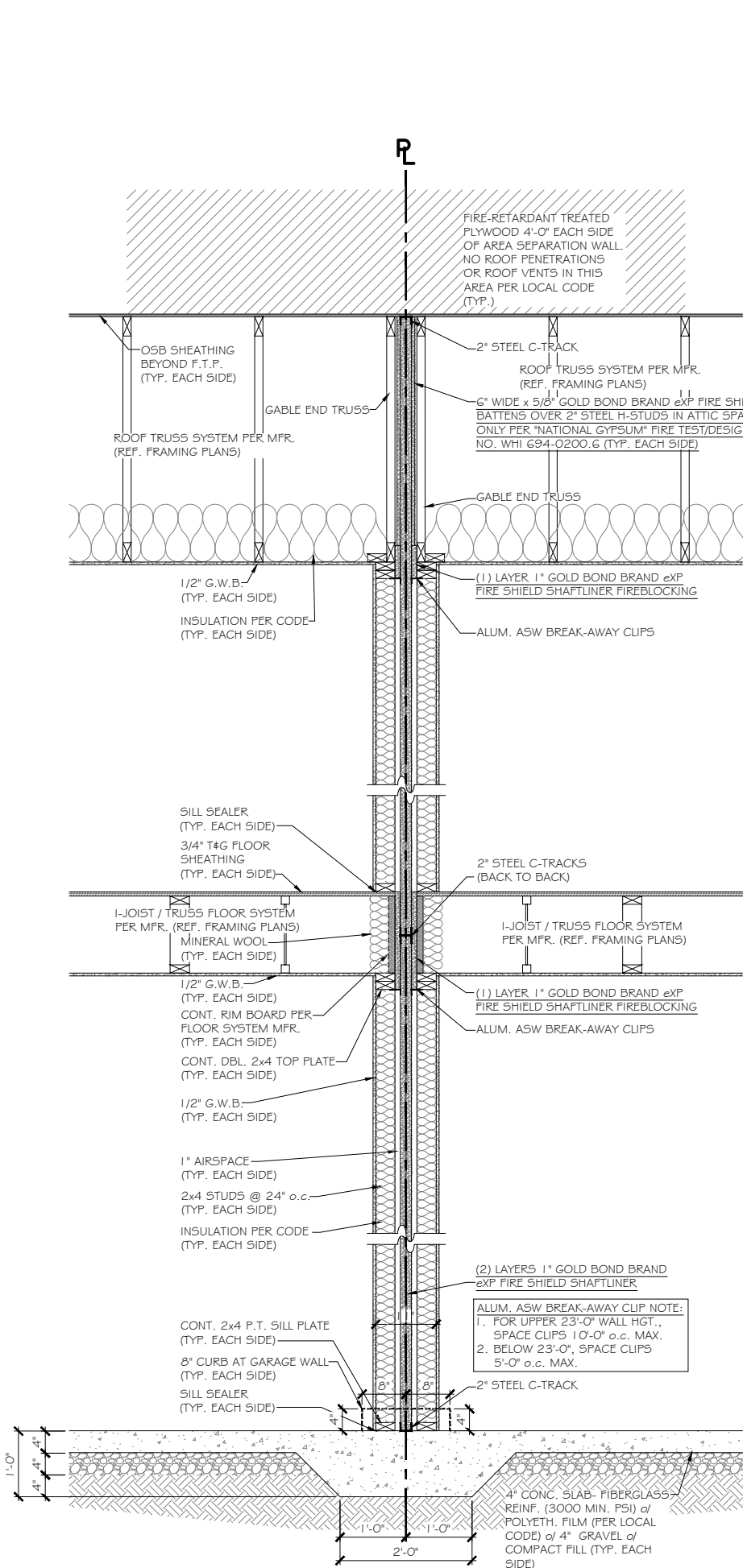
SCALE:
AS SHOWN

REVIEWED BY:
Chuck

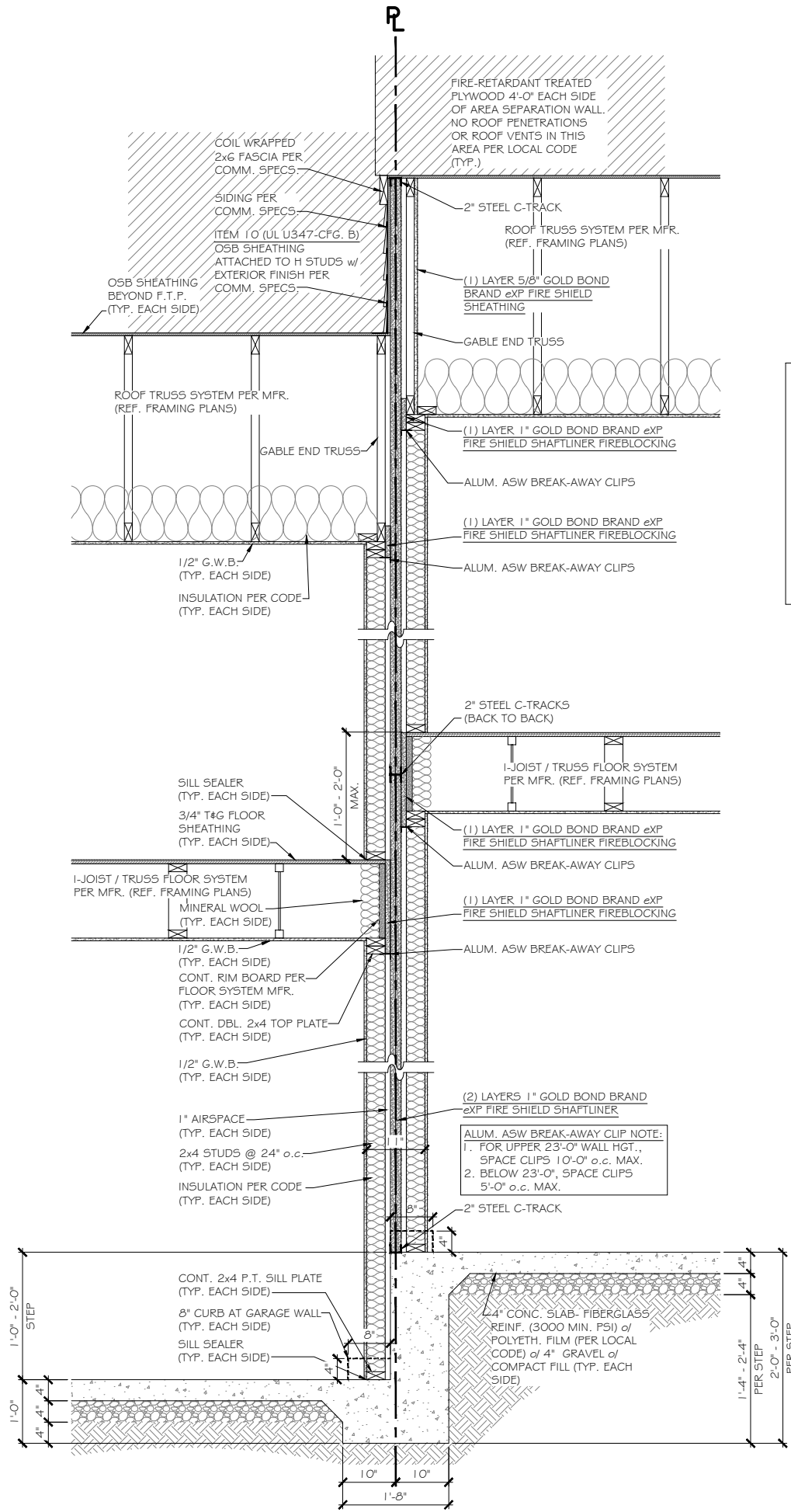
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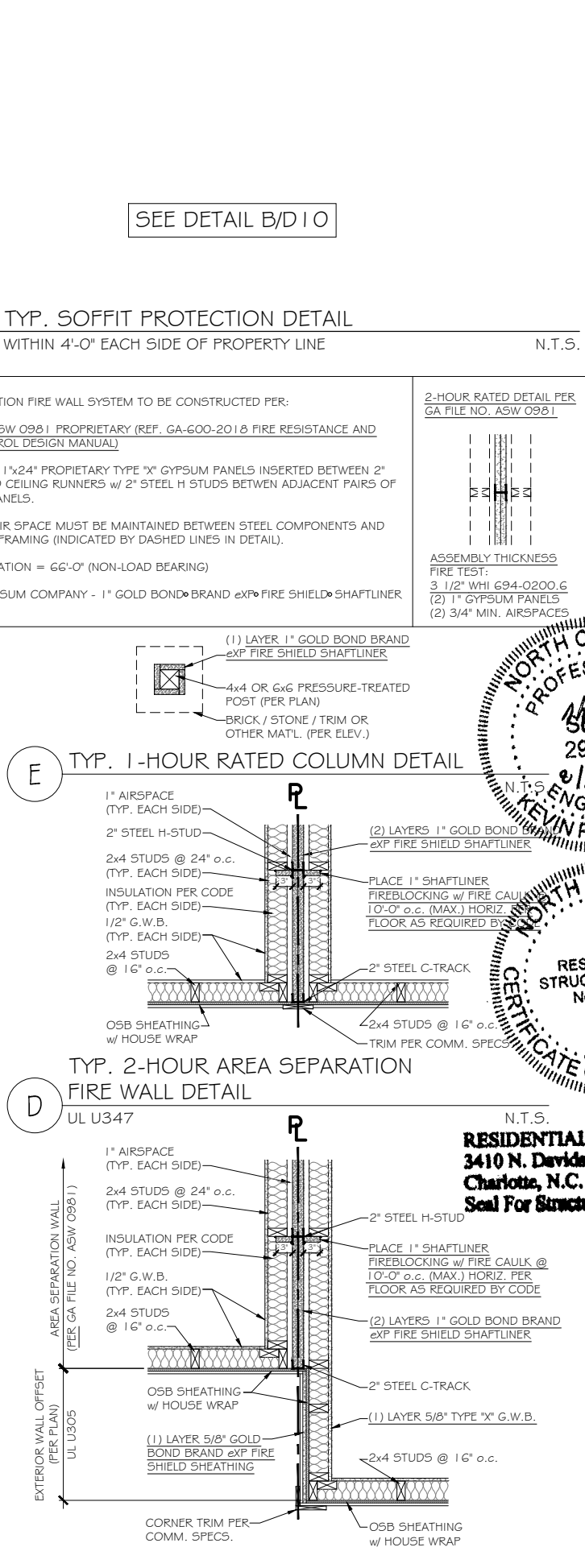




N.T.S.



N.T.S.



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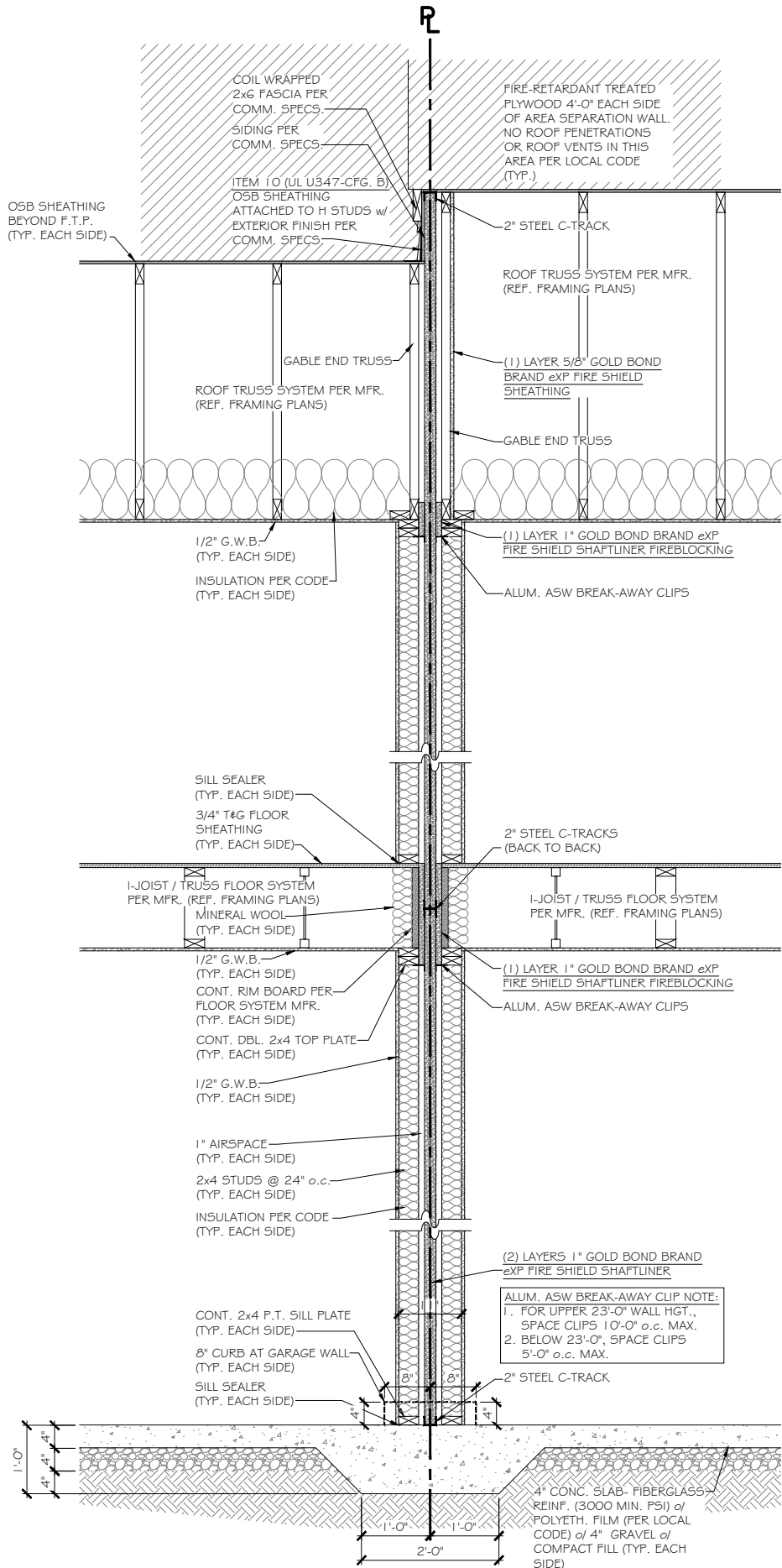
DETAILS

HARNETT COUNTY

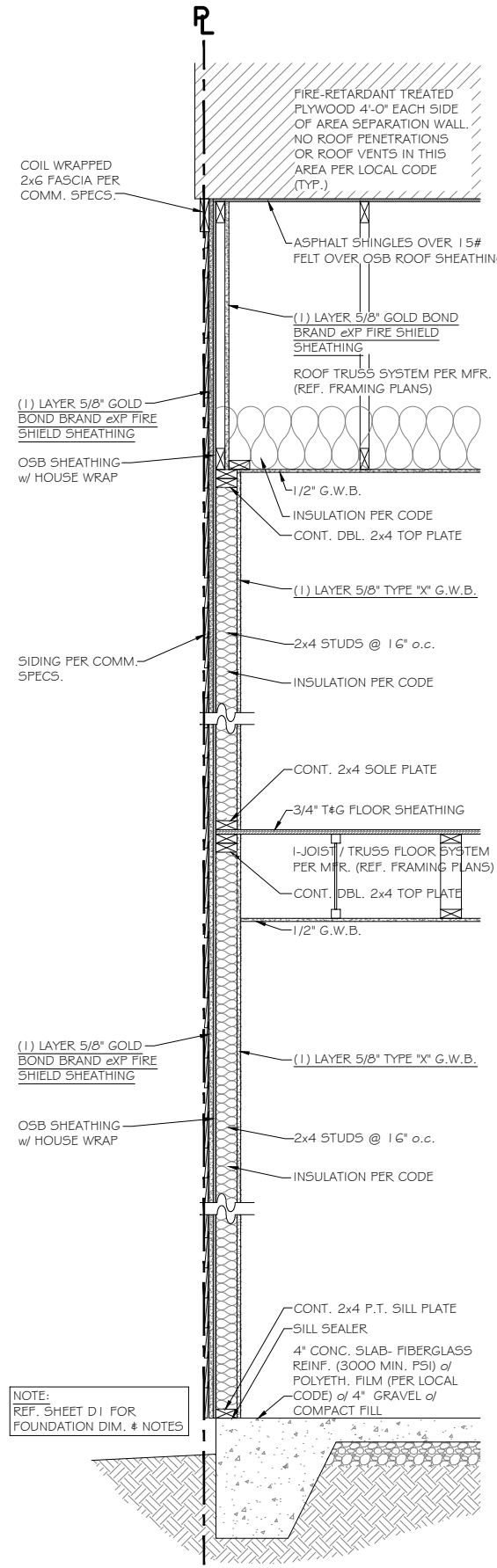
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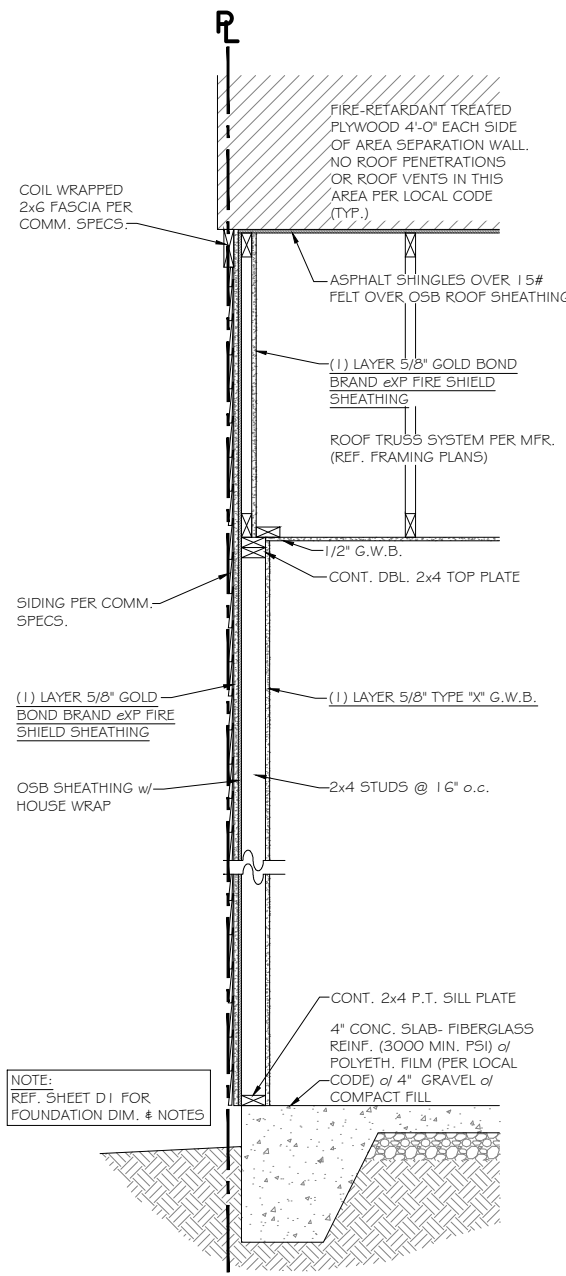
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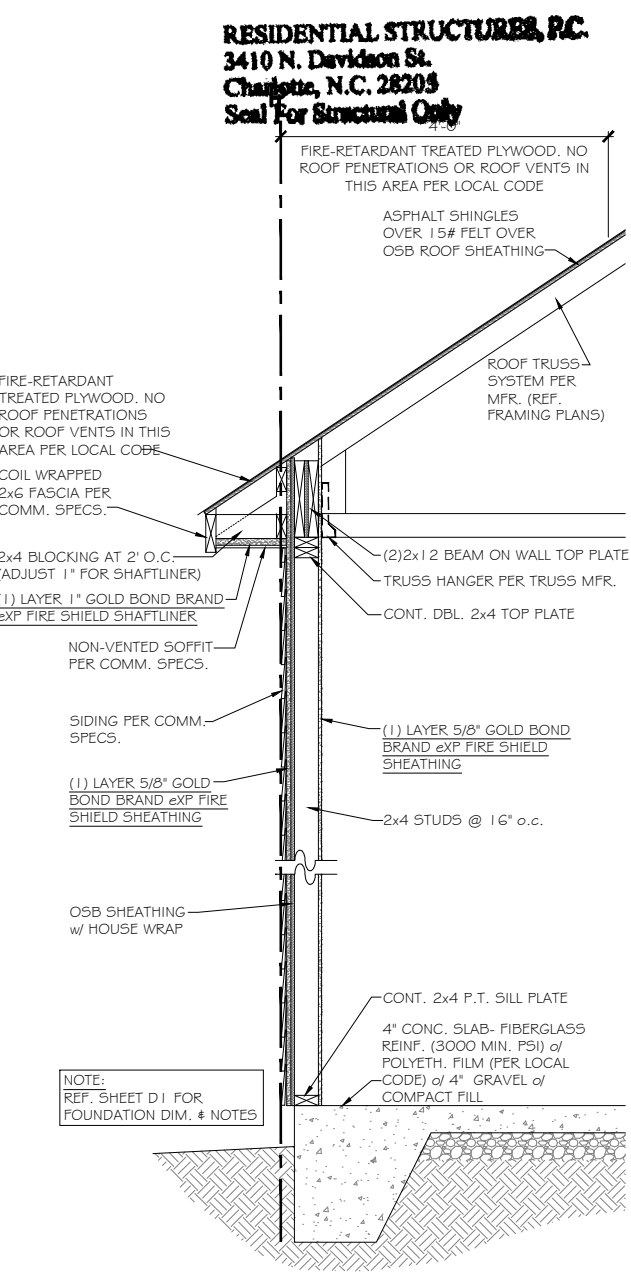
A TYP. 2-HOUR AREA SEPARATION FIRE WALL SECTION
UL U347 N.T.S.



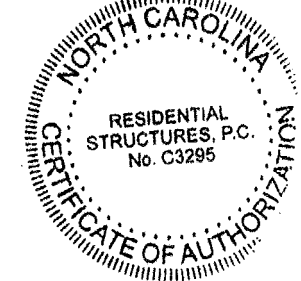
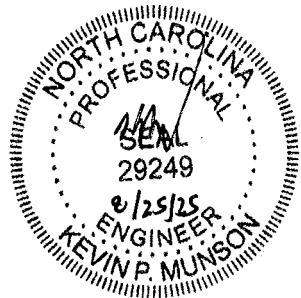
B TYP. 1-HOUR WALL SECTION @ GABLE END
UL U305 - 1-HOUR RATED WALL w/ NO OPENINGS OR PENETRATIONS ALLOWED N.T.S.



C TYP. 1-HOUR WALL SECTION @ GABLE END - GARAGE
UL U305 - 1-HOUR RATED WALL w/ NO OPENINGS OR PENETRATIONS ALLOWED N.T.S.



D TYP. 1-HOUR WALL SECTION @ ROOF EAVE - GARAGE
UL U305 - 1-HOUR RATED WALL w/ NO OPENINGS OR PENETRATIONS ALLOWED N.T.S.



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DETAILS

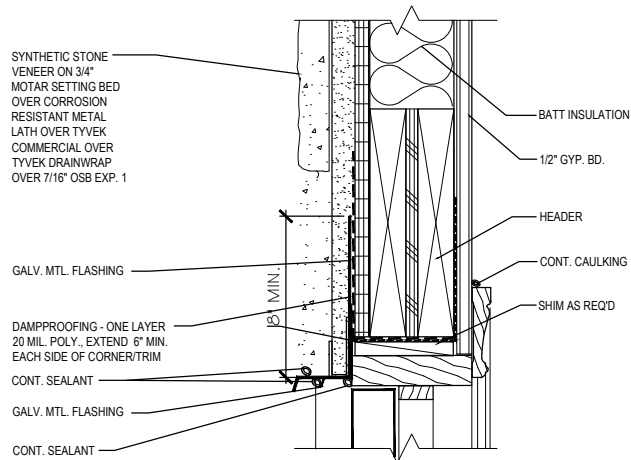
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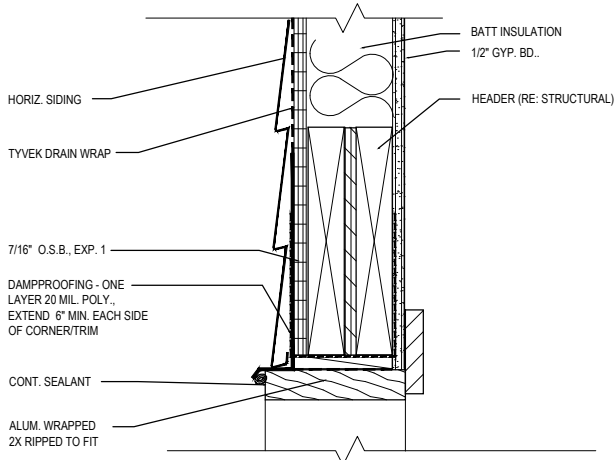
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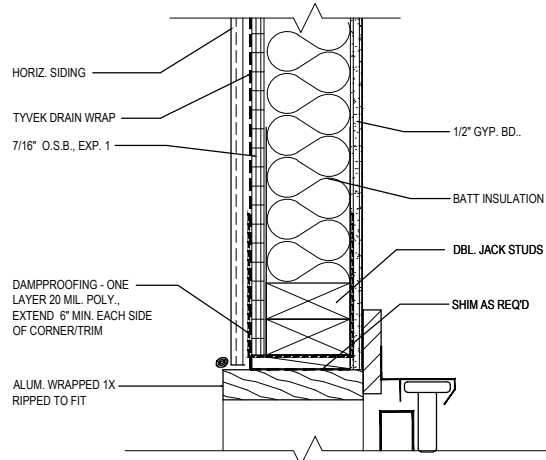
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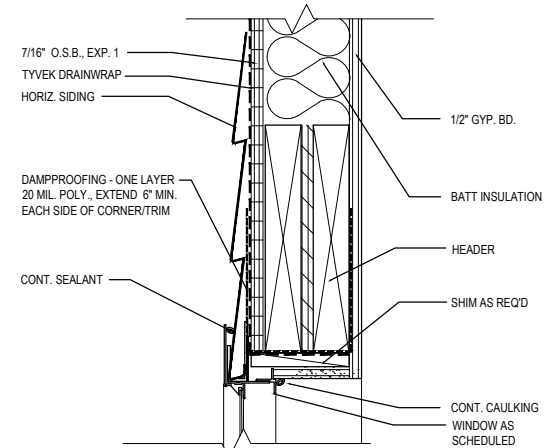
12 DOOR HEAD @ STONE
N.T.S.



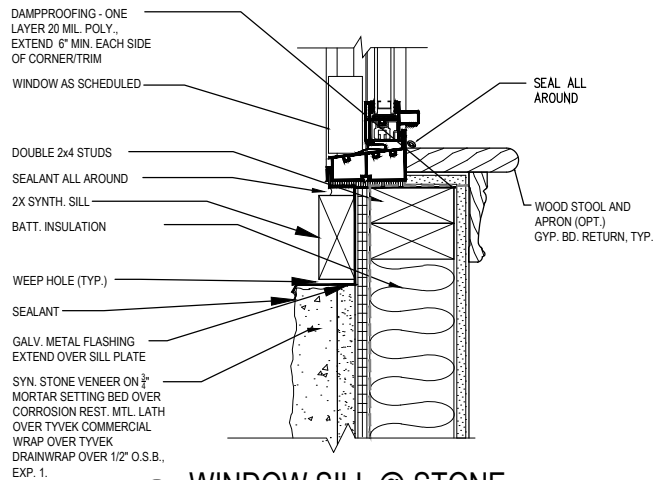
09 GARAGE DOOR HEAD @ SIDING
N.T.S.



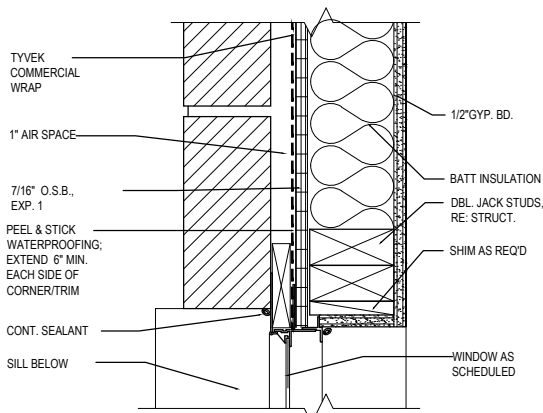
06 GARAGE DOOR JAM @ SIDING
N.T.S.



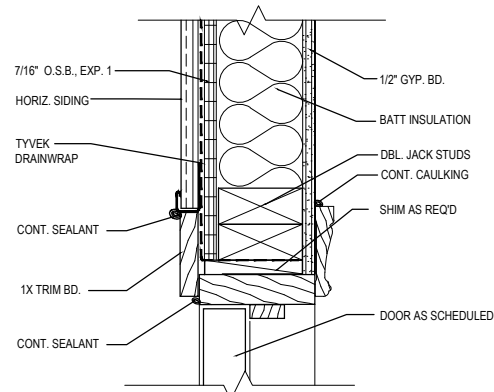
03 WINDOW HEAD @ SIDING
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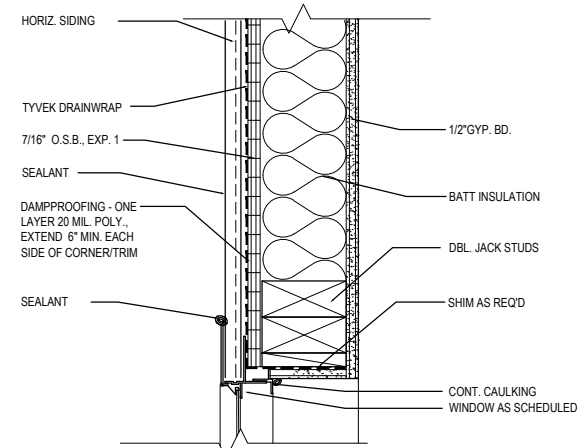
11 WINDOW SILL @ STONE
N.T.S.



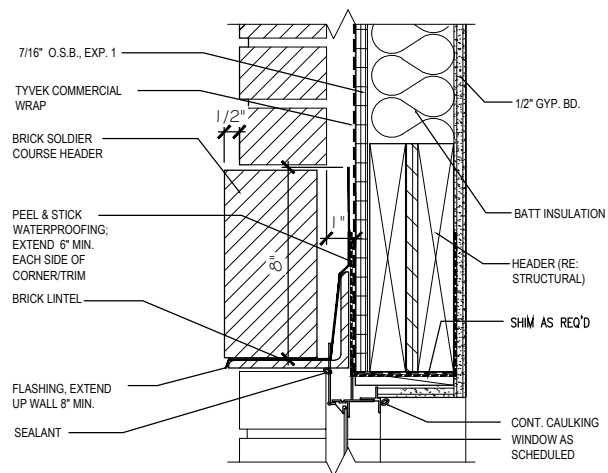
08 WINDOW JAMB @ BRICK
N.T.S.



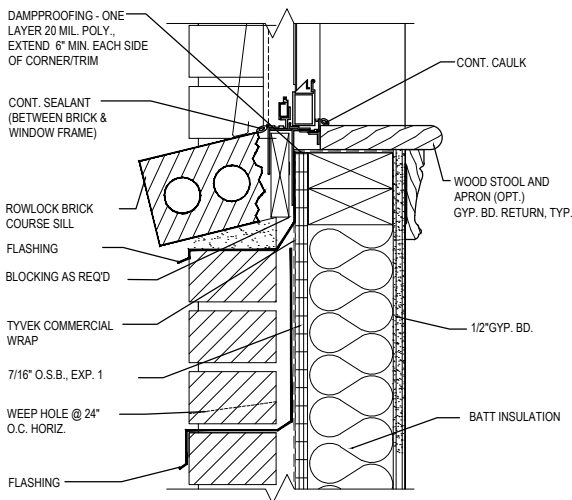
05 EXTERIOR DOOR JAM @ SIDING
N.T.S.



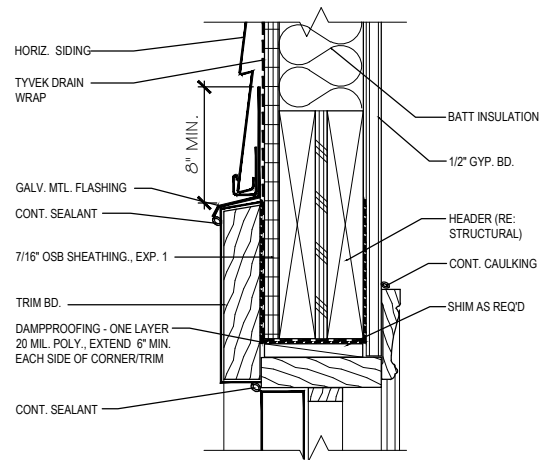
02 WINDOW JAMB @ SIDING
N.T.S.



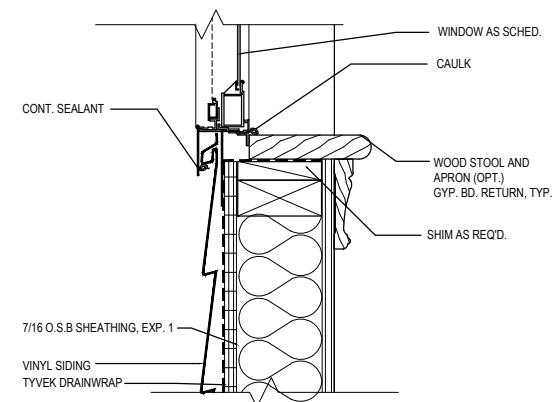
10 WINDOW HEAD @ BRICK
N.T.S.



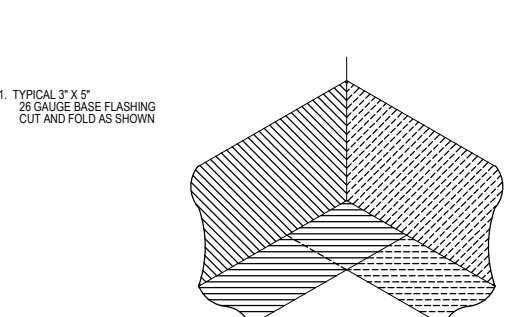
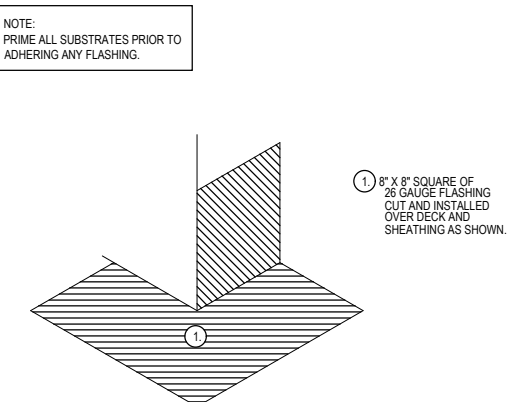
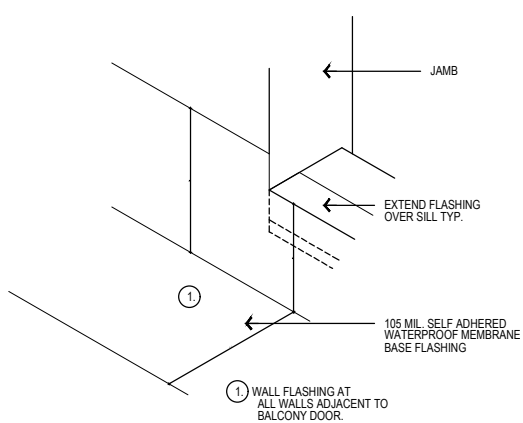
07 WINDOW SILL @ BRICK
N.T.S.



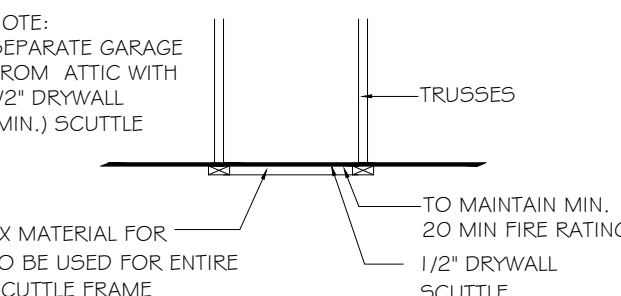
11 EXT. DOOR HEAD @ SIDING
N.T.S.



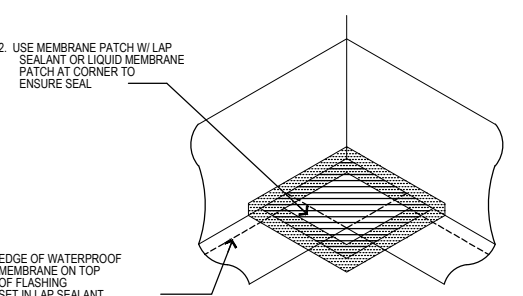
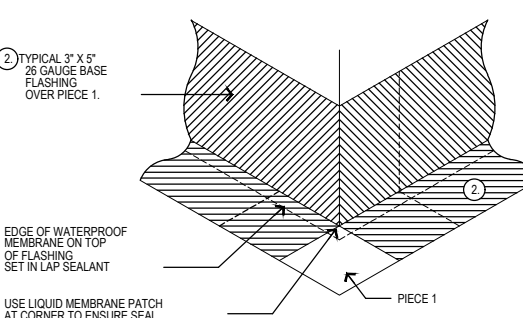
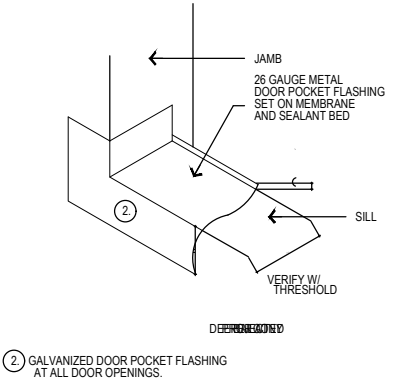
01 WINDOW SILL @ SIDING
N.T.S.



NOTE:
MUST MEET ENERGY EFFICIENCY REQ PER SEC N I I 02.
PER N I I 02.2.4 HORIZONTAL ACCESS DOORS FROM
CONDITIONED SPACE TO UNCONDITIONED SPACES SHALL BE
WEATHERSTRIPPED AND INSULATED TO AN R-10 MIN. VALUE,
AND VERTICAL DOORS TO SUCH SPACES SHALL BE
WEATHERSTRIPPED AND INSULATED TO R-5 MIN. VALUE.

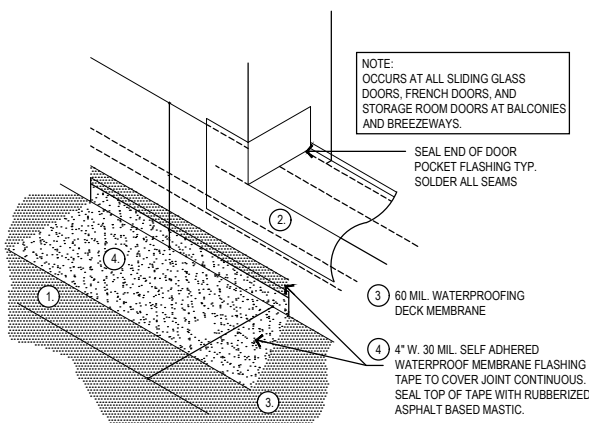


B ATTIC ACCESS PANEL DETAIL
SCALE: N.T.S.

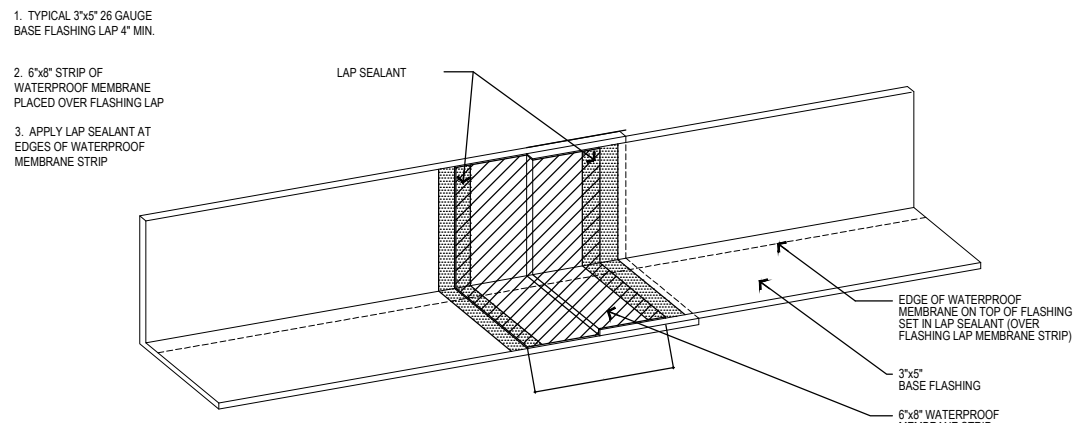


08 FLASHING DETAIL @ OUTSIDE CORNER
3\"/>

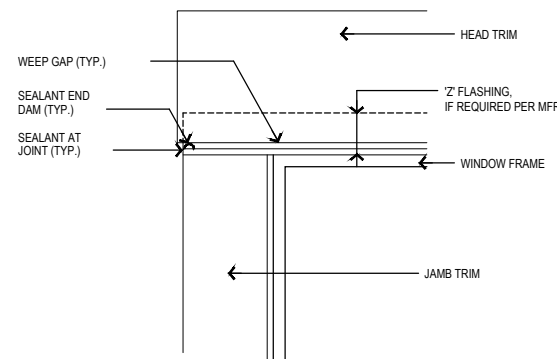
07 FLASHING DETAIL @ INSIDE CORNER
3\"/>



05 FLASHING @ DOOR OPENING
3\"/>



04 FLASHING LAP
3\"/>



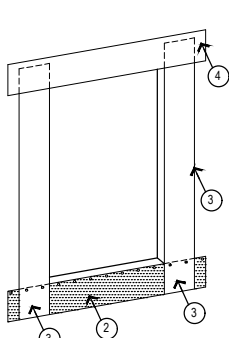
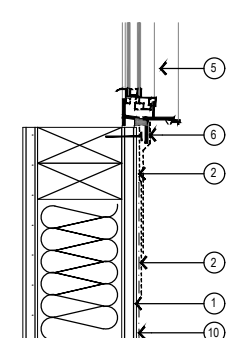
03 TYP. WINDOW ELEVATION DETAIL
3\"/>

WALL/WINDOW/DOOR WATERPROOFING SPECIFICATIONS:

- OWNER SHALL RETAIN THE SERVICES OF A QUALITY ASSURANCE CONSULTING FIRM, SPECIALIZING IN THE AREA OF WATERPROOFING FOR THE SOLE PURPOSE OF INSPECTING FLASHINGS BEFORE COVERED WITH FINISHED MATERIALS. DETERMINATION OF PROPER FLASHING TECHNIQUES CAN BE UTILIZED VIA: BLDG. MOCK UP PANELS
- GC TO PROVIDE DETAILED SHOP DRAWINGS: INDICATING EACH FLASHING AND EDGE DETAIL AND ATTACHMENT REQUIREMENTS.
- USE STAINLESS STEEL FASTENERS WHEN FASTENING INTO TREATED LUMBER.
- ALUMINUM 2\"/>
- MINIMUM 40 MIL. POLYETHYLENE, BUTYL RUBBER \"PEEL AND STICK\" WATERPROOFING\" MIN. 240 DEGREE SOFTENING POINT
- 6\"/>
- SEALANT FOR DISSIMILAR MATERIAL JOINTS - SONNEBORN NPI POLYURETHANE SEALANT OR EQUAL. (EXCEPT AT WOOD.)
- SEALANT FOR WOOD TO WOOD JOINTS AND WOOD TO DISSIMILAR MATERIAL JOINTS - SILICON ACRYLIC SEALANT.
- SEALANT UNDER DOOR THRESHOLDS - SONNEBORN NPI POLYURETHANE SEALANT OR EQUAL.
- ALL SEALANT BEADS AND FILLETS TO BE CONTINUOUS.
- ALL METAL FLASHINGS ARE TO HAVE ALL OVERLAPS SEALED WITH NON-CURING BUTYL SEALANT OR POLYURETHANE SEALANT.
- PAINT INTERIOR GYPSUM BOARD WINDOW JAMBS WITH ENAMEL PAINT.
- SET NAILS AT ALL DOOR TRIM.
- EXTERIOR WOOD TRIM IS TO BE PRE-PRIMED KDAT MATERIAL.

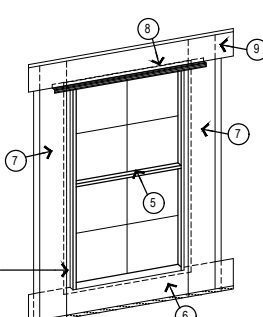
NOTE:
TYVEK COMMERCIAL BUILDING SPECIALISTS CAN BE CONTACTED FOR
FREE FIELD/INSTALLATION SERVICES @ TIME OF CONSTRUCTION.
CONTACT: ANDREW ANDRETTA, CSI 704.226.2864

- APPLY SHEATHING TO WALL FRAMING AS SHOWN ON STRUCTURAL DRAWINGS.
- ATTACH 9\"/>
- APPLY 9\"/>
- APPLY 9\"/>



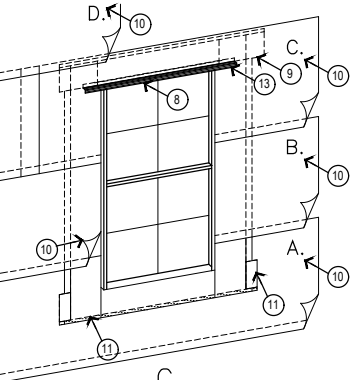
02 WINDOW FLASHING WITH BUILDING PAPER ON WALL
3\"/>

- SET THE WINDOW AS PER THE WINDOW MANUFACTURER'S RECOMMENDATIONS.
- APPLY 6\"/>
- APPLY 6\"/>
- IF REQUIRED BY THE MFR., INSTALL GALVANIZED 2\"/>

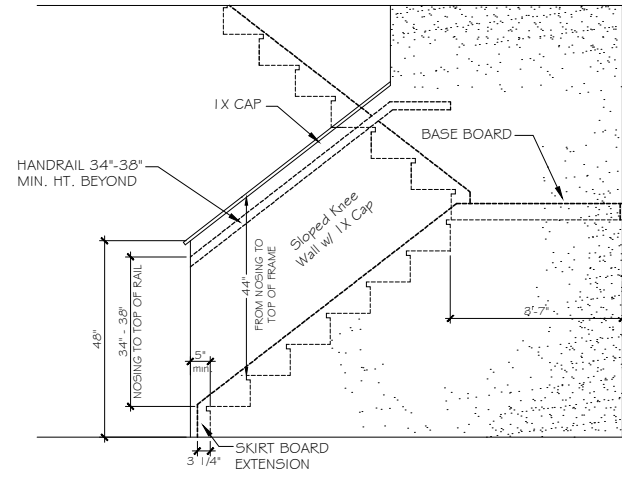
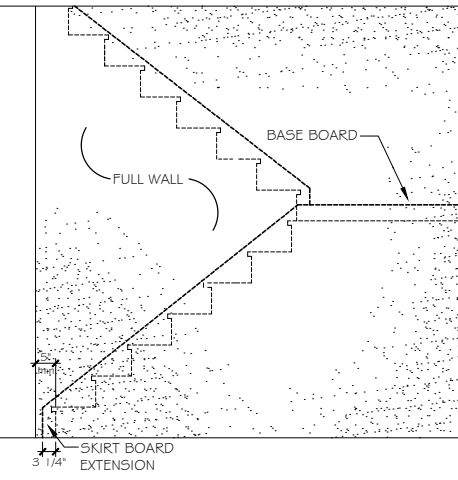
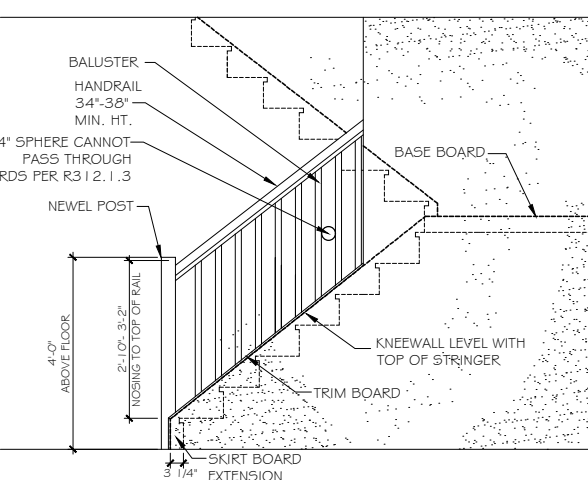
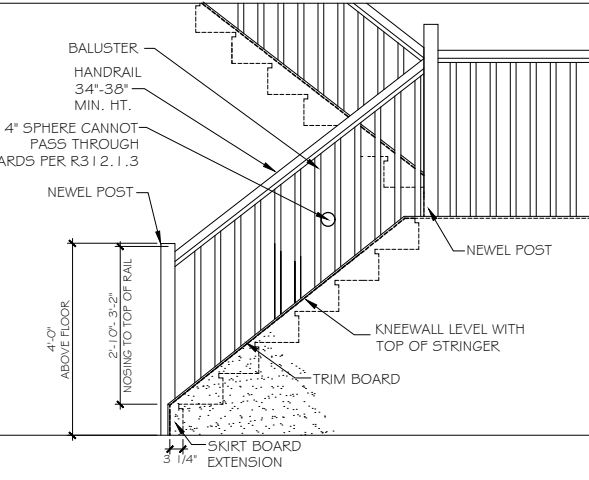
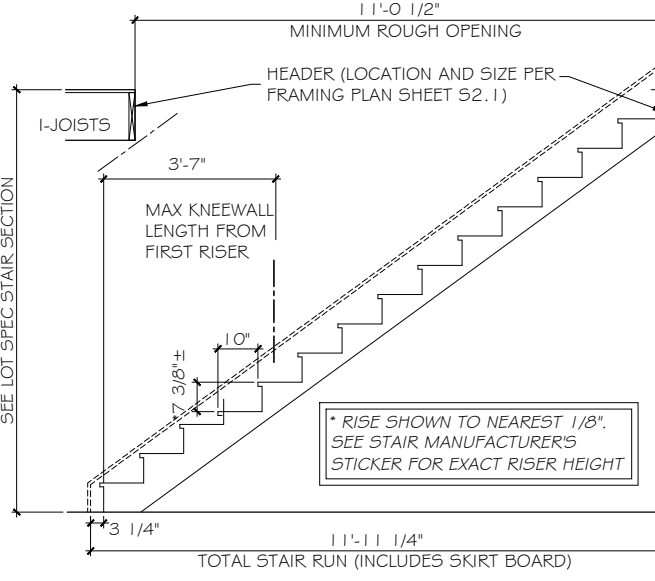
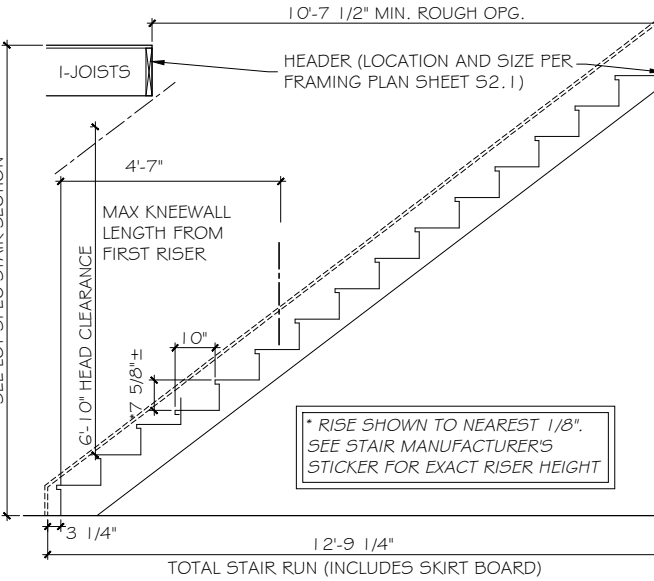
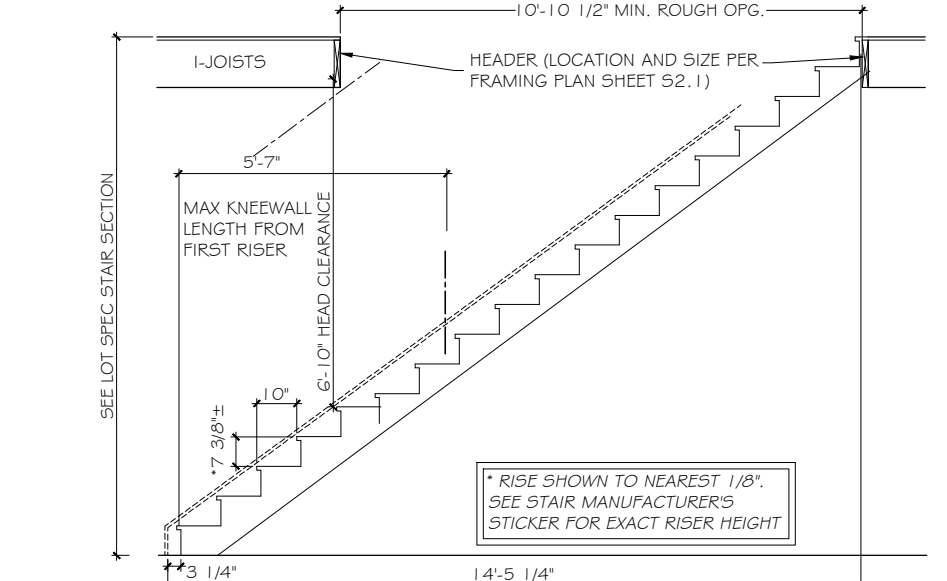
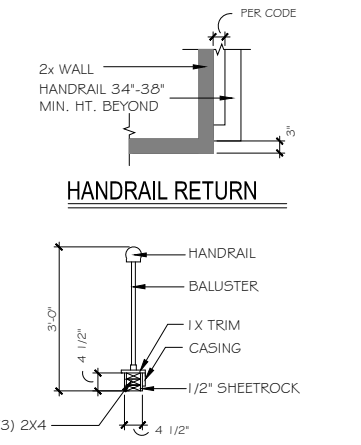
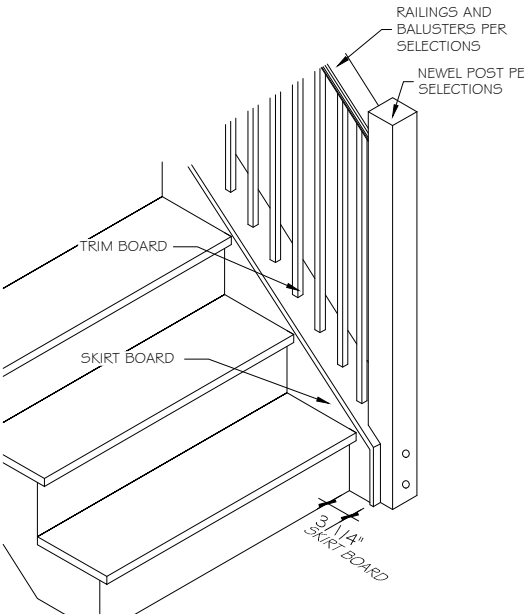
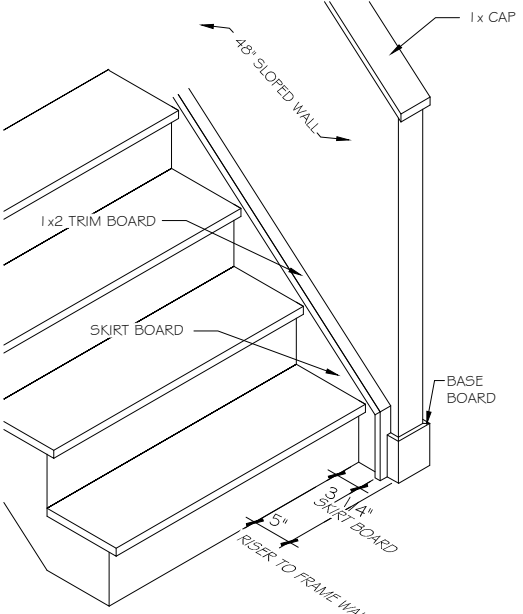
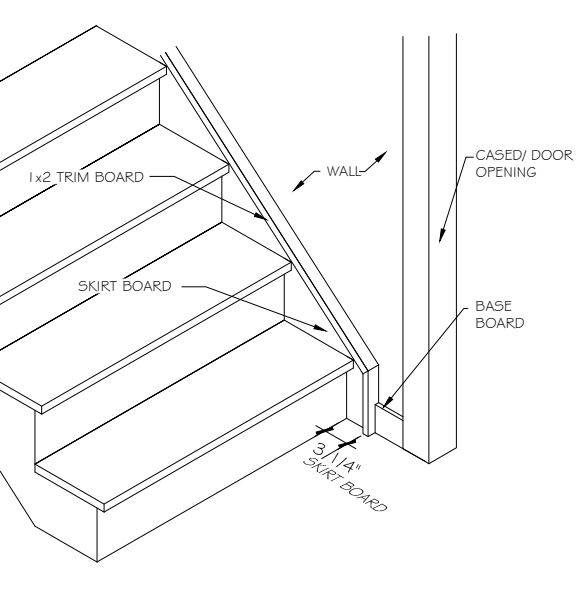
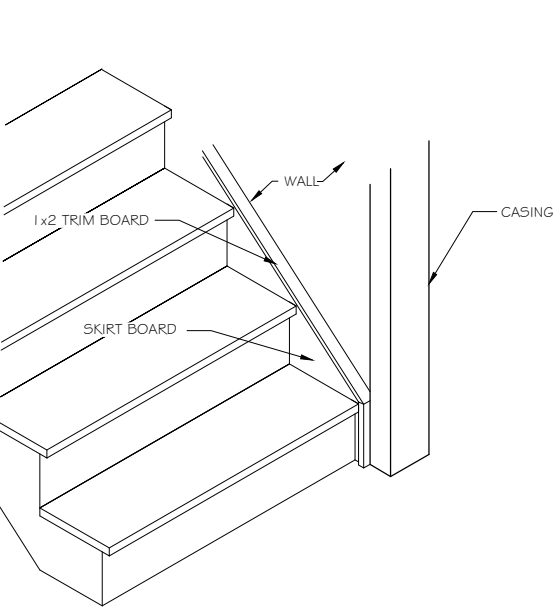


B

- APPLY 6\"/>
- INSTALL BUILDING PAPER STARTING FROM THE BASE OF THE BUILDING. INSTALL SHINGLE FASHION WITH MINIMUM 4\"/>
- SLIP BOTTOM OF JAMB AND SILL FLASHING OUT OVER THE BUILDING PAPER.
- TAPE OVER ANY CUTS OR HOLES IN THE BUILDING PAPER.
- IF 2\"/>



C

			
ST-148" SLOPED WALL w/ 1x CAP	ST-2FULL WALL	ST-3OPT. OPEN RAIL	ST-4OPT. OPEN RAIL FULL STAIR
			
ST-5STRAIGHT STAIR SECTION - 8ft CEILING HEIGHT w/ 11 7/8" FLOOR SYSTEM	ST-6STRAIGHT STAIR SECTION - 9ft CEILING HEIGHT w/ 11 7/8" FLOOR SYSTEM	ST-7STRAIGHT STAIR SECTION - 10ft CEILING HEIGHT w/ 11 7/8" FLOOR SYSTEM	ST-8HANDRAILS
			
ST-9OPT. OPEN RAIL - ISO	ST-1048" SLOPED WALL w/ 1x CAP - ISO	ST-11STAIRS @ CASSED OPENING - ISO	ST-12TRIM SKIRT BOARD @ CASSED OPENING



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Monroe, N.C. 28110

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HARNETT COUNTY

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PREPARED BY:

Michael

DATE:

8.19.25

SCALE:

AS SHOWN

REVIEWED BY:

Chuck

SHEET:

D5.1

ST-13	STAIR LANDING HALF WALL w/ CAP		ST-14
			ST-15
			ST-15a
ST-17	SECTION A- SLOPED WALL		ST-18
			ST-19
			ST-16
ST-21	STAIR LANDING - PLAN VIEW		ST-20

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AS SHOWN

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SHEET:
D5.2

ST-23		ST-24		ST-25		STAIR SECTION	
ST-26				ST-28			
ST-27							

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DATE:
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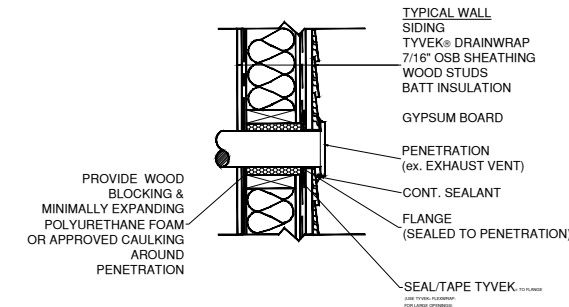
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REVIEWED BY:
Chuck

SHEET:

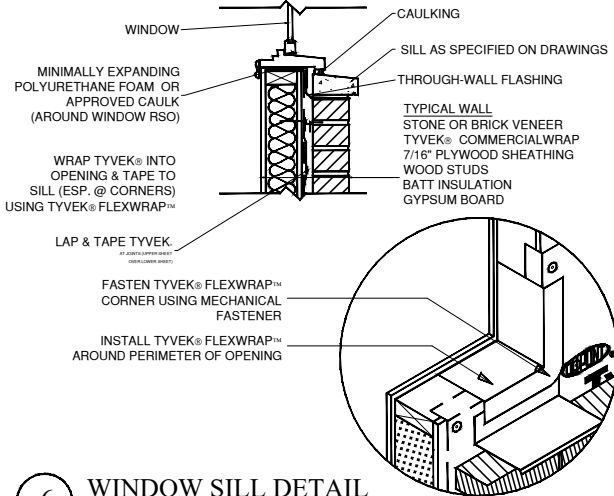
D5.3

GENERAL NOTES
*SEAL ALL TYVEK® JOINTS AND PENETRATIONS WITH APPROVED TAPE. (ex. DUPONT CONTRACTOR TAPE)
*FASTEN TYVEK® TO SHEATHING WITH LARGE HEAD NAILS OR USE NAILS WITH LARGE PLASTIC WASHER HEADS. (ex. DUPONT WRAPCAPS)
*SEAL OR GASKET BRICK TIES AT FACE OF TYVEK®
*LOCAL LAWS, ZONING, AND BUILDING CODES VARY AND THEREFORE GOVERNS OVER MATERIAL SELECTION AND DETAILING SHOWN BELOW.

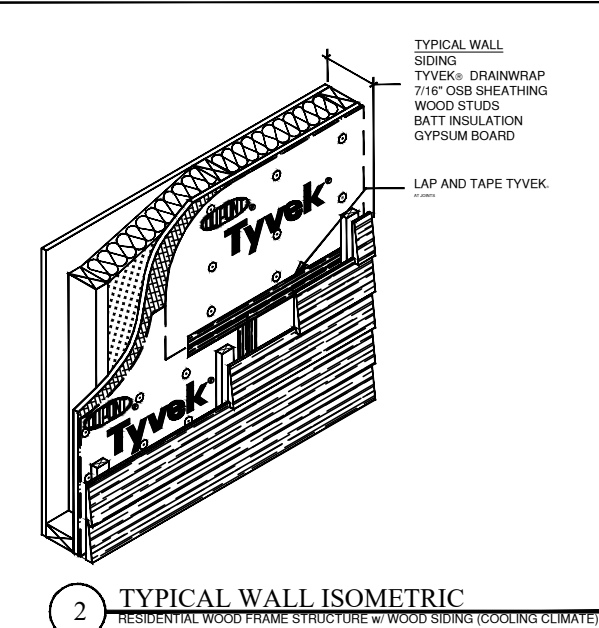


3 WALL PENETRATION DETAIL
RESIDENTIAL WOOD FRAME STRUCTURE w/ WOOD SIDING

GENERAL NOTES
*SEAL ALL TYVEK® JOINTS AND PENETRATIONS WITH APPROVED TAPE. (ex. DUPONT CONTRACTOR TAPE)
*FASTEN TYVEK® TO SHEATHING WITH LARGE HEAD NAILS OR USE NAILS WITH LARGE PLASTIC WASHER HEADS. (ex. DUPONT WRAPCAPS)
*SEAL OR GASKET BRICK TIES AT FACE OF TYVEK®
*LOCAL LAWS, ZONING, AND BUILDING CODES VARY AND THEREFORE GOVERNS OVER MATERIAL SELECTION AND DETAILING SHOWN BELOW.

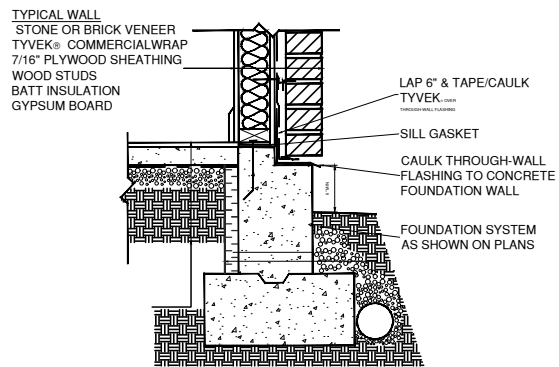


6 WINDOW SILL DETAIL
RESIDENTIAL WOOD FRAME STRUCTURE w/ VENEER (COOLING CLIMATE)

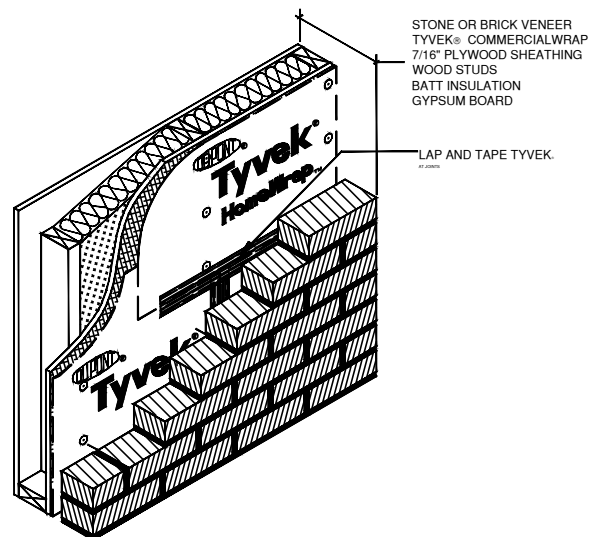


2 TYPICAL WALL ISOMETRIC
RESIDENTIAL WOOD FRAME STRUCTURE w/ WOOD SIDING (COOLING CLIMATE)

GENERAL NOTES
*SEAL ALL TYVEK® JOINTS AND PENETRATIONS WITH APPROVED TAPE. (ex. DUPONT CONTRACTOR TAPE)
*FASTEN TYVEK® TO SHEATHING WITH LARGE HEAD NAILS OR USE NAILS WITH LARGE PLASTIC WASHER HEADS. (ex. DUPONT WRAPCAPS)
*SEAL OR GASKET BRICK TIES AT FACE OF TYVEK®
*LOCAL LAWS, ZONING, AND BUILDING CODES VARY AND THEREFORE GOVERNS OVER MATERIAL SELECTION AND DETAILING SHOWN BELOW.

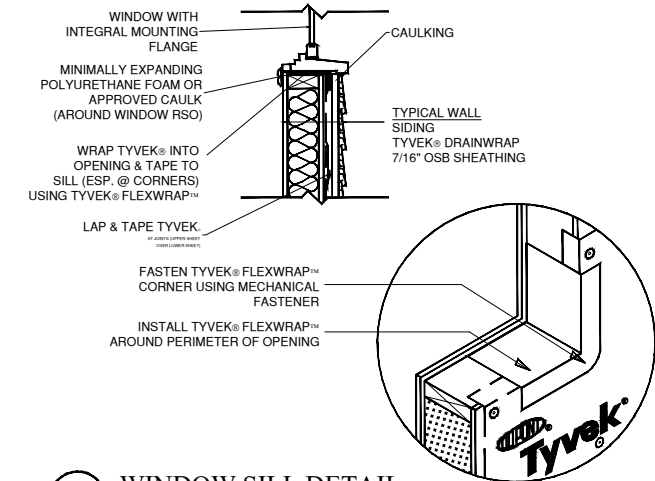


5 BASE OF WALL DETAIL
RESIDENTIAL WOOD FRAME STRUCTURE w/ VENEER (COOLING CLIMATE)



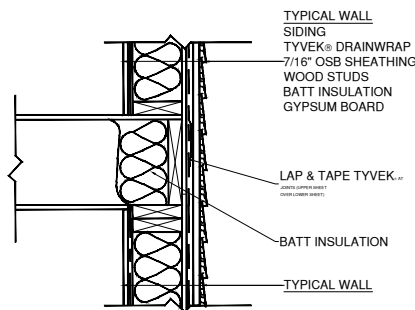
8 TYPICAL WALL ISOMETRIC
RESIDENTIAL WOOD FRAME STRUCTURE w/ MASONRY VENEER (COOLING CLIMATE)

GENERAL NOTES
*SEAL ALL TYVEK® JOINTS AND PENETRATIONS WITH APPROVED TAPE. (ex. DUPONT CONTRACTOR TAPE)
*FASTEN TYVEK® TO SHEATHING WITH LARGE HEAD NAILS OR USE NAILS WITH LARGE PLASTIC WASHER HEADS. (ex. DUPONT WRAPCAPS)
*SEAL OR GASKET BRICK TIES AT FACE OF TYVEK®
*LOCAL LAWS, ZONING, AND BUILDING CODES VARY AND THEREFORE GOVERNS OVER MATERIAL SELECTION AND DETAILING SHOWN BELOW.



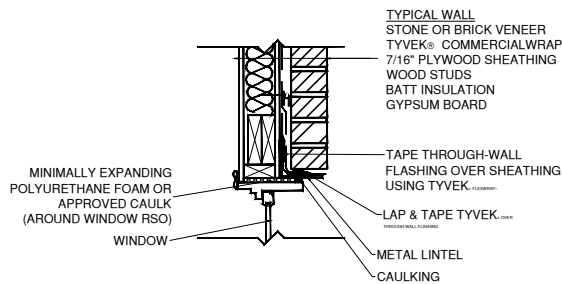
1 WINDOW SILL DETAIL
RESIDENTIAL WOOD FRAME STRUCTURE w/ WOOD SIDING (COOLING CLIMATE)

GENERAL NOTES
*SEAL ALL TYVEK® JOINTS AND PENETRATIONS WITH APPROVED TAPE. (ex. DUPONT CONTRACTOR TAPE)
*FASTEN TYVEK® TO SHEATHING WITH LARGE HEAD NAILS OR USE NAILS WITH LARGE PLASTIC WASHER HEADS. (ex. DUPONT WRAPCAPS)
*SEAL OR GASKET BRICK TIES AT FACE OF TYVEK®
*LOCAL LAWS, ZONING, AND BUILDING CODES VARY AND THEREFORE GOVERNS OVER MATERIAL SELECTION AND DETAILING SHOWN BELOW.

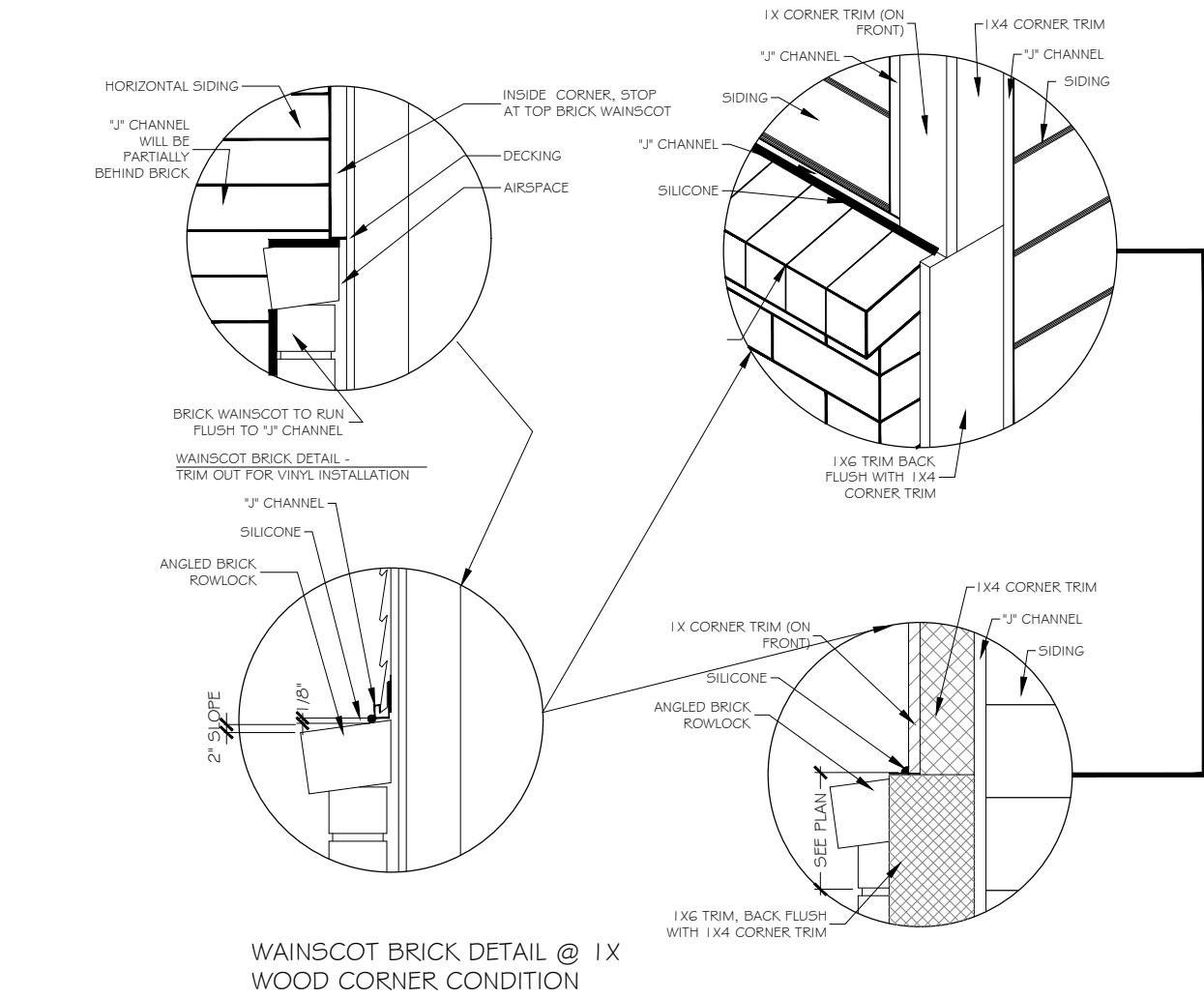


4 FLOOR/ WALL INTERFACE DETAIL
RESIDENTIAL WOOD FRAME STRUCTURE w/ SIDING (HEATING CLIMATE)

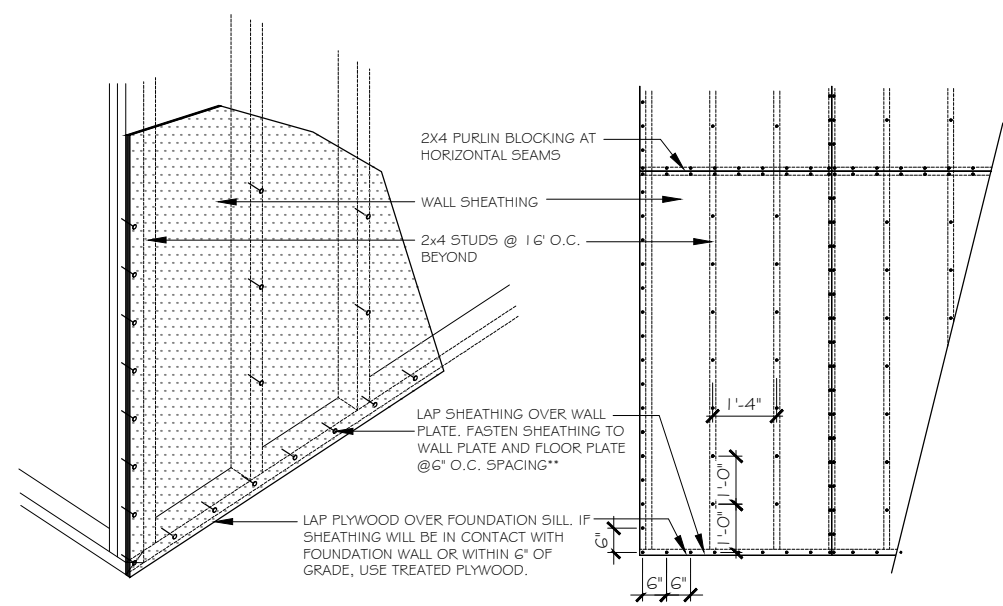
GENERAL NOTES
*SEAL ALL TYVEK® JOINTS AND PENETRATIONS WITH APPROVED TAPE. (ex. DUPONT CONTRACTOR TAPE)
*FASTEN TYVEK® TO SHEATHING WITH LARGE HEAD NAILS OR USE NAILS WITH LARGE PLASTIC WASHER HEADS. (ex. DUPONT WRAPCAPS)
*SEAL OR GASKET BRICK TIES AT FACE OF TYVEK®
*LOCAL LAWS, ZONING, AND BUILDING CODES VARY AND THEREFORE GOVERNS OVER MATERIAL SELECTION AND DETAILING SHOWN BELOW.



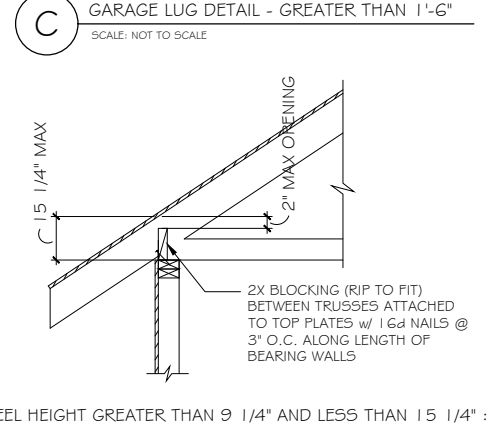
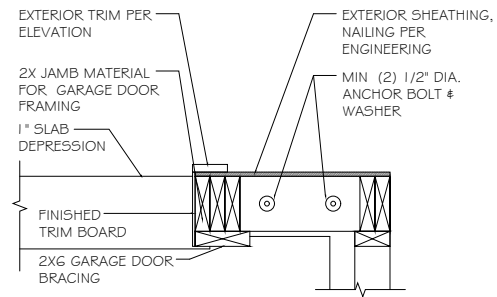
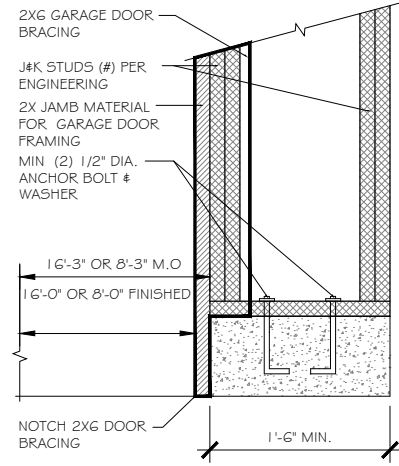
7 WINDOW HEAD DETAIL
RESIDENTIAL WOOD FRAME STRUCTURE w/ VENEER (COOLING CLIMATE)



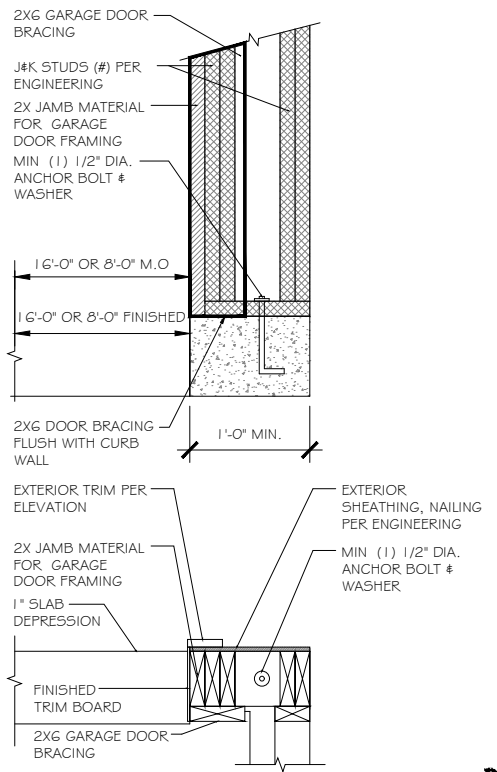
A FLASHING @ WAINSCOTING BRICK DETAIL
SCALE: 1/4" = 1'-0"



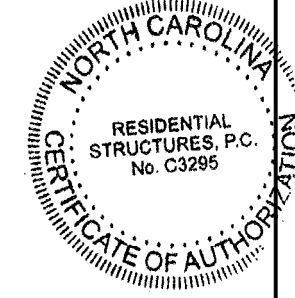
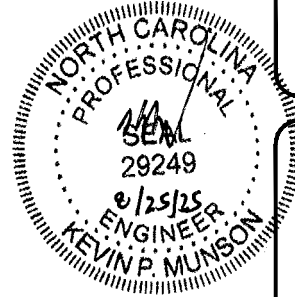
B TYP. NAILING PATTERN
SCALE: 1/4" = 1'-0"



E TRUSS BLOCKING REQUIREMENTS
N.T.S.



F ELECTRICAL PANEL REQUIREMENTS
N.T.S.



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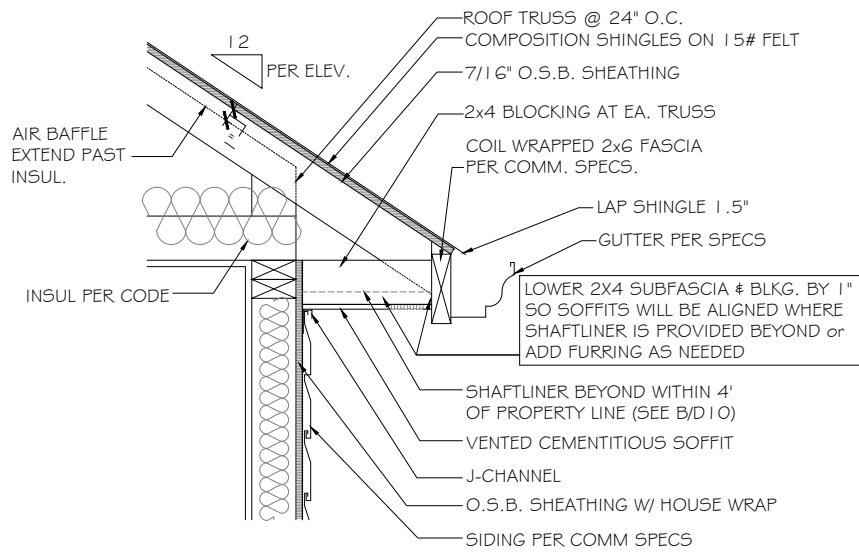
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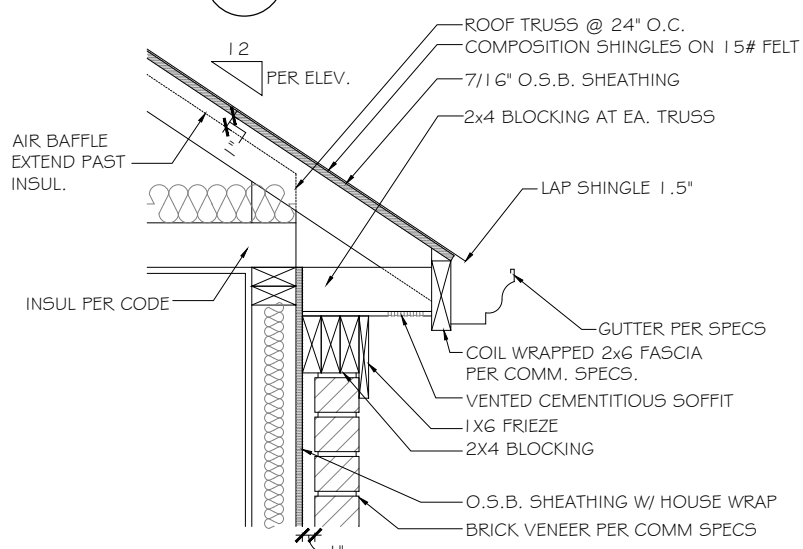
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DATE: 8.19.25
SCALE: AS SHOWN
REVIEWED BY: *Chuck*

SHEET: **D7**

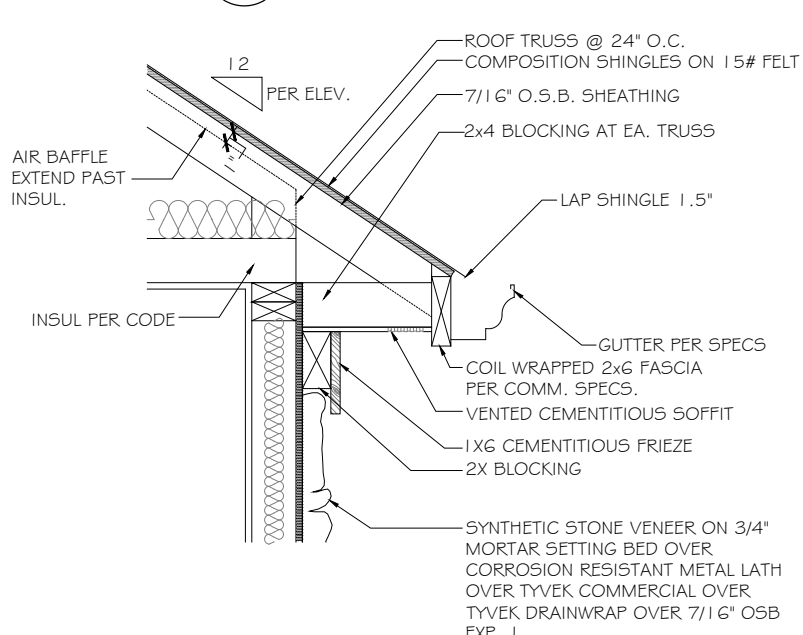
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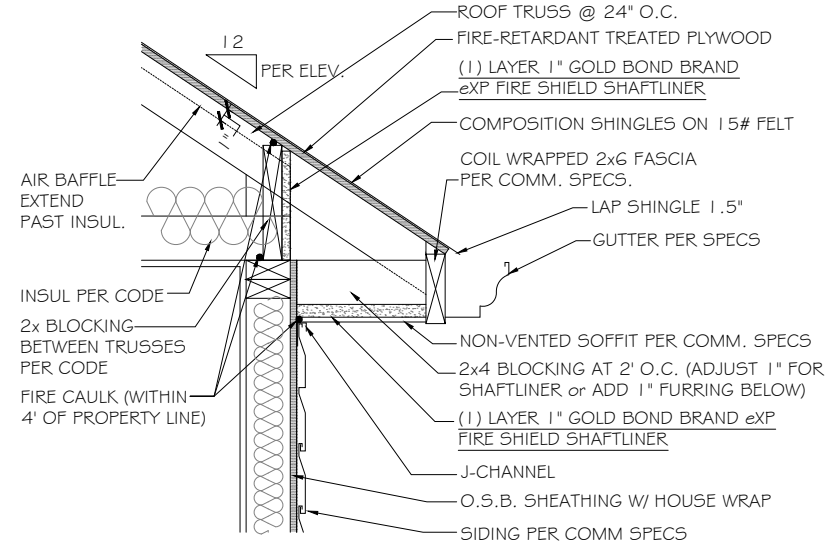
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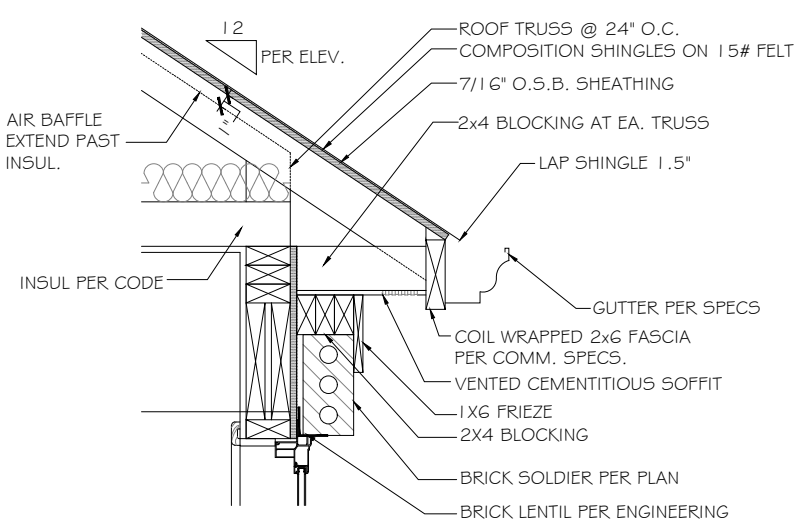
D BRICK CORNICE DETAIL
SCALE: NOT TO SCALE NON-RATED



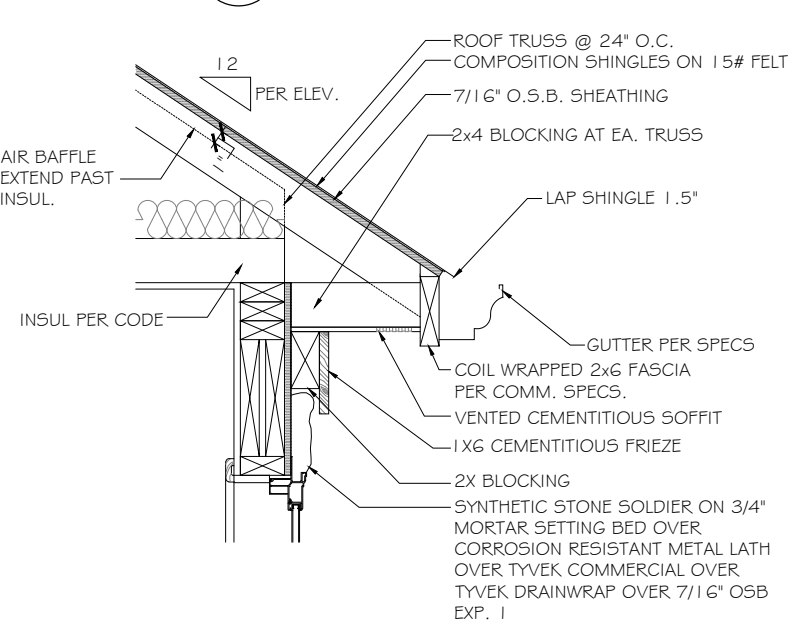
G STONE CORNICE DETAIL
SCALE: NOT TO SCALE NON-RATED



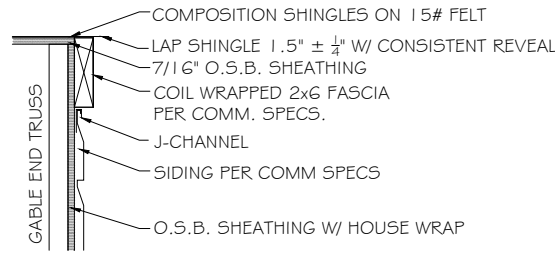
B CORNICE DETAIL
SCALE: NOT TO SCALE 1 HR. UNDERSIDE PROTECTION WITHIN 4' OF THE PROPERTY LINE



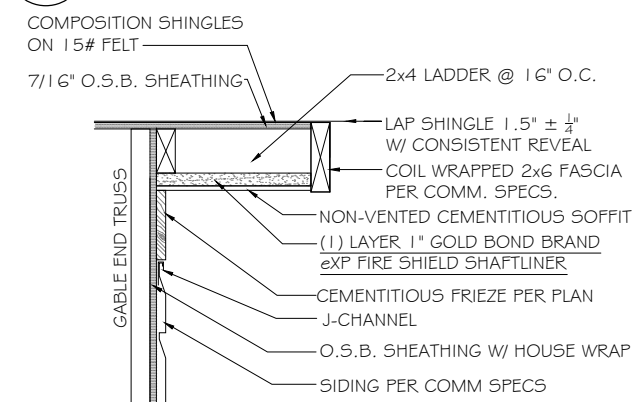
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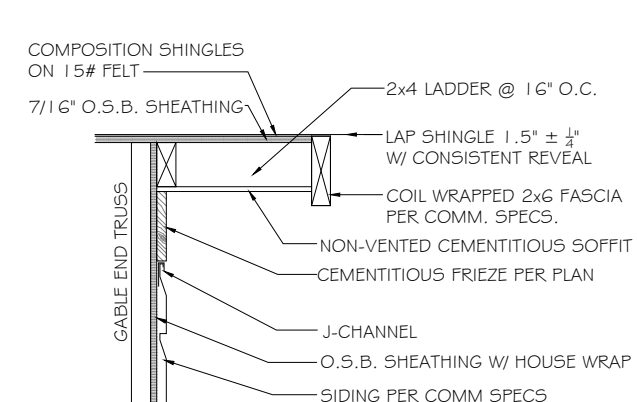
H STONE CORNICE DETAIL
SCALE: NOT TO SCALE NON-RATED



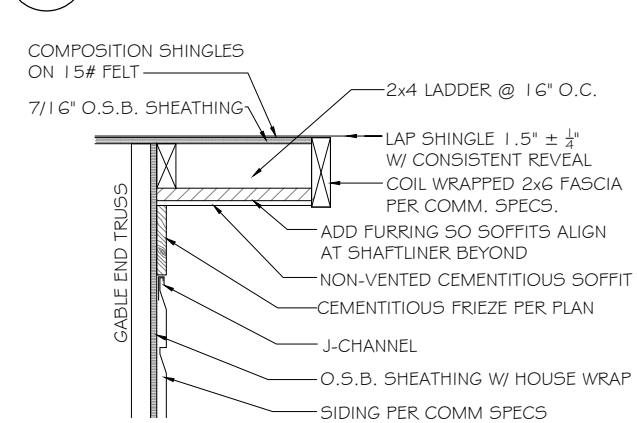
C FLUSH RAKE DETAIL
SCALE: NOT TO SCALE NON-RATED



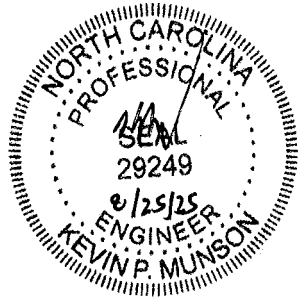
F RAKE OVERHANG DETAIL
SCALE: NOT TO SCALE 1 HR. UNDERSIDE PROTECTION WITHIN 4' OF THE PROPERTY LINE



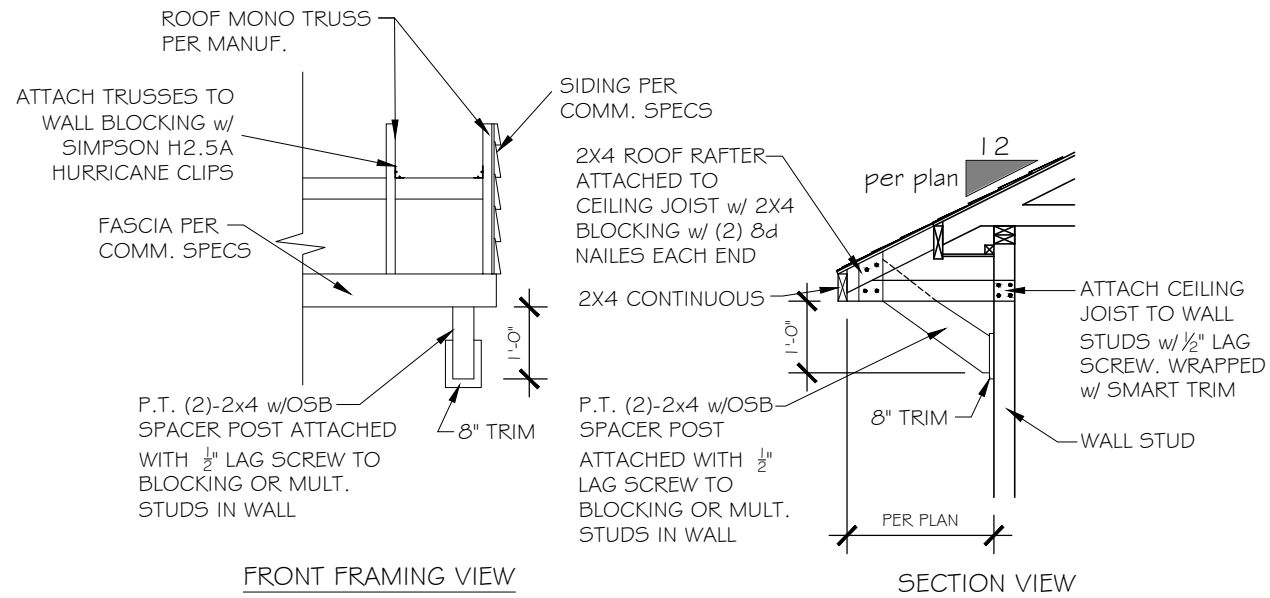
J RAKE OVERHANG DETAIL
SCALE: NOT TO SCALE NON-RATED



K RAKE OVERHANG DETAIL
SCALE: NOT TO SCALE NON-RATED

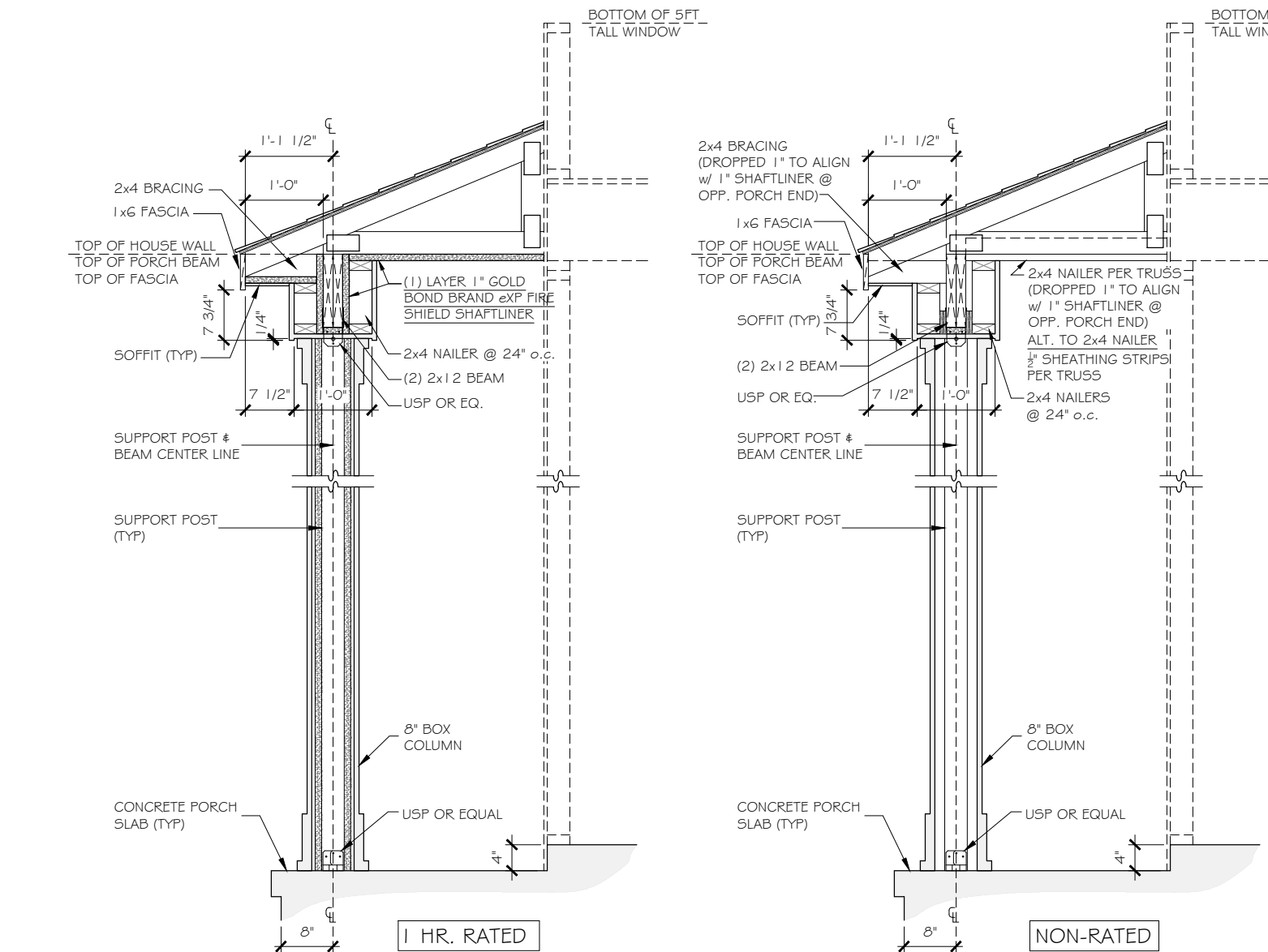


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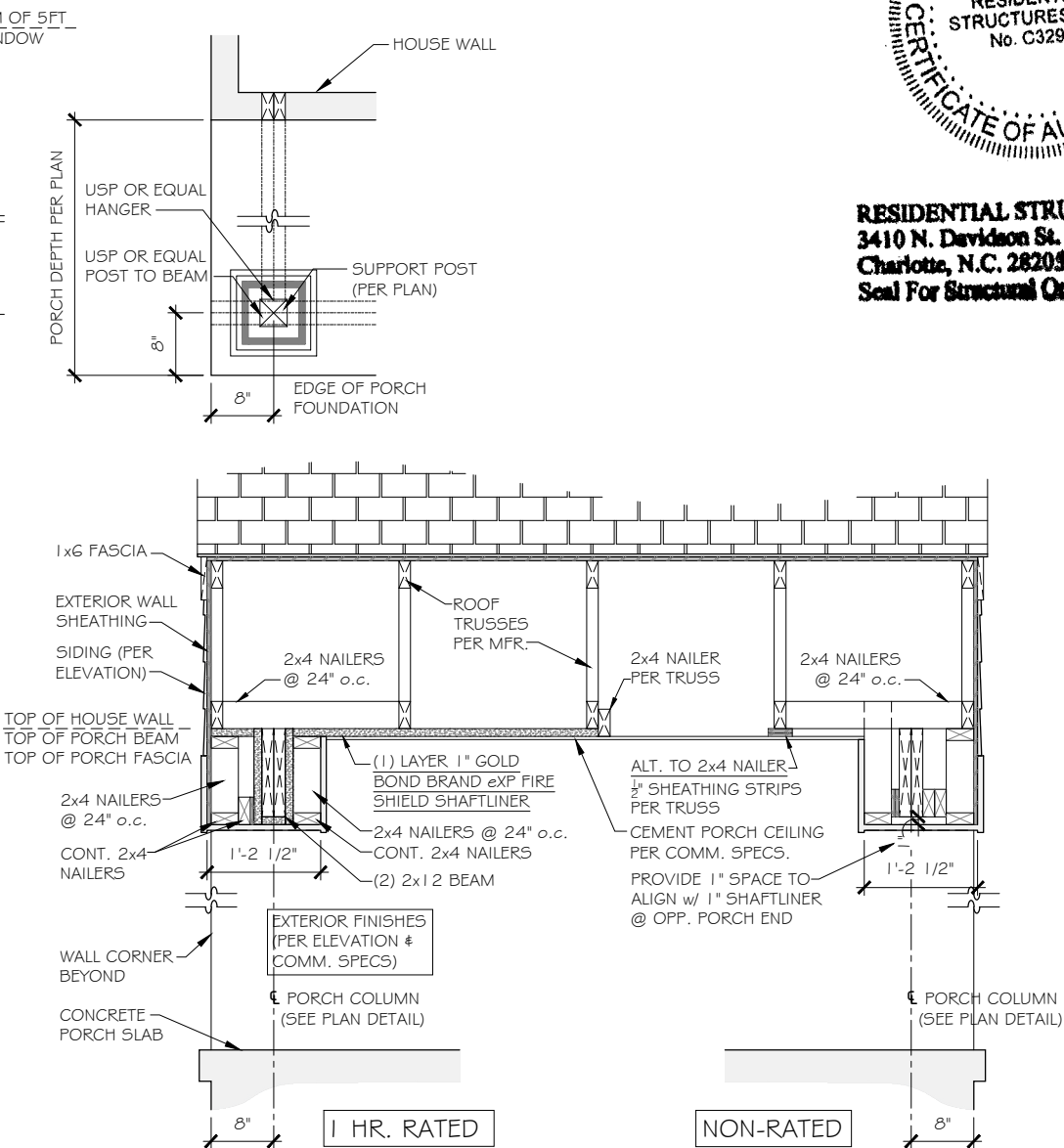
B DECORATIVE EXTENDED EAVE OVERHANG DETAIL

SCALE: 3/8" = 1'-0"



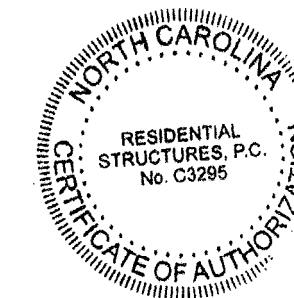
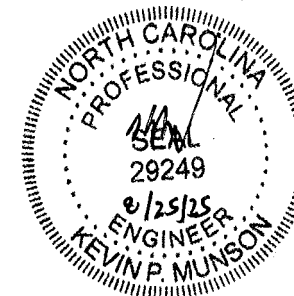
A 8" BOX COLUMN DETAIL

SCALE: 1/2" = 1'-0"

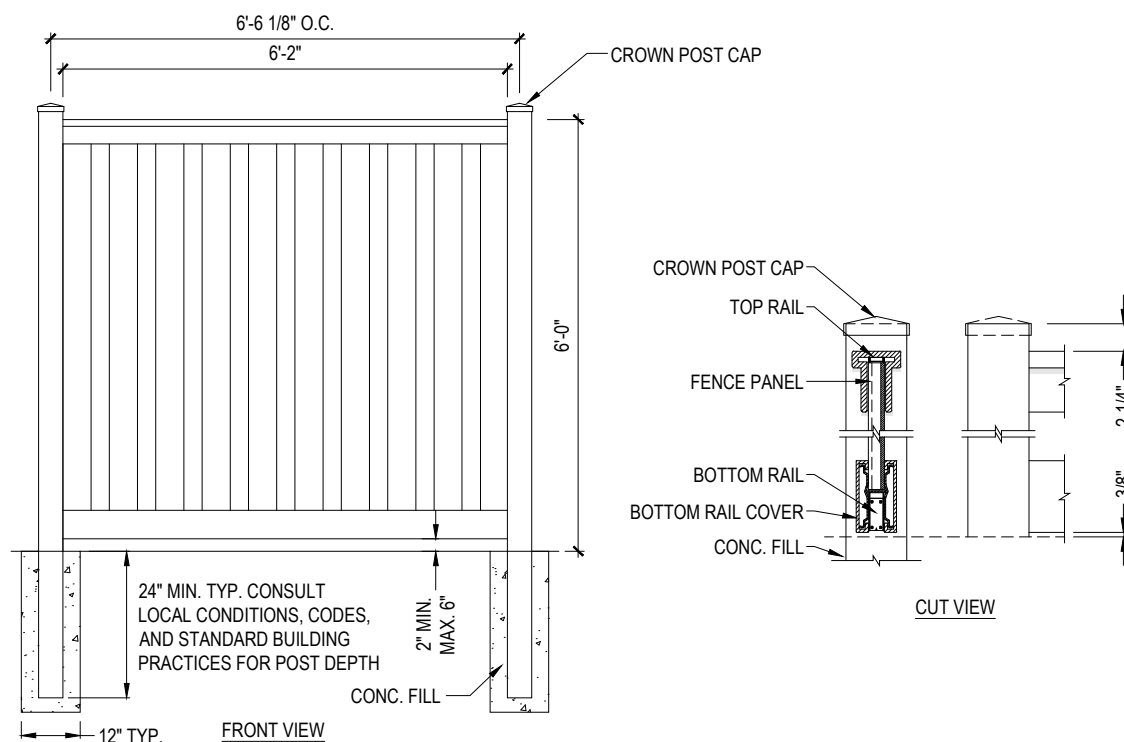




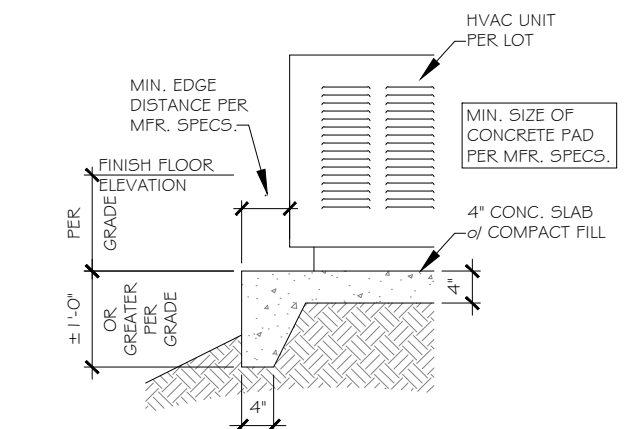
BUIES CREEK TOWNHOMES



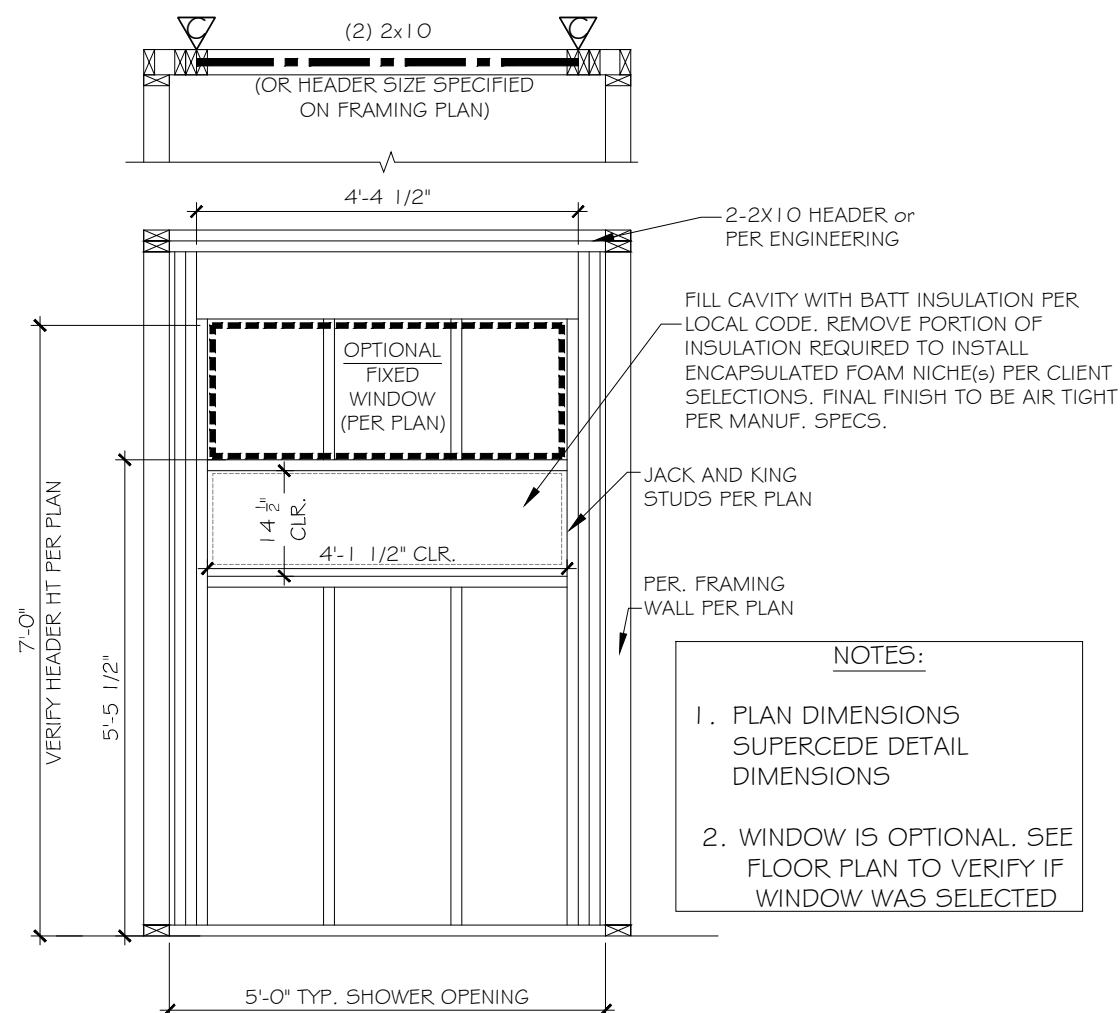
RESIDENTIAL STRUCTURES, P.C.
3410 N. Davidson St.
Charlotte, N.C. 28205
Seal For Structural Only



A TYP. PRIVACY FENCE DETAIL
NOT TO SCALE



B HVAC CONCRETE PAD DETAIL
NOT TO SCALE STEEP GRADE CONDITION



C TILE WALL NICHE DETAIL
SCALE: 3/8" = 1'-0"

LUCAS TH
1340

HARNETT COUNTY

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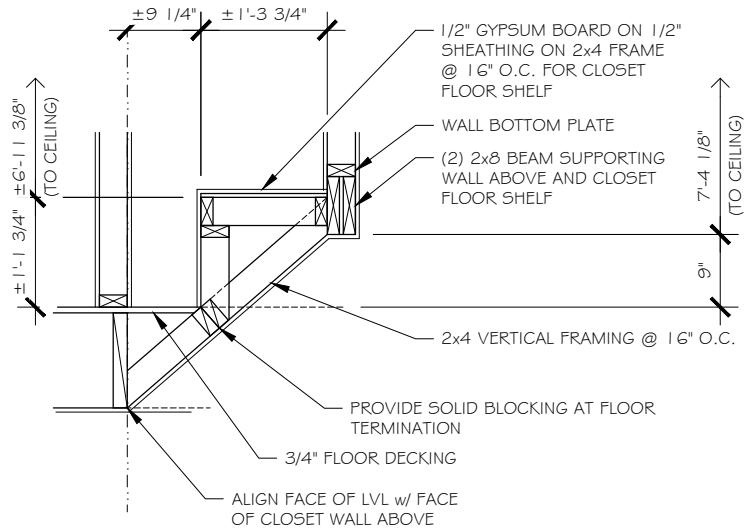
PREPARED BY:

DATE: 8.19.25

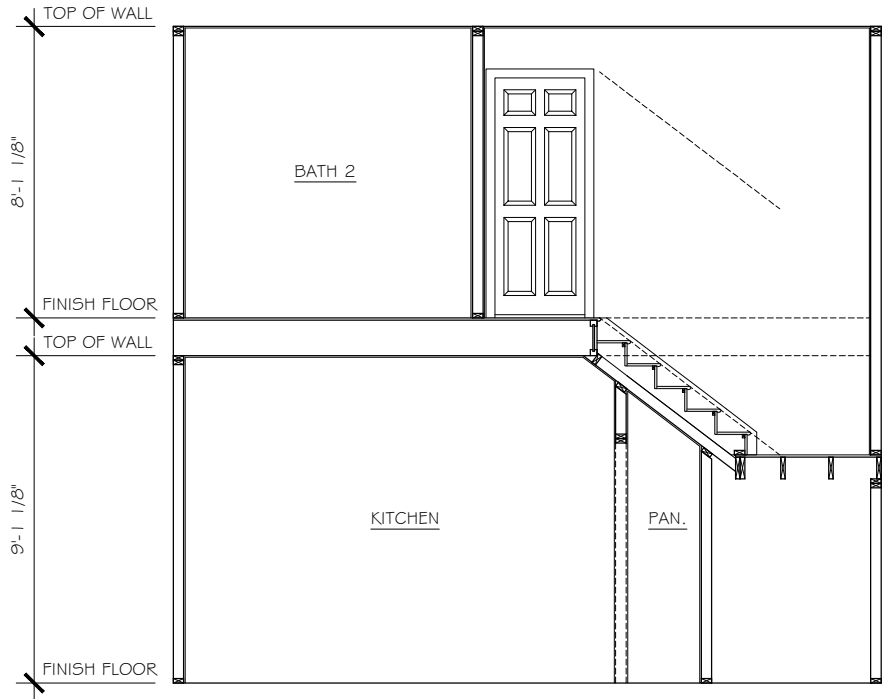
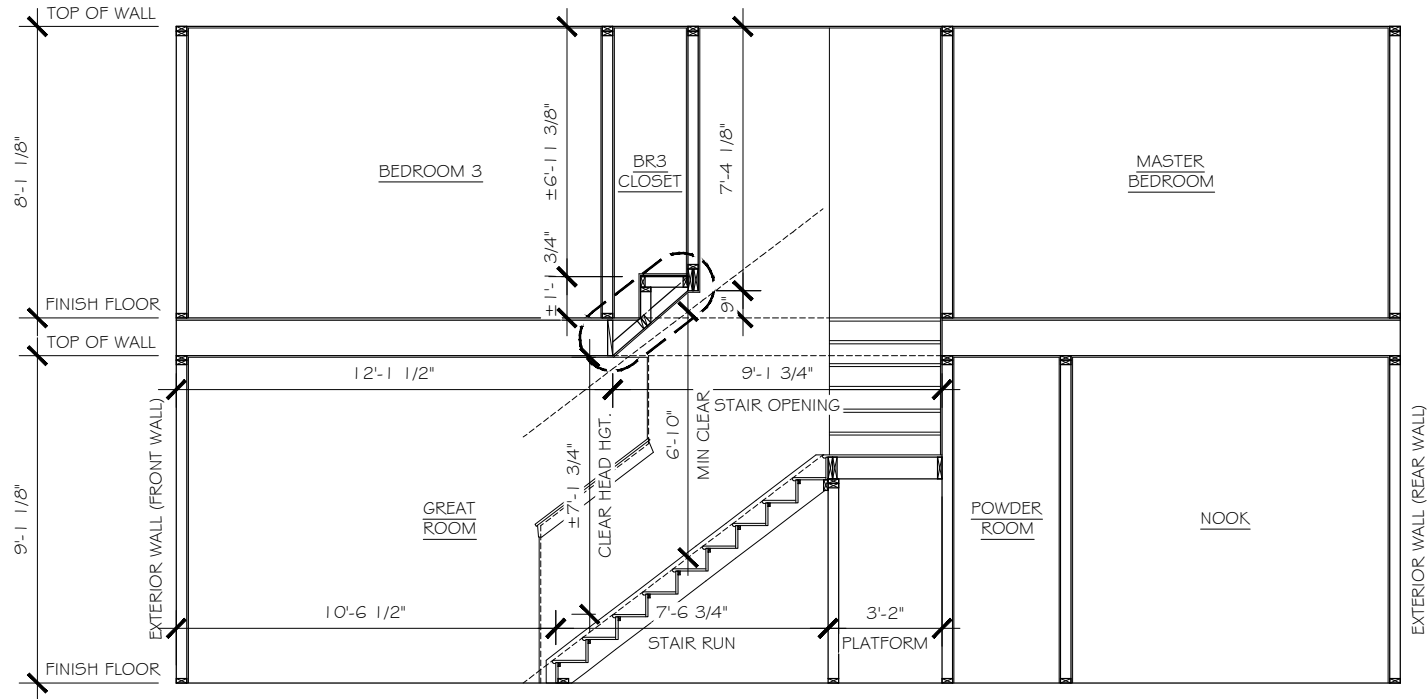
SCALE:
AS SHOWN

REVIEWED BY: *Chuck*

SHEET:
D12



CLOSET FLOOR SHELF DETAIL



STAIR SECTIONS
TWO-STORY UNITS

TrueHomes
 IT'S ALL ABOUT U
 2649 Brekonridge Centre Dr.
 Suite 104
 Monroe, N.C. 28110
 704-271-1191

BUIES CREEK
 TOWNHOMES

DETAILS

LUCAS TH
 1340

HARNETT COUNTY

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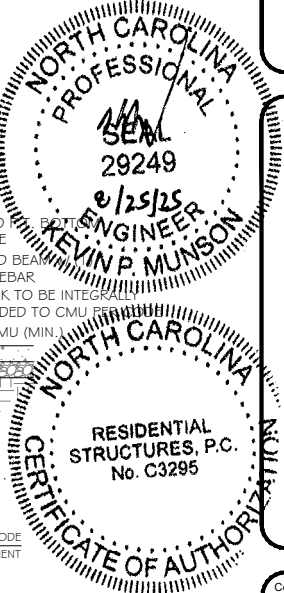
PREPARED BY:
Michael

DATE:
 8.19.25

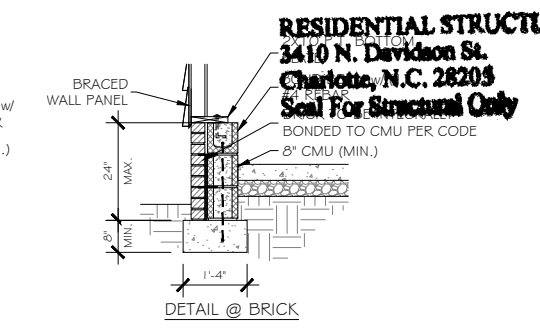
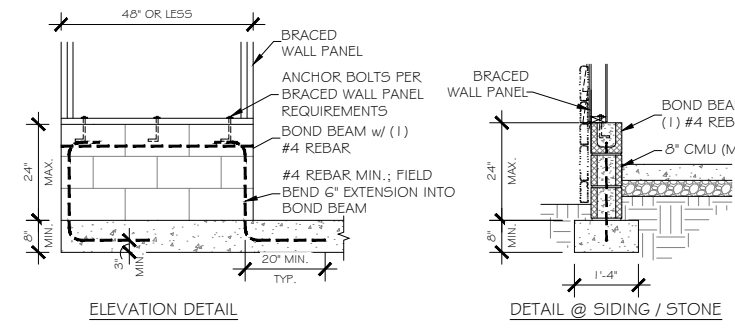
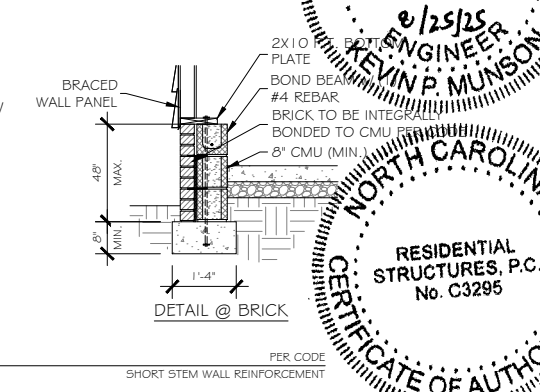
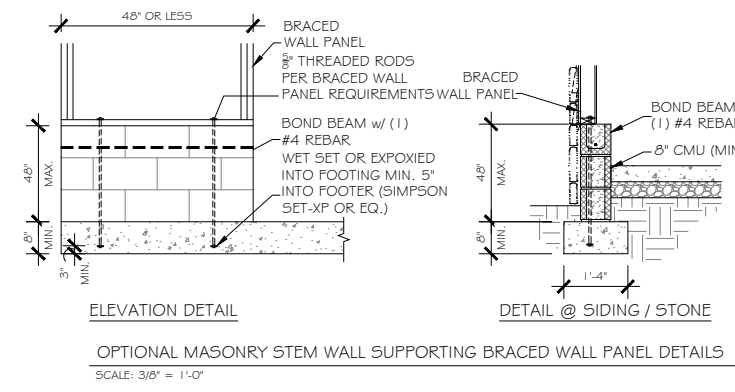
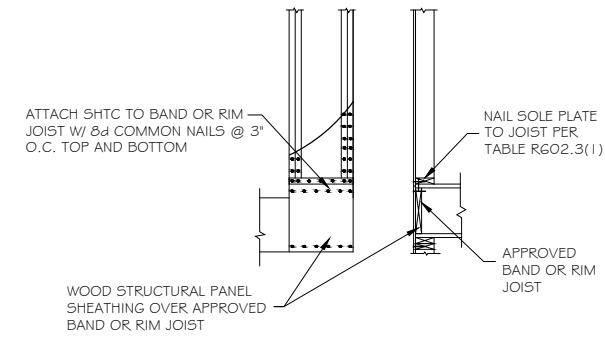
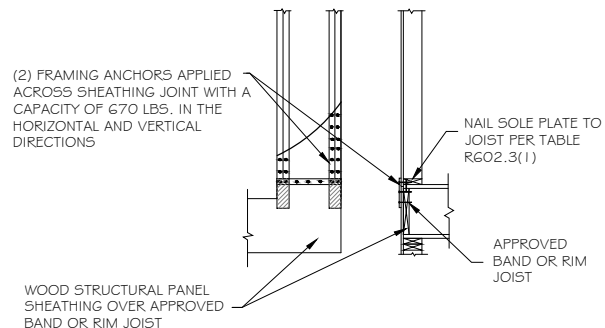
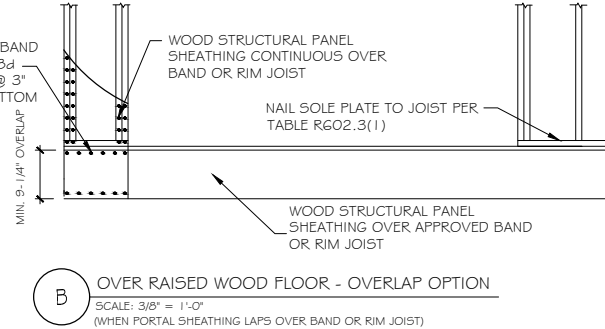
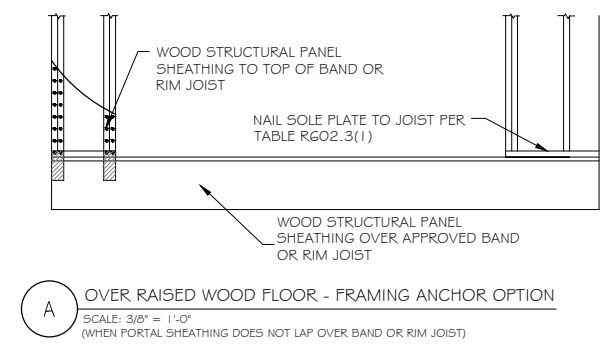
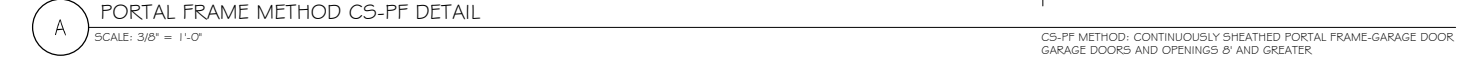
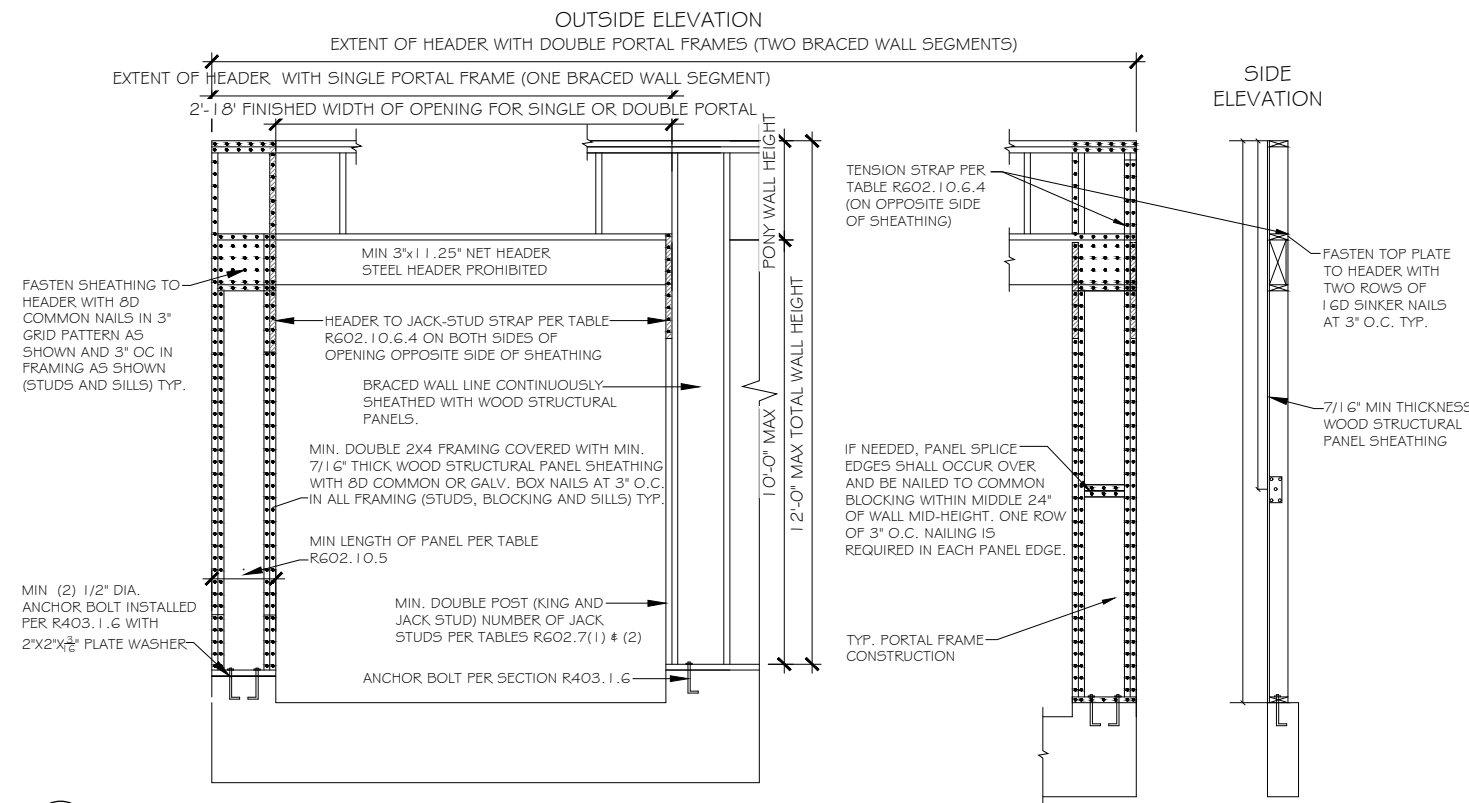
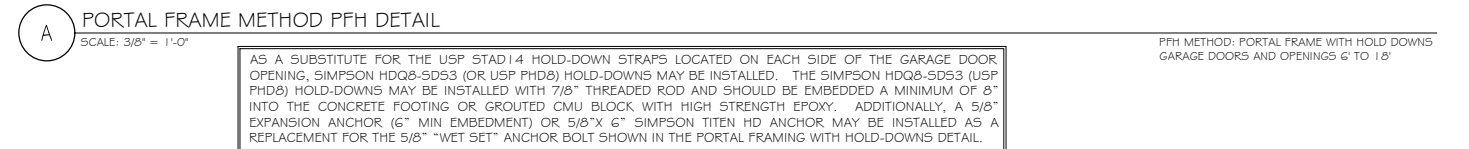
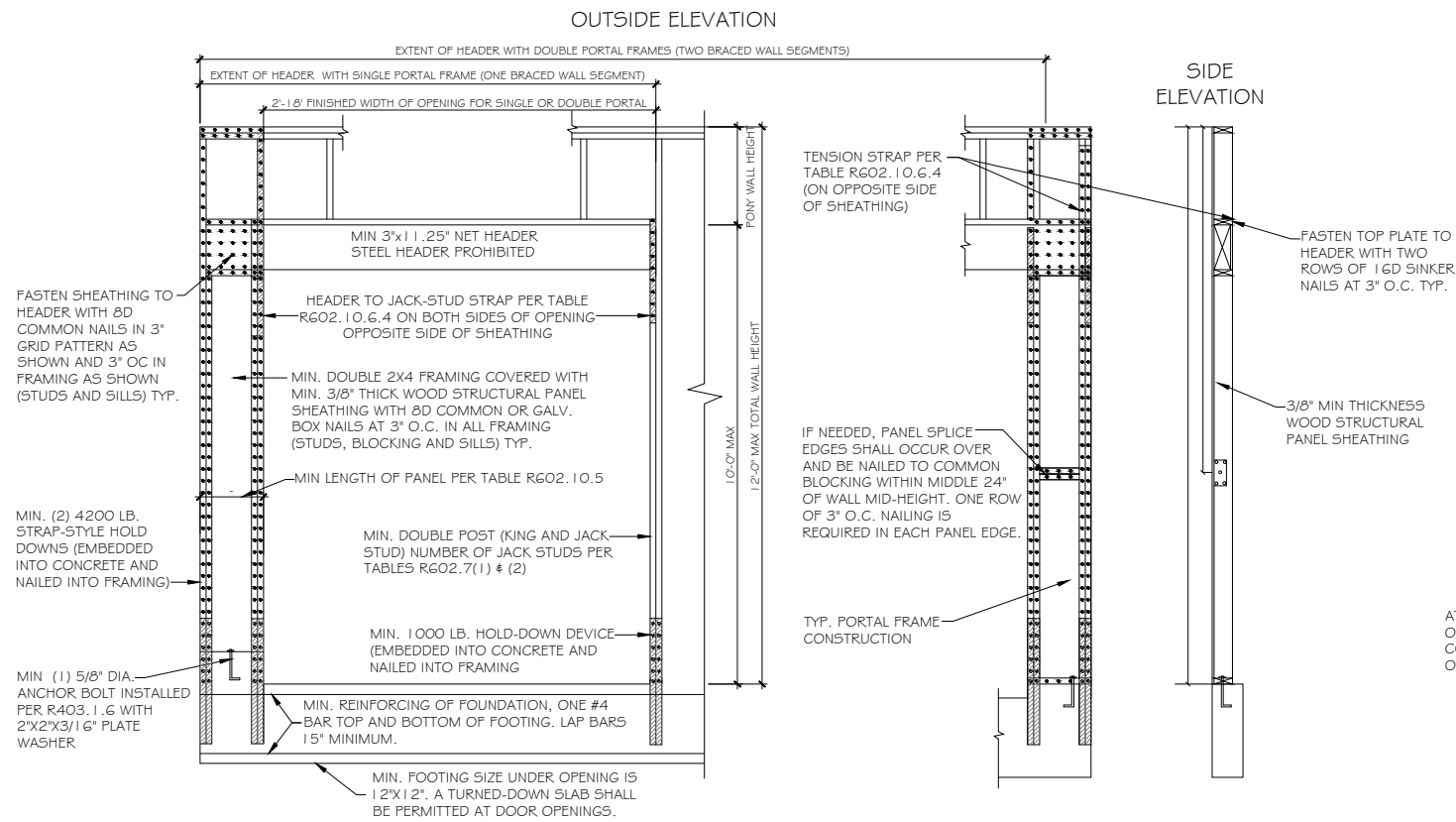
SCALE:
 AS SHOWN

REVIEWED BY:
Chuck

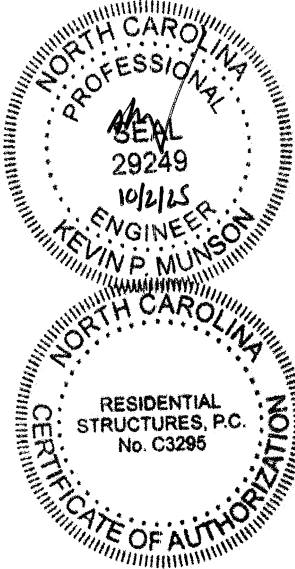
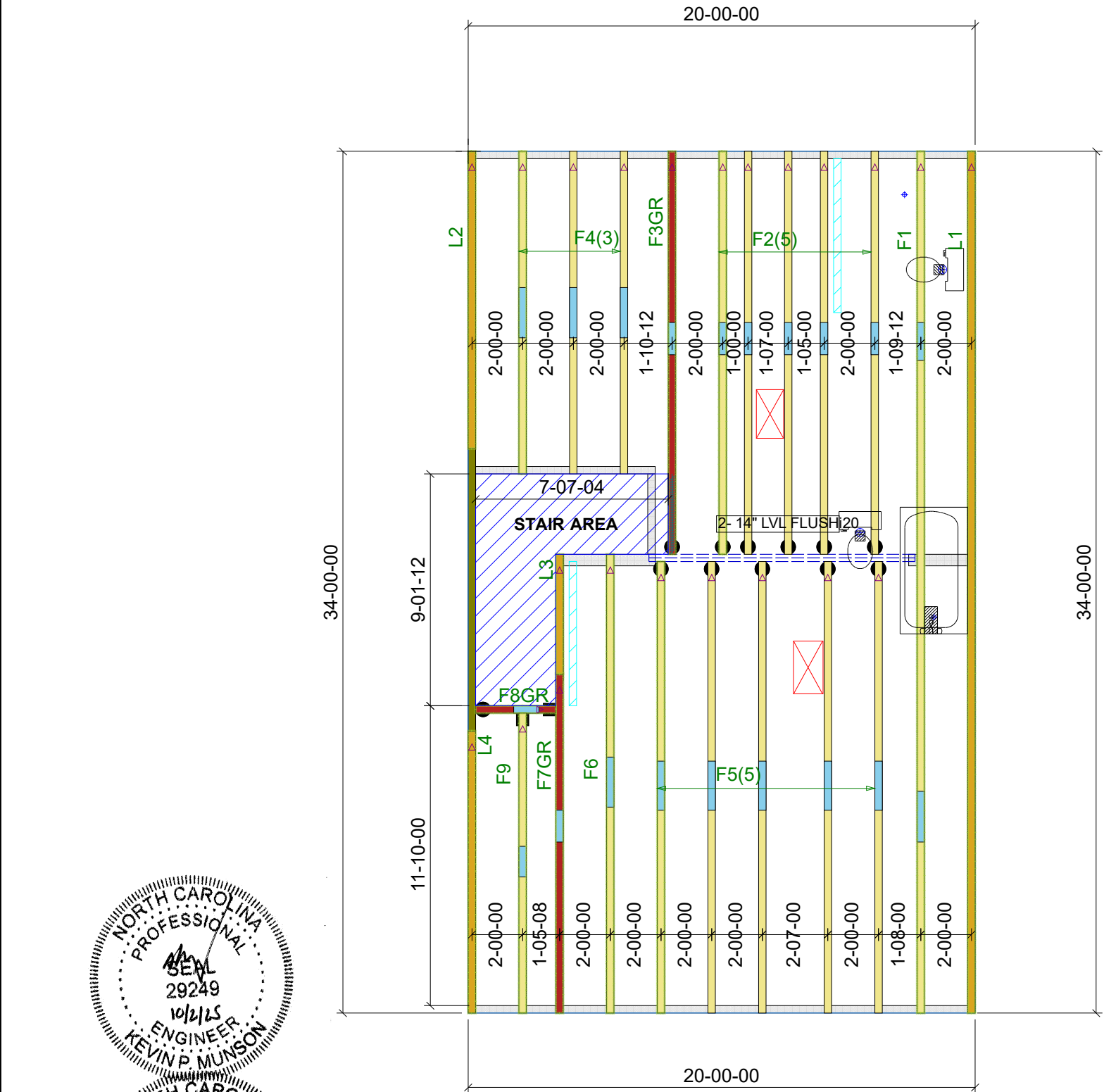
SHEET:
D13



WALL BRACING HAS BEEN DESIGNED IN ACCORDANCE WITH THE 2018 NCRC AND/OR THE 2021 IRC AS ALLOWED PER SECTION R602.10.



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RESIDENTIAL STRUCTURES, P.C.
3410 N. Davidson St.
Charlotte, N.C. 28205
Seal For Structural Only

FLOOR TRUSS LAYOUT
SCALE: 3/16" = 1'

Hangers	
●	12) THD46
■	02) MSH418
▲	##) #####
⊕	##) #####
⊗	##) #####
△	##) #####

THE BUILDING CENTER, INC.

2591 Jenkins Dairy Rd
PH. (704) 824-8182
FAX. (704) 824-2232

Client: True Homes

Notes:

Job Desc: LUCAS TH - 1340

Site Information: Lot 8 - BCTH

Salesman: NA Date: 10/01/2025

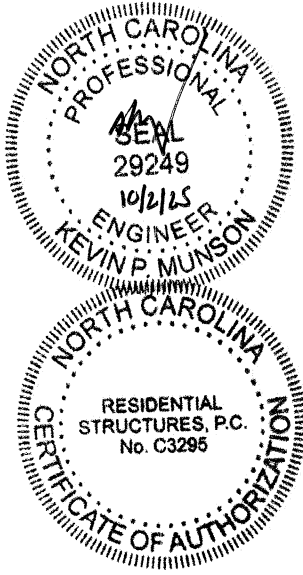
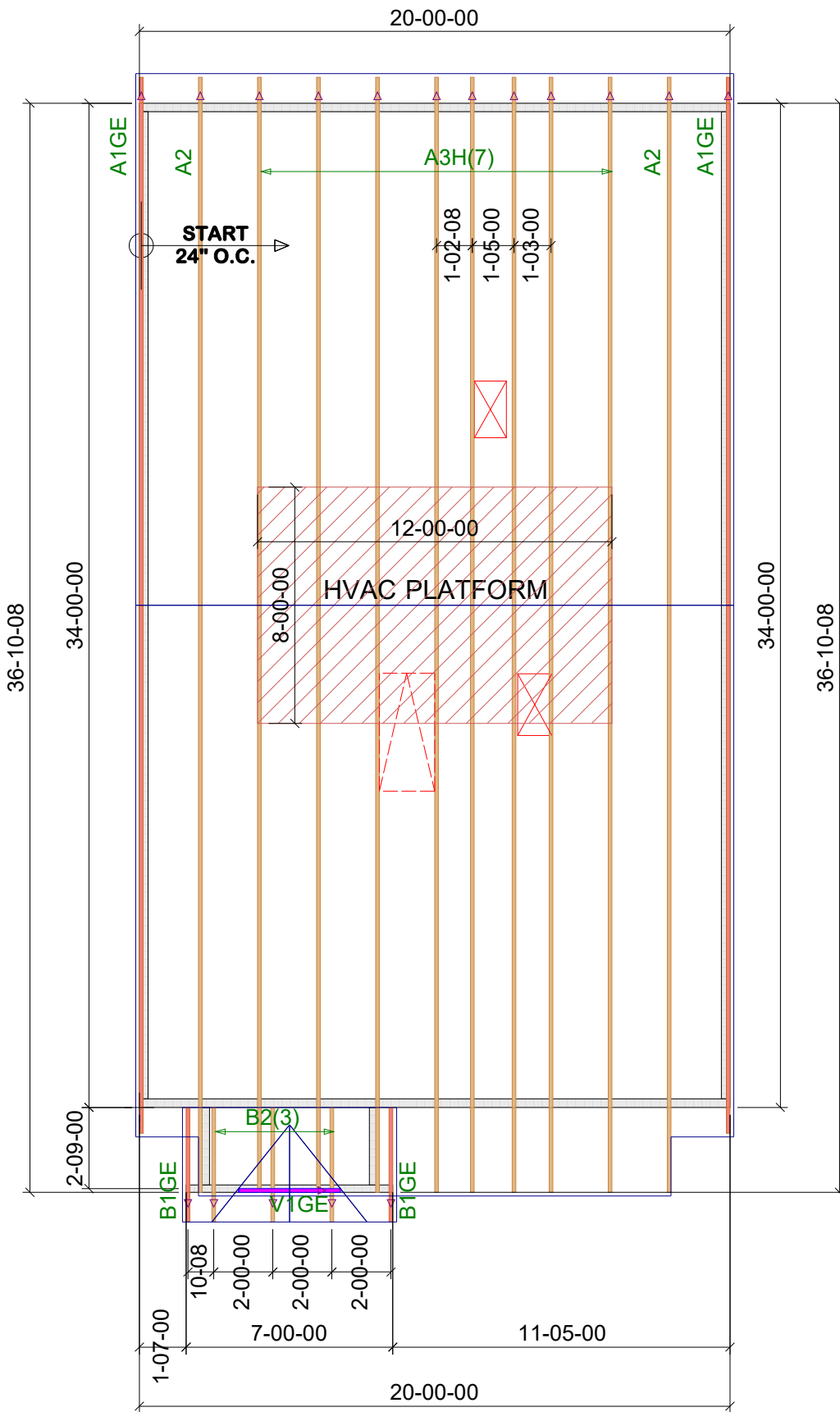
Drafter: MS/PM Job #: 25094451F

THIS IS A TRUSS PLACEMENT DIAGRAM ONLY. These trusses are designed as individual building components to be incorporated into the building design at the specification of the building designer. See individual design sheets for each truss design identified on the placement drawing. The building designer is responsible for temporary and permanent bracing of the roof and floor system and for the overall structure. The design of the truss support structure including headers, beams, walls, and columns is the responsibility of the building designer. For general guidance regarding bracing, consult "Bracing of Wood Trusses" available from the Truss Plate Institute, 583 D'Onifrio Drive; Madison, WI 53179.

SHOP DRAWING APPROVAL

THIS LAYOUT IS THE SOLE SOURCE FOR FABRICATION OF TRUSSES AND VOIDS ALL PREVIOUS ARCHITECTURAL OR OTHER TRUSS LAYOUTS. REVIEW AND APPROVAL OF THIS LAYOUT MUST BE RECEIVED BEFORE ANY TRUSSES WILL BE BUILT. VERIFY ALL CONDITIONS TO INSURE AGAINST CHANGES THAT WILL RESULT IN EXTRA CHARGES TO YOU.

REVIEWED BY: _____ APPROVED BY: _____ DATE: _____



RESIDENTIAL STRUCTURES, P.C.
3410 N. Davidson St.
Charlotte, N.C. 28205
Seal For Structural Only

ROOF TRUSS LAYOUT

SCALE: 3/16" = 1'

Hangers	
● ##)	HUS26
■ ##)	#####
▲ ##)	#####
⊕ ##)	#####
⊗ ##)	#####
△ ##)	#####
	57) RT7A



THE BUILDING CENTER, INC.

2591 Jenkins Dairy Rd
PH. (704) 824-8182
FAX. (704) 824-2232

Client:

True Homes

Notes:

Job Desc:

LUCAS TH - 1340

Site Information:

Lot 8 - BCTH

Salesman:

NA

Date:

10/01/2025

Drafter:

MS/PD

Job #:

25094451R

THIS IS A TRUSS PLACEMENT DIAGRAM ONLY. These trusses are designed as individual building components to be incorporated into the building design at the specification of the building designer. See individual design sheets for each truss design identified on the placement drawing. The building designer is responsible for temporary and permanent bracing of the roof and floor system and for the overall structure. The design of the truss support structure including headers, beams, walls, and columns is the responsibility of the building designer. For general guidance regarding bracing, consult "Bracing of Wood Trusses" available from the Truss Plate Institute, 583 D'Onifrio Drive, Madison, WI 53179.

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REVIEWED BY: _____ APPROVED BY: _____ DATE: _____

North Carolina 2018 - R402.1.5 Total UA

Property

TBD
Lillington, NC 27546
Model: 1340 Lucas B1_TH-EndUnit_3
Community: Buies Creek

Organization

Performance Point, LLC.
Rodrigo Torres

Inspection Status

Results are projected

Builder

True Homes

Buies Creek 8

True_Buies Creek 8_1340 Lucas B1_TH-En

This report is based on a proposed design and does not confirm field enforcement of design elements.

Building UA

Elements	NC Reference	As Designed
Ceilings	20.4	17.5
Above-Grade Walls	84.1	85.8
Windows, Doors and Skylights	62.9	50.8
Slab Floor:	37.2	37.2
Framed Floors	0.0	0.0
Foundation Walls	0.0	0.0
Rim Joists	5.1	4.8
Overall UA (Design must be equal or lower):	209.7	196.1

Requirements

✓	R402.1.5	Total UA alternative compliance passes by 6.5%.	The proposed home meets the UA requirement by 6.5%
✓	R402.3.2	Average SHGC: 0.22 Max SHGC: 0.30	Average SHGC of 0.22 is greater than the maximum of 0.30.
✓	R402.4.2.2	Air Leakage Testing	Air sealing is 5.00 ACH at 50 Pa. It must not exceed 5.00 ACH at 50 Pa.
✓	R402.5	Area-weighted average fenestration SHGC	Area-weighted average fenestration SHGC is 0.22. The maximum allowed value is [No Limit].
✓	R402.5	Area-weighted average fenestration U-Factor	
✓	R404.1	Lighting Equipment	
✓	Mandatory Checklist	Mandatory code requirements that are not checked by Ekotrope must be met.	2015 IECC Mandatory Checklist must be checked as complete.
✓	R403.3.1	Duct Insulation	Duct insulation meets the requirements specified in North Carolina 2018 Code Section 403.3.1.
✓	403.3.3	Duct Testing	

Design exceeds requirements for North Carolina 2018 Prescriptive compliance by 6.5%.

Name: Rodrigo Torres Signature: 
Organization: Performance Point, LLC. Digitally signed: 10/1/25 at 3:16 PM

Ekotrope RATER - Version 5.1.0.3720

North Carolina 2018 Prescriptive compliance results calculated using Ekotrope RATER's energy and code compliance algorithm, including appropriate amendments.

Ekotrope RATER is a RESNET Accredited HERS Rating Tool. All results are based on data entered by Ekotrope users.

Ekotrope disclaims all liability for the information shown on this report.

Energy Code Inspection Checklist

Property	Organization	Inspection Status
TBD	Performance Point, LLC.	Results are projected
Lillington, NC 27546	Rodrigo Torres	
Model: 1340 Lucas B1_TH-EndUnit_3		
Community: Buies Creek	Builder	
	True Homes	
Buies Creek 8		
True_Buies Creek 8_1340 Lucas B1_TH-En		

General Building Information

Conditioned Area (sq ft)	1,360
Conditioned Volume (cubic ft)	12,523
Insulated Shell Area (sq ft)	3,349.1

The building energy model in Ekotrope reflects the building assemblies and energy features listed below. Sometimes energy features will change in the field from what has been modeled. The inspection process should identify any changes and ensure that the home continues to meet the applicable energy code.

Slab

	Name: House Slab(680 s.f., 74 ft. exterior perimeter) R-10 perimeter insulation, R-0 under slab insulation.
--	--

Framed Floor

None Present

Foundation Wall

None Present

Above Grade Wall

	Name: 2x4 Ambient (1,257.5 s.f.) R-0 continuous insulation, R-15 cavity insulation Insulation Grade: I
--	--

	Name: Niche (2 s.f.) R-0 continuous insulation, R-0.5 cavity insulation Insulation Grade: I
--	---

	Name: 2x4 Kneewall - Porch (12.4 s.f.) R-0 continuous insulation, R-15 cavity insulation Insulation Grade: I
--	--

Energy Code Inspection Checklist

Property	Organization	Inspection Status
TBD	Performance Point, LLC.	Results are projected
Lillington, NC 27546	Rodrigo Torres	
Model: 1340 Lucas B1_TH-EndUnit_3		
Community: Buies Creek	Builder	
	True Homes	
Buies Creek 8		
True_Buies Creek 8_1340 Lucas B1_TH-En		

	Name: 2x4 Adiabatic (584.4 s.f.)
	R-0 continuous insulation, R-11 cavity insulation
	Insulation Grade: I

Rim Joist

	Name: Ambient (82.4 s.f.)
	R: 14.10

	Name: Attic (8.6 s.f.)
	R: 14.10

	Name: Adiabatic (41.8 s.f.)
	R: 14.10

Ceiling / Roof

	Name: CIng- 6:12 (680 s.f.)
	R-28.5 continuous insulation, R-9.5 cavity insulation
	Insulation Grade: I

Opaque Door

	Name: Front Door (20 s.f.)
	R: 7.00

Glazing

	Name: Front (60 s.f.), U: 0.300, SHGC: 0.22, Orientation: WEST
--	--

	Name: Right (30 s.f.), U: 0.300, SHGC: 0.22, Orientation: SOUTH
--	---

	Name: Back (30 s.f.), U: 0.300, SHGC: 0.22, Orientation: EAST
--	---

	Name: Back - Kitchen 2'6"x4' (10 s.f.), U: 0.300, SHGC: 0.22, Orientation: EAST
--	---

Energy Code Inspection Checklist

Property	Organization	Inspection Status
TBD	Performance Point, LLC.	Results are projected
Lillington, NC 27546	Rodrigo Torres	
Model: 1340 Lucas B1_TH-EndUnit_3		
Community: Buies Creek	Builder	
	True Homes	
Buies Creek 8		
True_Buies Creek 8_1340 Lucas B1_TH-En		

 Name: Back - Nook 3'x4' (12 s.f.), U: 0.300, SHGC: 0.22, Orientation: EAST

 Name: Back Door (17.8 s.f.), U: 0.300, SHGC: 0.22, Orientation: EAST

Skylight

None Present

Mechanical Ventilation

None Present

Mechanical Equipment

 Water Heater • Electric • 100% Hot Water Load @ 0.93 UEF

 Heat Pump / All • Electric • 100% Heating Load @ 8.2 HSPF, 100% Cooling Load @ 14 SEER

Air Leakage Control

 Test Status: Blower-door tested
House is air-sealed as to achieve 1,044 CFM50 (5.00 ACH50) or less at final blower-door test.

Infiltration Requirements for IECC in Climate Zone 4

2009 IECC Infiltration limit for the design home is 7 ACH50.
2012 IECC Infiltration limit for the design home is 3 ACH50.
2015 IECC Infiltration limit for the design home is 3 ACH50.
2018 IECC Infiltration limit for the design home is 3 ACH50.
2021 IECC Infiltration limit for the design home is 5 ACH50.
2024 IECC Infiltration limit for the design home is 4 ACH50.

Note: Under IECC 2021 and later, this home is considered to be in Climate Zone 3

Energy Code Inspection Checklist

Property	Organization	Inspection Status
TBD	Performance Point, LLC.	Results are projected
Lillington, NC 27546	Rodrigo Torres	
Model: 1340 Lucas B1_TH-EndUnit_3		
Community: Buies Creek	Builder	
	True Homes	
Buies Creek 8		
True_Buies Creek 8_1340 Lucas B1_TH-En		

Duct Leakage

- Duct System 1
 - NOT entirely within conditioned space, testing required
 - Leakage to Outside specified as: 4 CFM25 / 100 ft²
 - Total Leakage specified as: 4 CFM25 / 100 ft² (Post-Construction)

Duct Leakage Code Requirements for IECC

- 2009 IECC:
 - Postconstruction Leakage Test: Duct Leakage to Outdoors <= 8 CFM25 / 100 sq ft CFA.
 - Rough in Test with AHU: Total Duct Leakage <= 6 CFM25 / 100 sq ft CFA.
 - Rough in Test without AHU: Total Duct Leakage <= 4 CFM25 / 100 sq ft CFA.
- 2012 IECC Mandatory, 2015, 2018, & 2021 IECC Prescriptive Paths:
 - Postconstruction Leakage Test: Total Duct Leakage <= 4 CFM25 / 100 sq ft CFA.
 - Rough in Test with AHU: Total Duct Leakage <= 4 CFM25 / 100 sq ft CFA.
 - Rough in Test without AHU: Total Duct Leakage <= 3 CFM25 / 100 sq ft CFA.
 - * Note: IECC 2021 requires Total Duct Leakage <= 8 CFM25 / 100 sq ft CFA when all ducts and air handlers are within the building thermal envelope.
- 2015 and 2018 IECC Performance Paths (Cost Compliance):
 - Leakage testing is required UNLESS all ducts and air handlers are located entirely within the thermal envelope.
 - There is no pass/fail threshold for duct leakage on the performance path.

Project Notes

EP_9/30/2025_Performance Report	True_1340 Lucas B1_TH-EndUnit_3
Worst Orientation Lot 1 (W)	
SC_10/1/2025_QC	

Energy Specifications Label

TBD

Model: 1340 Lucas B1_TH-EndUnit_3

Ekotrope RATER - Version: 5.1.0.3720

Building Envelope Specs

Ceiling: R-38

Above Grade Walls: R-15

Foundation Walls: N/A

Exposed Floor: N/A

Slab: R-10

Infiltration: 5 ACH50

Duct Insulation: Supply: R8, Return: R8

Duct Lkg to Outdoors: 4 CFM25 / 100 ft²

Window & Door Specs

U-Value: 0.3, SHGC: 0.22

Door: R-7

Mechanical Equipment Specs

Heating: Air Source Heat Pump • Electric • 8.2 HSPF

Cooling: Air Source Heat Pump • Electric • 14 SEER

Hot Water: Residential Water Heater • Electric • 0.93 UEF

Average Mechanical Ventilation: 0 CFM

Builder or Design Professional

Signature: _____

Builder Affidavit

Property

TBD
Lillington, NC 27546
Model: 1340 Lucas B1_TH-EndUnit_3
Community: Buies Creek

Buies Creek 8
True_Buies Creek 8_1340 Lucas B1_TH-En

Organization

Performance Point, LLC.
Rodrigo Torres

Builder

True Homes

Inspection Status

Results are projected

Important Notice to Builder

Builder affirms in this affidavit that all building characteristics described in the Building Summary Report accurately reflect this New Home. Builder agrees to allow the Home Energy Rating System (HERS) Provider and/or Rater to verify building characteristics of this New Home fully at the HERS Rater/Provider's discretion. The HERS Provider and Rater do not create or imply any duty or obligations to Builder or any subsequent owner. Builder is responsible for taking any actions necessary to protect Builder's interest. There is no guarantee or warranty whatsoever expressed or implied from the HERS Provider or Rater.

HERS® Index Score:79

Builder Name: True Homes

Builder Signature: _____

Name: _____ Rodrigo Torres
Organization: _____ Performance Point, LLC.

Signature: _____
Digitally signed: _____ 10/1/25 at 3:16 PM