



strong roots • new growth

CentralPermitting@Harnett.org
(910) 893-7525 ext:1
420 McKinney Pkwy (physical)
PO Box 65 (mailing)
Lillington, NC 27546

RESIDENTIAL BUILDING APPLICATION

Site Address: 164 Woodrow McDuffie Lane, Sanford PIN: 03958701-0366
Owner: Dennis Dailey Phone: 757-717-9671 Email: damesres@gmail.com
Description of Proposed Work: Widen two existing walls and make cosmetic improvements Total Job Cost: \$118,000.00

GENERAL CONTRACTOR INFORMATION

* Must be owner or licensed contractor. Address, company name & phone must match information on license.

Altwater GC Professional Services 919-454-5256
General Contractor's Company Name Phone
1249 Kildaire Farm Rd #179, Cary 27511 gcprofsvcs@gmail.com
Address Email
101836
License #

ELECTRICAL CONTRACTOR INFORMATION

Description of Work: Swap out existing lights Service Size: 200 Amps T-Pole: YES ☐ NO ☒
Action Electric and HVAC Repair 910-476-6586
Electrical Contractor's Company Name Phone
2009 Ramsey St, Fayetteville NC 28301 actionone88@gmail.com
Address Email
19277L
License #

MECHANICAL/HVAC CONTRACTOR INFORMATION

Description of Work: Replace damaged ductwork
Action Electric and HVAC Repair 910-476-6586
Mechanical Contractor's Company Name Phone
2009 Ramsey St, Fayetteville NC 28301 actionone88@gmail.com
Address Email
19277L
License #

PLUMBING CONTRACTOR INFORMATION

Description of Work: Install new bathroom and kitchen fixtures # of Fixtures: 8
Pipe Boss Plumbing 910-635-9981
Plumbing Contractor's Company Name Phone
510 Halifax Dr, Fayetteville NC 28303 pipeboss910@gmail.com
Address Email
L35605
License #

INSULATION CONTRACTOR INFORMATION

N/A
Insulation Contractor's Company Name Phone

APPLICATION CONTINUES ON BACK

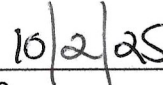


I hereby certify that I have the authority to complete this application, that the application is correct and that the construction will conform to the regulations in the Building, Electrical, Plumbing and Mechanical codes and in the Harnett County Zoning Ordinance. I state the information on the aforementioned contractors is correct as it is known to me and that **by signing below I have obtained all subcontractors permission to obtain these permits** and if **any** changes occur including listed contractors, site plan, number of bedrooms, building and trade plans, Environmental Health permit changes or proposed use changes, I certify it is my responsibility to notify the Harnett County Central Permitting Department of all changes.

EXPIRED PERMIT FEES - 6 months to 2 years re-issue fee is \$150.00. After 2 years re-issue fee is as per current fee schedule.



Signature of Owner/Contractor/Officer of Corporation



Date

Affidavit for Worker's Compensation N.C.G.S. 87-14

The undersigned applicant being the:

☒ General Contractor ☐ Owner ☐ Officer/Agent of the Contractor or Owner

Does hereby confirm under penalties of perjury that the person(s), firm(s) or corporation(s) performing the work set forth in the permit:

☐ Has 3 or more employees and has obtained workers' compensation insurance to cover them,

☐ Has 1 or more subcontractors and has obtained workers' compensation insurance to cover them,

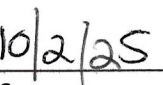
☒ Has 1 or more subcontractors who has their own policy of workers' compensation insurance covering themselves,

☐ Has no more than 2 employees and no subcontractors,

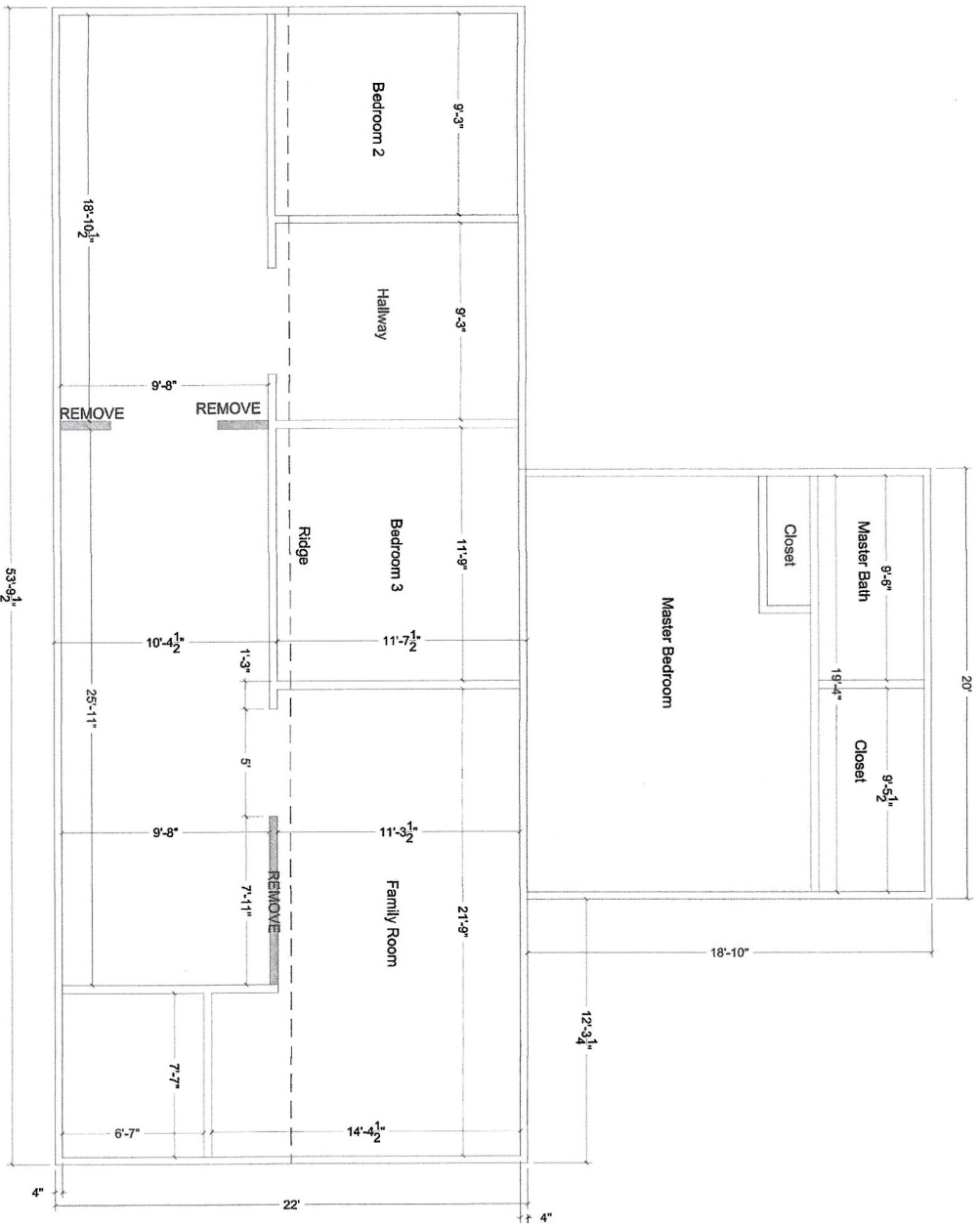
While working on the project for which this permit is sought and it is understood that the Central Permitting Department issuing the permit may require certificates of workers' compensation insurance coverage from any person, firm, or corporation carrying out the work prior to issuance of the permit or at any time during the permitted work.



Signature of Owner/Contractor/Officer of Corporation



Date



FLOOR PLAN - SCOPE OF WORK

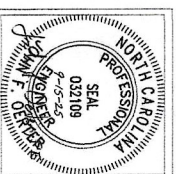
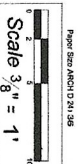
Atwater GC Professional Services, LLC

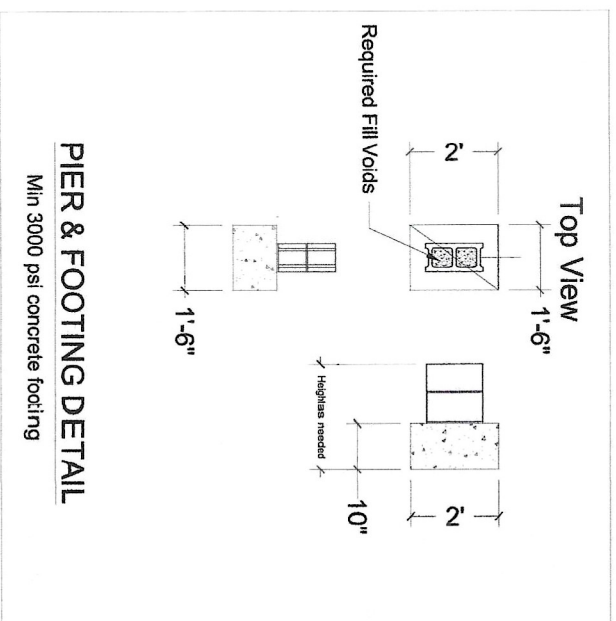
164 Woodrow McDuffie Ln.
Sanford NC, 27332

John Oerter, PE
Engineer Design Consultant, Permit Drawings
919-210-2198

Date 8-15-25

Sheet 1





STRUCTURAL NOTES

1. All construction shall conform to the the latest requirements of the 2018 North Carolina Building Code, in addition to all local codes and regulations.

2. Design Loads:

DESIGN LOADS	LIVE LOAD (psf)	DEAD LOAD (psf)	DEFLECTION	
			LL	TL
ALL FLOORS	40	10	L/360	L/240
ATTIC (w/ Weak Up stairs)	30	10	L/360	L/240
ATTIC (Full Down Access)	20	10	L/240	L/180
ATTIC (No access)	10	5	L/240	L/180
EXTERNAL BALCONY	40	10	L/360	L/240
ROOF	20	10	L/240	L/180
ROOF TRUSS	20	20	L/240	L/180
WIND LOAD	BASED ON 120 mph (Exposure B)			
SEISMIC	SEISMIC ZONES A < B < C			

3. Minimum allowable soil pressure bearing pressure = 2000 psf

4. Concrete shall have a minimum 28 day strength of 3000 psi and a maximum slump of 5 inches unless noted otherwise.

5. Maximum depth of unbalanced fill against foundation walls to be less than 4'-0" without using sufficient wall bracing. Refer to section R404 of 2018 NC Residential Building Code for backfill limitations based on wall height, wall thickness, soil type, and unbalanced backfill.

6. All framing lumber shall be SYP #2 (Fb = 800 psi). All framing lumber exposed to the elements shall be treated material.

All LVL Lumber to be 1.75" wide nominal. Each single member Fb - 2600 psi, E = 1.9M psi (UNO)

All LSL Lumber to be 3.5" wide nominal. Each single member Fb - 2325 psi, E = 1.6M psi (UNO)

All PSL Lumber to be 3.5" wide nominal. Each single member Fb - 2400 psi, E = 1.8M psi (UNO)

PSL columns designed with a MAXIMUM height of 9'-0".

7. All load bearing headers shall be (2) 2x10 unless otherwise noted. All window headers shall be supported by (1) jack stud and (1) king stud at each end unless otherwise noted.

All other beams shall be supported by 2 studs or the amount of studs required for full bearing at each end unless otherwise noted. Point loads shall consist of 2 studs unless otherwise noted. All supports of 2 studs or more shall be transferred through each floor to the foundation. Refer to table R602.7(1) & (2) for Jack Stud requirements for header spans for interior and exterior load conditions unless specifically noted on plans.

8. All exterior wall to be sheathed with 7/16" wood structural panels fastened with 8D nails at 6" O.C. at edges and 12" O.C. at interior supports. Blocking shall be installed if less than 50 percent of the wall length is sheathed. Where blocking is required, all panels shall be fastened at 3" O.C. at edges and 6" O.C. at interior supports. Refer to section R602.3 for framing of all walls over 10'-0" in height.

Wall Bracing NCBC R602.3(3)

Required Wall Bracing Method and Connections - CS-WSP (Wood Structural Panel), Min Thickness

3/8" 6d Common Nails @ 6" O.C. > along Panel Edges. 6d Common Nails @ 12" cis at Intermediate Supports.

9. All structural steel shall be ASTM A-36. All structural Steel W-Shapes (I-Beams) shall be ASTM A992 Grade 50. All steel angles, plates and C-Channels shall be ASTM A36. All Steel Pipe shall be ASTM A53 Grade B. Steel beams shall be supported at each end with a minimum bearing length of 3'-1/2" and full flange width. Provide solid bearing from beam support to foundation. Beams shall be attached to each support with two lag screws (1/2" diameter and 4" long). Lateral support is considered adequate providing the joists are toe nailed to the sole plates and the sole plates are nailed or bolted to the beam flanges at a maximum spacing of 48" O.C.

10. Provide Anchor bolt Placement per section R403.1.6. 1/2" diameter Anchor bolts spaced at 6'-0" O.C. and placed 12" from the end of each plate section. Anchor bolts shall be placed at 3'-0" O.C. for basements. Anchor bolts shall extend 7 inches into concrete or masonry. The bolt shall be located in the middle third of the width of the plate. There shall be a minimum two anchor bolts per plate section.

11. Foundation drainage/damp proofing or water proofing per section 405 and 406 of 1018 NC Residential Building Code.

12. Uplift loads greater than 500 lbs. shall be continuously anchored to the foundation.

13. Provide a minimum of 500 lbs. uplift & lateral connection at top and bottom of porch columns (UNO)

14. Maximum masonry pier height shall not exceed four times its least horizontal dimension.

15. Wall and Roof cladding values:

Wall cladding shall be designed for a 28.0 pounds per square foot or greater positive and negative pressure. Roof values both positive and negative shall be as follows:

45.5 lbs/sqft for roof pitches 0/12 to 2.25/12

34.8 lbs/sqft for roof pitches 2.25/12 to 7/12

21.0 lbs/sqft for roof pitches 7/12 to 12/12

** Mean roof height 30' or less.

13. For roof slopes from 2/12 through 4/12, Builder to install 2 layers of 15#

14. It is the contractor's responsibility to verify all dimensions and square footage prior to construction.

15. The structure is adequate to withstand uplift forces on an open structure with a flat

sloped roof from ASCE 7-16, Risk Category II wind speeds of 115 mph. The attachment

of the roof is to include hurricane clips (Simpson) or straps placed at all rafters and roof

supports.

GENERAL NOTES

1. It is the contractor's responsibility that all dimensions, roof pitches, and square footage are correct prior to construction. Engineer sealing plans is not responsible for any dimensioning, roof pitch, or square footage errors once construction begins.

2. All walls shown on the floor plans are drawn at 5" unless noted otherwise.

3. Stud wall design shall conform to 2018 North Carolina State Building Code requirements.

4. DO NOT SCALE PLANS. Drawing scale may be distorted due to copier imperfections.

5. All construction shall be in accordance with NORTH CAROLINA RESIDENTIAL STATE BUILDING CODE, 2018 edition.

Atwater GC Professional Services, LLC

164 Woodrow McDuffie Ln.
Sanford NC, 27332

John Oertler, PE
Engineer Design Consultant, Permit Drawings
919-210-2798

Date 8-15-25

Sheet 3

