



HARNETT COUNTY TAX ID#

06-1505-0195

4-16-12 BY (51)

FOR REGISTRATION REGISTER OF DEEDS
KIMBERLY S. HARGROVE
HARNETT COUNTY, NC
2012 APR 16 01:59:36 PM
BK:2979 PG:614-616 FEE:\$26.00
NC REV STAMP:\$130.00
INSTRUMENT # 2012005983

NORTH CAROLINA GENERAL WARRANTY DEED

Excise Tax \$130.00

Parcel Identifier No.: 06 1505 0195

Verified by _____ County on the _____ day of _____, 2008.
by _____

Mail after recording to Dwight W. Snow, Attorney at Law, P.O. Box 397, Dunn NC 28335

This instrument was prepared by Dwight W. Snow, Attorney at Law, P.O. Box 397, Dunn NC 28335

Brief Description for the index

.5 acres – Eugene W. Smith

THIS DEED made this the 16th day of April, 2012 by and between

GRANTOR	GRANTEE
TIMOTHY DALE HUBBARD, JR. and wife, BRITTANY HUBBARD 1956 Silver Hawk Dr. St. Augustine, FL 32092	VICENTE VALDEZ DAVALOS and wife, DAISY LIRA ARROYO 1010 Arrowhead Rd. Dunn, N.C. 28334

The designation Grantor and Grantee as used herein shall include said parties, their heirs, successors, and assigns, and shall include singular, plural, masculine, feminine or neuter as required by context.

WITNESSETH, that the Grantor, for a valuable consideration paid by the Grantee, the receipt of which is hereby acknowledged, has and by these presents does grant, bargain, sell and convey unto the Grantee in fee simple, all that certain lot or parcel of land situated in Averašboro Township, Harnett County, North Carolina and more particularly described as follows:

All that certain parcel of land lying and being situated in the County of Harnett, State of NC, to wit:

Beginning at an iron post, said point being Eugene W. Smith's Northeast corner with John West and the C.L. Tart Estate which is 327 feet South of the center line of State Road No. 1778 intersection with the center line of State Road No. 1780, thence South 20 degrees 5 minutes East 200 feet to an iron post, thence South 46 degrees 28 minutes West 120 feet to an iron post; thence North 20 degrees 5 minutes West 200 feet to an iron post in the southern margin of State Road No. 1780, thence North 46 degrees 28 minutes East 120 feet along the southern margin of State Road No. 1780 to the Beginning. Together with improvements located thereon, said property being located at 1010 Arrowhead Road, Dunn, North Carolina.

Being the same property devised to Macon Blue and Alice Blue, from the personal Representative for the estate of Macon Blue, Jr., date of death 11/02/1990, Estate Package/Probate Roll #90 E 421, final decree status 07/16/1992, all of which is recorded in Harnett County Registry.

Being the parcel of land conveyed to Yulanda D. Williams from Alice M. Blue, Widow by that deed dated 09/25/1999 and recorded 10/07/1999 in Deed Book 1380, at Page 503 of the Harnett County, NC Public Registry.

The property hereinabove described was acquired by Grantor by instrument recorded in Book 2581 Page 679, Harnett County Registry.

All or a portion of the property herein conveyed includes the primary residence of a Grantor. (N.C. Gen. Stat. §105-317.2).

A map showing the above described property is recorded in Map Book _____, Page _____, _____ County Registry.

TO HAVE AND TO HOLD the aforesaid lot or parcel of land and all privileges and appurtenances thereto belonging to the Grantee in fee simple.

And the Grantor covenants with the Grantee, that Grantor is seized of the premises in fee simple, has the right to convey the same in fee simple, that title is marketable and free and clear of all encumbrances, and that Grantor will warrant and defend the title against the lawful claims of all persons whomsoever except for the exceptions hereinafter stated.

Title to the property hereinabove described is subject to the following exceptions:

- a. General utility easements of record.
- b. Roadways and rights-of-way of record and those visible by inspection of the premises.
- c. Such facts as an environmental study on the subject property by an environmental engineer would reveal.
- d. Such facts that would be revealed by a recent survey on the subject tract by a registered land surveyor.
- e. 2012 ad valorem taxes which are not yet due and payable and which will be the responsibility of the Grantee to pay when they become due.

IN WITNESS WHEREOF, the Grantor has hereunto set his hand and seal, or if corporate, has caused this instrument to be signed in its corporate name by its duly authorized officers and its seal to be hereunto affixed by authority of its Board of Directors, the day and year first above written.

(Corporate Name)

By: _____ President

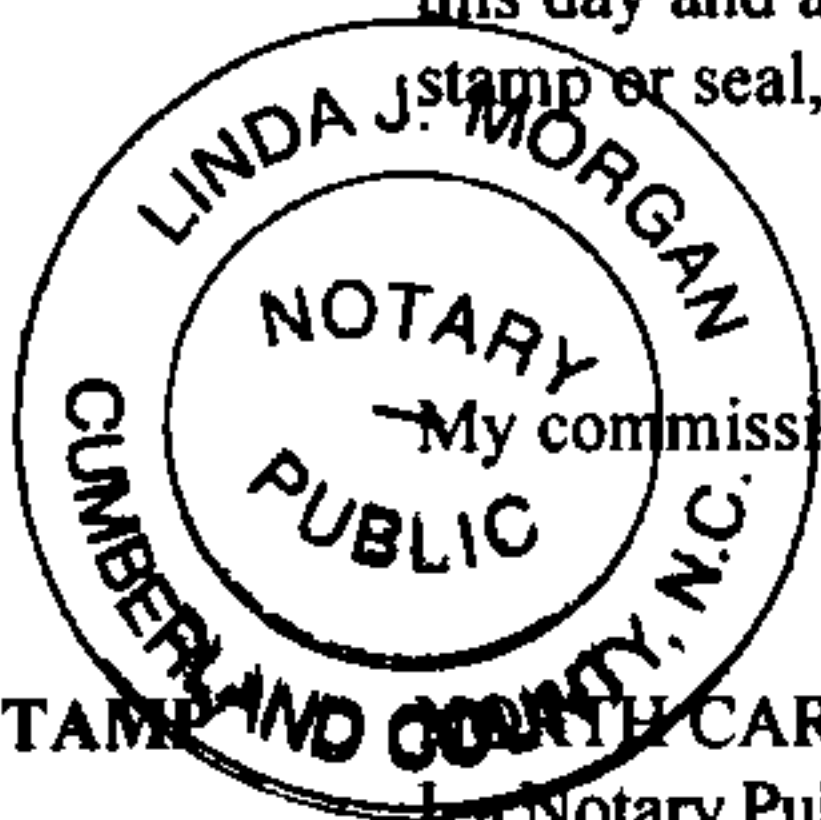
Timothy Dale Hubbard, Jr. (SEAL)
TIMOTHY DALE HUBBARD, JR.

Brittany Hubbard (SEAL)
BRITTANY HUBBARD

(SEAL)

(SEAL)

SEAL-STAMP STATE OF NORTH CAROLINA, Cumberland County.
I, LINDA J. MORGAN, a Notary Public of the County and State aforesaid, certify that TIMOTHY DALE HUBBARD, JR. and wife, BRITTANY HUBBARD, Grantor, personally appeared before me this day and acknowledged the execution of the foregoing instrument. Witness my hand and official stamp or seal, this 16th day of April, 2012.

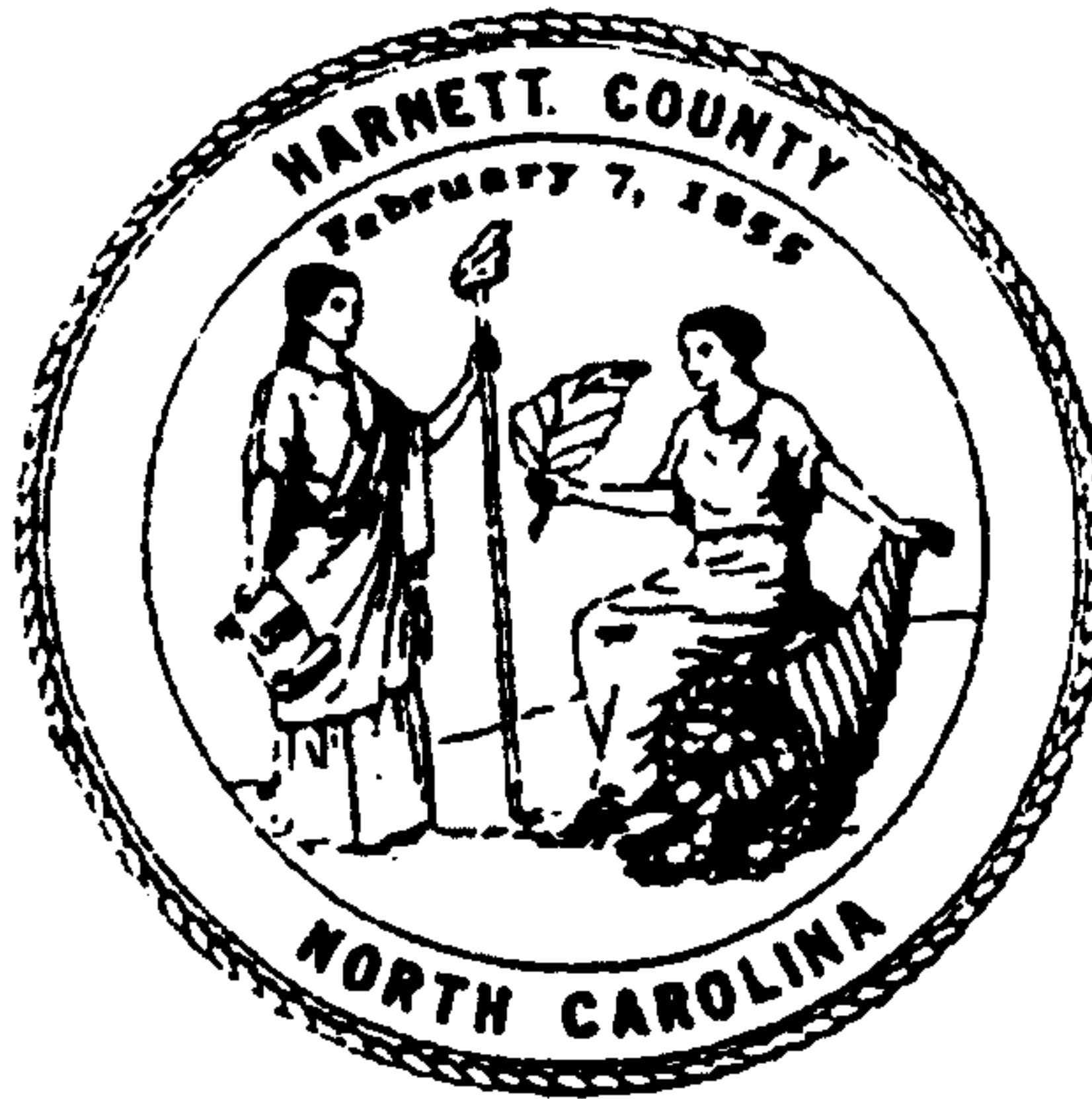


Linda J. Morgan
Notary Public

SEAL-STAMP STATE OF NORTH CAROLINA, _____ County.
I, a Notary Public of the County and State aforesaid, certify that _____ personally came before me this day and acknowledged that he/she is _____ of _____, a North Carolina corporation, and that he/she, as _____, being authorized to do so, executed the foregoing on behalf of the corporation.
Witness my hand and official stamp or seal, this ____ day of _____, 2008.

Notary Public

My commission expires:



KIMBERLY S. HARGROVE
REGISTER OF DEEDS, HARNETT
305 W CORNELIUS HARNETT BLVD
SUITE 200
LILLINGTON, NC 27546

Filed For Registration: 04/16/2012 01:59:36 PM

Book: RE 2979 Page: 614-616

Document No.: 2012005983

DEED 3 PGS \$26.00

NC REAL ESTATE EXCISE TAX: \$130.00

Recorder: MARY ANNE WOOD

State of North Carolina, County of Harnett

KIMBERLY S. HARGROVE , REGISTER OF DEEDS

DO NOT DISCARD

2012005983