

ADDRESS: 291 ALDEN WAY

PLAT BOOK 2024, PG'S 506-510

AREA: 38,105 S.F. ~ 0.875 ACRES

50' 25' 0' 50'

GRAPHIC SCALE: 1" = 40'

IMPERVIOUS AREAS

IMPERVIOUS 3,002 SF
IMPERVIOUS 7.9 %
MAX IMP 10,000 SF

+ Existing shed 200sf
+ Existing path 420sf
+ Existing additional driveway 150sf
+ Proposed Pool Deck 400sf
+ Proposed Pool Equip Pad 12sf

Total 4184sf
10.9%

LEGEND:

BL Building Line
DE Drainage Easement
PRDE Private Drainage Easement
PUE Permanent Utility Easement
PAE Public Access Easement
HOAM Homeowner Association Maintained
HRW Harnett Regional Water
CB Catch Basin
POR Porch
DK Deck
PAT Patio
FH Fire Hydrant
LP Light Pole
S Stoop
SP Screened Porch
PROP Proposed
N/F Now or Formerly
A/C Air Conditioning
R/W Right of Way

Signed by:

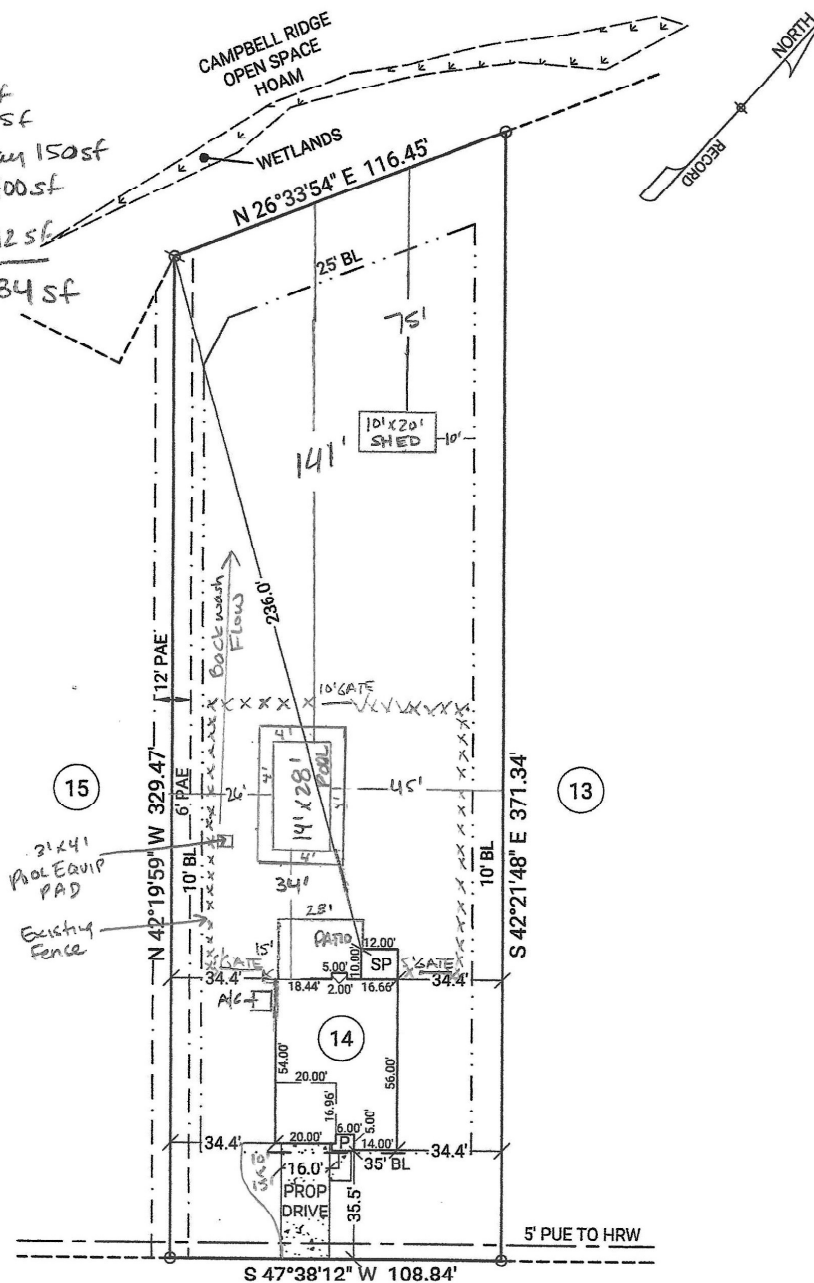
Thomas Blair Wolfe

2023 APR 22 5:45 PM PDT

DocuSigned by:

Virginia Wolfe

2023 APR 22 6:23 PM PDT



ALDEN WAY
50' PUBLIC R/W

GENERAL NOTES: No field work has been performed. This Map or Plat is subject to any additional easements or restrictions of record. Contact utility contractor for location prior to construction (if applicable). This plat is for exclusive use by client. Use by third parties is at their own risk. Dimensions from house to property lines should not be used to establish fences. City sidewalks, driveway approaches, and other improvements inside the city's right of way are provided for demonstration purposes only. Consult the development plans for actual construction. This plat has been calculated for closure and is found to be accurate within one foot in 10,000+ feet.

BUILDING SETBACKS:

Front: 35'
Rear: 25'
Side: 10'
Corner: 20'

SUB: Campbell Ridge**LOT: 14**

Angier, Harnett County, North Carolina

PLOT PLAN FOR:**DRB**

DRB GROUP OF NORTH CAROLINA, LLC.



C+C BUILDING SOLUTIONS
A NORTH CAROLINA SUBSIDIARY OF CARTER + CLARK

Corporate Headquarters:
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