

Residence for

Allen & Alice Kent
Ebenezer Church Road
Coats, NC 27521

INDEX TO DRAWINGS

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GENERAL NOTES

- ALL WORK IS TO BE DONE IN STRICT ACCORDANCE WITH NORTH CAROLINA STATE RESIDENTIAL BUILDING CODE, 2018 EDITION (HEREIN SHOWN AS N.C.S.R.B.C.).
- DIMENSIONS SHOWN ON DRAWINGS GOVERN OVER SCALE.
- STUD WALL DESIGN SHALL CONFORM TO ALL N.C.S.R.B.C. REQUIREMENTS.
- CONTRACTOR SHALL USE TEMPERED SAFETY GLASS IN ALL LOCATIONS AS REQUIRED BY N.C.S.R.B.C., 2018 EDITION, SECTION R308.4.
- ANY HABITABLE ROOM SHALL MEET ALL LIGHT/VENTILATION AND EGRESS AS REQUIRED BY N.C.S.R.B.C., 2018 EDITION, SECTIONS R303.1 AND R310.1.
- ALL WALLS SHOWN ON FLOOR PLANS ARE 2ND FRAME UNLESS NOTED OTHERWISE.
- ALL ANGLED WALLS SHOWN ON FLOOR PLANS ARE 45° UNLESS NOTED OTHERWISE.
- ALL WINDOWS SHALL HAVE A MINIMUM DPI RATING OF 25. BUILDER SHALL VERIFY WITH WINDOW MANUFACTURER THAT UNITS INSTALLED MEET THESE REQUIREMENTS AS PER N.C.S.R.B.C., 2018 EDITION, TABLE S01.2(6).
- ENERGY EFFICIENCY REQUIREMENTS FOR THE SPECIFIC CLIMATE ZONE WHERE STRUCTURE IS BEING BUILT SHALL BE IN ACCORDANCE WITH CHAPTER 11 OF THE NORTH CAROLINA RESIDENTIAL BUILDING CODE, 2018 EDITION, AS SHOWN IN TABLES N1101.2 AND N1102.1.
- TERMITE TREATMENT - BORATE APPLIED TO ALL FRAME MEMBERS WITHIN 24" AFF.

MATERIALS LEGEND

EARTHCRAFT FILL	FINISH WOOD
CONCRETE	ROUGH WOOD
BRICK	BLOCKING
CONCRETE BLOCK/STONE	PLYWOOD
STEEL	BATT INSULATION
ALUMINUM	RIGID INSULATION

TOILET ACCESSORIES LEGEND

PROVIDE 2ND BLOCKING IN THE WALL FOR THE FOLLOWING:

TS	TOILET BAR
TP	TOILET PAPER HOLDER
TR	TOILET RING
MC	MEDICINE CABINET
MR	MAGAZINE RACK

THE PURPOSE OF THESE DRAWINGS IS TO SHOW THE INTENT OF THE DESIGN AND CONSTRUCTION OF THIS HOME. ANY ERRORS AND/OR OMISSIONS FOUND IN THIS SET SHOULD IMMEDIATELY BE REPORTED TO HOMES UNIQUE FOR CLARIFICATION OR CORRECTION. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. ONCE A PERMIT HAS BEEN ISSUED FOR CONSTRUCTION, THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY AS TO THE ACCURACY OF THE PLANS AND TO ANY CHANGES MADE BY THE CONTRACTOR AND/OR THE OWNER.

DUE TO VARYING LOCAL AND STATE CODES, HOMES UNIQUE CANNOT BE HELD RESPONSIBLE FOR ANY REQUIREMENTS THAT EXISTING SITE CONDITIONS MAY CREATE.

RESIDENTIAL BUILDING CODE SUMMARY

- PLANS ARE DESIGNED TO THE 2018 NORTH CAROLINA RESIDENTIAL BUILDING CODE.
- HOUSE IS DESIGNED FOR 120 MPH, 3 SECOND GUST (10 MPH FASTEST WIND), EXPOSURE B.
- ANCHOR BOLTS SHALL BE MIN. 1/2" DIAMETER WITH STANDARD WASHER AND NUT AND SHALL EXTEND 7" MIN. INTO MASONRY OR CONCRETE. BOLTS TO BE NO MORE THAN 6' O.C. AND WITHIN 12" OF CORNERS. ALTERNATE ANCHOR STRAPS CAN BE USED INSTEAD OF ANCHOR BOLTS SPACED AT THE EQUIVALENT SPACING AND INSTALLED PER MANUFACTURER'S SPECIFICATIONS EXCEPT AT GARAGE LUG FTG.
- MEAN ROOF HEIGHT: 20'-6"
- COMPONENT & CLADDING DESIGNED FOR THE FOLLOWING LOADS:
MEAN ROOF HGT: UP TO 30' 30'-1" TO 35' 35'-1" TO 40' 40'-1" TO 45'

ZONE	1	2	3	4	5
1ST FLOOR	16.5, -18.0	17.3, -18.4	18.0, -19.6	18.5, -20.2	18.5, -20.2
2ND FLOOR	16.5, -21.0	17.3, -22.1	18.0, -22.9	18.5, -23.5	18.5, -23.5
3RD FLOOR	16.5, -21.0	17.3, -22.1	18.0, -22.9	18.5, -23.5	18.5, -23.5
4TH FLOOR	16.5, -21.0	17.3, -22.1	18.0, -22.9	18.5, -23.5	18.5, -23.5
5TH FLOOR	16.5, -21.0	17.3, -22.1	18.0, -22.9	18.5, -23.5	18.5, -23.5

- MINIMUM VALUES FOR ENERGY COMPLIANCE: ZONE 3
- MAXIMUM GLAZING U-FACTOR: 0.35
- INSULATING VALUES: CEILING: R-30 / WALLS: R-15 / FLOOR: R-19 / SLABS: R-0. CODE REFERENCE: TABLE N1102.1 ("R-30 ONLY IF UNCOMPRESSED, R-35 REQUIRED IF COMPRESSED")
- FLASHING SHALL BE INSTALLED IN ACCORDANCE WITH SECTION R108.8 OF THE N.C.R.B.C.
- FIREBLOCKING SHALL BE INSTALLED IN ACCORDANCE WITH SECTION R602.8 OF THE N.C.R.B.C.
- DRAFTSTOPPING SHALL BE INSTALLED IN ACCORDANCE WITH SECTION R302.12 OF THE N.C.R.B.C.

AREA CALCULATIONS

HEATED:		UNHEATED:	
1ST FLOOR:	2242	GARAGE:	129
2ND FLOOR:	579	FRONT PORCH:	911
TOTAL:	2821	SCREEN PORCH:	291
		DECK:	75
		TOTAL:	1962

WIDTH: 36'-2"
DEPTH: 58'-4"

FOUNDATION VENTING CALCULATIONS

(REFERENCE: N.C.S.R.B.C., 2018 EDITION, SECTION R403)

THE MINIMUM NET AREA OF VENTILATION OPENINGS SHALL BE NOT LESS THAN ONE (1) SQUARE FOOT FOR EACH 150 SQUARE FEET OF CRAWLSPACE SPACE ABOVE AREA AND ONE FOUNDATION VENT SHALL BE WITHIN THREE (3) FEET OF EACH CORNER OF THE BUILDING.

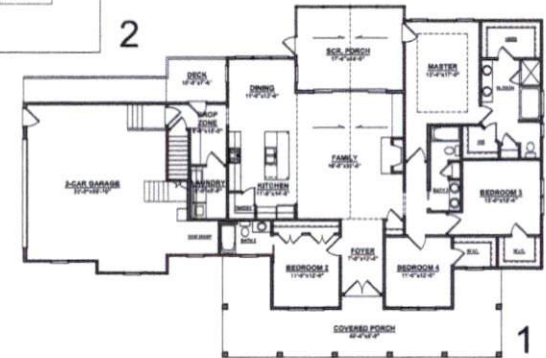
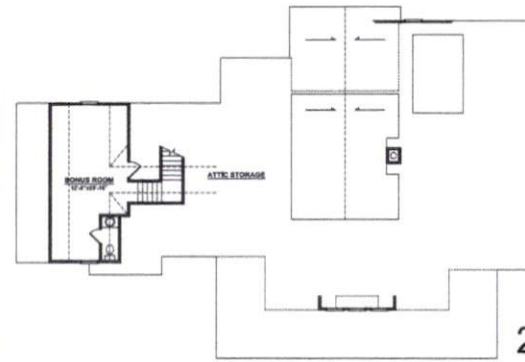
EXCEPTION: THE TOTAL AREA OF VENTILATION OPENINGS MAY BE REDUCED TO 1/150 OF THE UNDER-FLOOR AREA WHERE THE GROUND SURFACE IS TREATED WITH AN APPROVED VAPOR RETARDER MATERIAL AND THE REQUIRED OPENINGS ARE PLACED SO AS TO PROVIDE CROSS-VENTILATION.

2242 SQUARE FEET OF CRAWLSPACE AREA / 150 =
14.95 SQUARE FEET OF NET FREE AREA REQUIRED

ATTIC VENTILATION REQUIREMENTS

NATURAL ROOF VENTILATION	MECHANICAL ROOF VENTILATOR
3724 SQ. FT. = 24.86 SQ. FT. VENT REQ'D.	3724 SQ. FT. = 12.49 SQ. FT. VENT REQ'D.
190	900

BUILDER TO PROVIDE APPROPRIATE VENTILATING AS REQUIRED PER CODE



NOTES TO CONTRACTOR
All construction must comply with current NC Building Codes and a contract to fully describe and verify work.
APPROVED
Contract drawings are correct
Issued under responsible
full compliance with the code
12/17/2020

HARNETT COUNTY
NORTH CAROLINA



residential design

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ALLEN & ALICE KENT
EBENEZER CHURCH ROAD - COATS, NC 27521

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THE PURPOSE OF THESE DOCUMENTS IS TO
SHEET

1

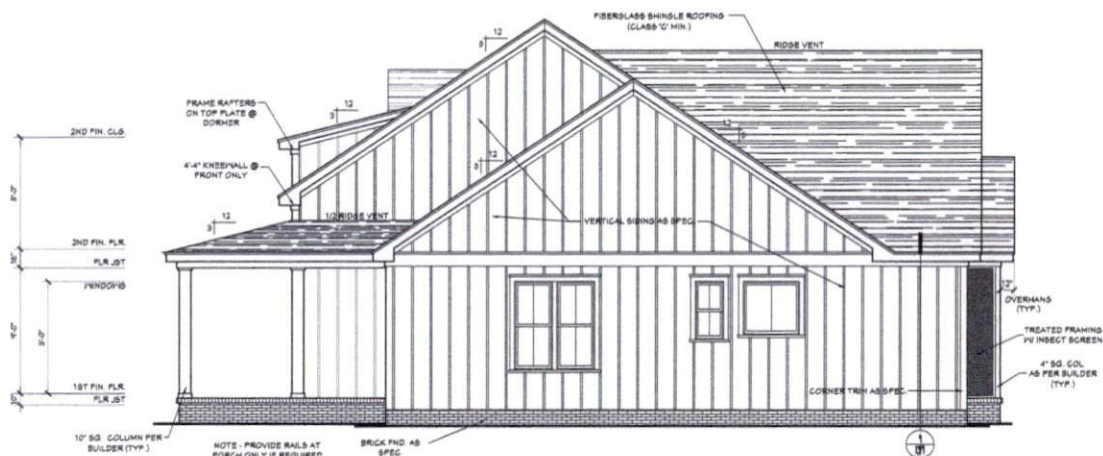


SCALE 1/4"=1'-0"



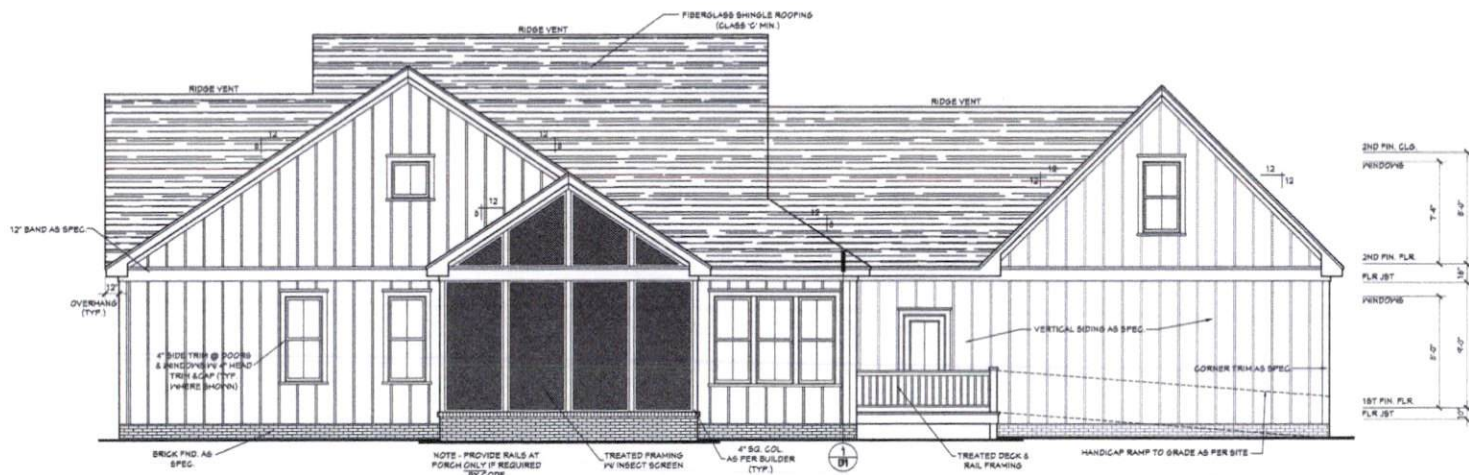
SCALE: 1/4" = 1'-0"

NOTE - SLOPE ALL GRADES AWAY FROM HOUSE FOR POSITIVE DRAINAGE



RIGHT SIDE ELEVATION

SCALE: 1/4"=1'-0"



REAR ELEVATION

SCALE: 1/4"=1'-0"

NOTE - SLOPE ALL GRADES AWAY FROM HOUSE FOR POSITIVE DRAINAGE



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PROJECT NUMBER: 4547

PLAN NAME:

PLAN NUMBER: 20-2800

RESIDENCE FOR:

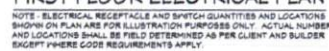
ALLEN & ALICE KENT
 EBENEZER CHURCH ROAD • COATS, NC 27521

DRAWN BY: J.A.D.
 CHECKED BY: J.T.S.
 DATE DRAWN: 6/14/2020
 REVISIONS:

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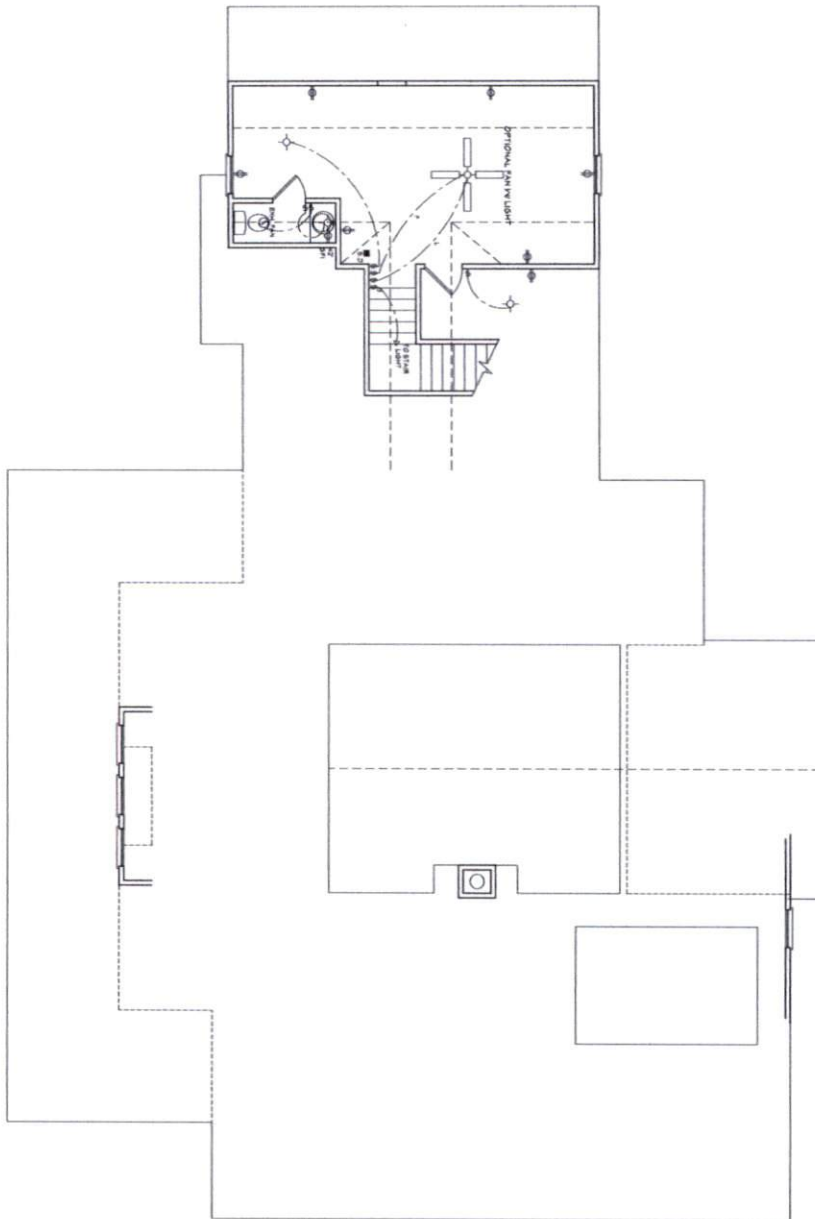
SHEET

2



NOTE: ALL ELECTRICAL TO BE
VERIFIED BY DYWIDAG-BUILDEN
BEFORE POURING IN.

5



SECOND FLOOR ELECTRICAL PLAN

NOTE: ELECTRICAL RECEPTS AND SWITCH QUANTITIES AND LOCATIONS AND LOCATIONS SHALL BE FIELD DETERMINED AS PER CLIENT AND SCHEDULER EXCEPT WHERE COST MEASUREMENTS VARY.

ELECTRICAL LEGEND	
	OUTLET
	SWITCH
	LIGHT FIXTURE
	CEILING FAN
	DOORBELL
	DATA OUTLET
	FIRE ALARM PULL STATION
	FIRE ALARM RESET BUTTON
	FIRE ALARM CONTROL UNIT
	FIRE ALARM NOTIFICATION APPLIANCE
	FIRE ALARM CONTROL UNIT (FACU)
	FIRE ALARM CONTROL UNIT (FACU) WITH NOTIFICATION APPLIANCE
	FIRE ALARM CONTROL UNIT (FACU) WITH NOTIFICATION APPLIANCE AND CONTROL LINE
	FIRE ALARM CONTROL UNIT (FACU) WITH NOTIFICATION APPLIANCE AND CONTROL LINE AND CONTROL LINE TO FIRE ALARM CONTROL UNIT
	FIRE ALARM CONTROL UNIT (FACU) WITH NOTIFICATION APPLIANCE AND CONTROL LINE AND CONTROL LINE TO FIRE ALARM CONTROL UNIT AND CONTROL LINE TO FIRE ALARM CONTROL UNIT

RESIDENCE FOR:

ALLEN & ALICE KENT
EBENEZER CHURCH ROAD • COATS, NC 27521

Unique Inc.

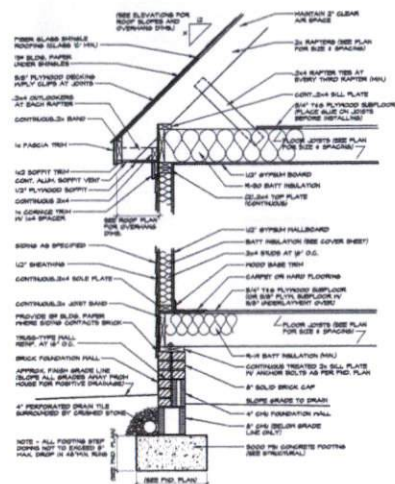
 residential design

 1000 N. 17th St., Suite 100

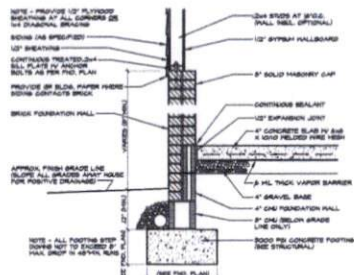
 Raleigh, NC 27601

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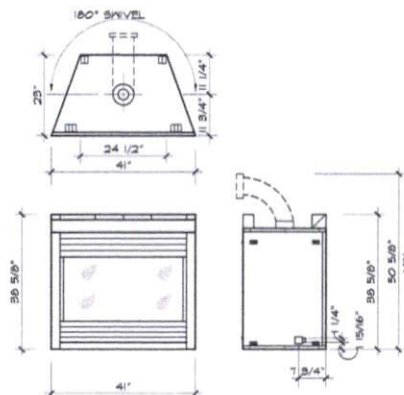
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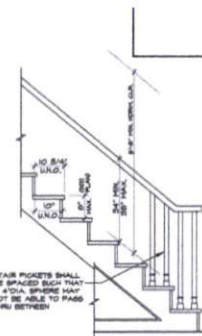
1 KINE-STONE WALL SECTION W/SIDING
SCALE: 8"=1'-0"



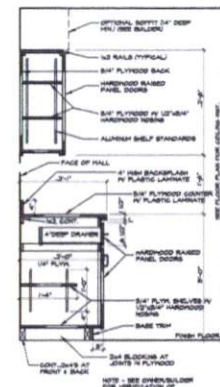
2 GARAGE WALL SECTION WELDING
SCALE: 3/4"=1'-0"



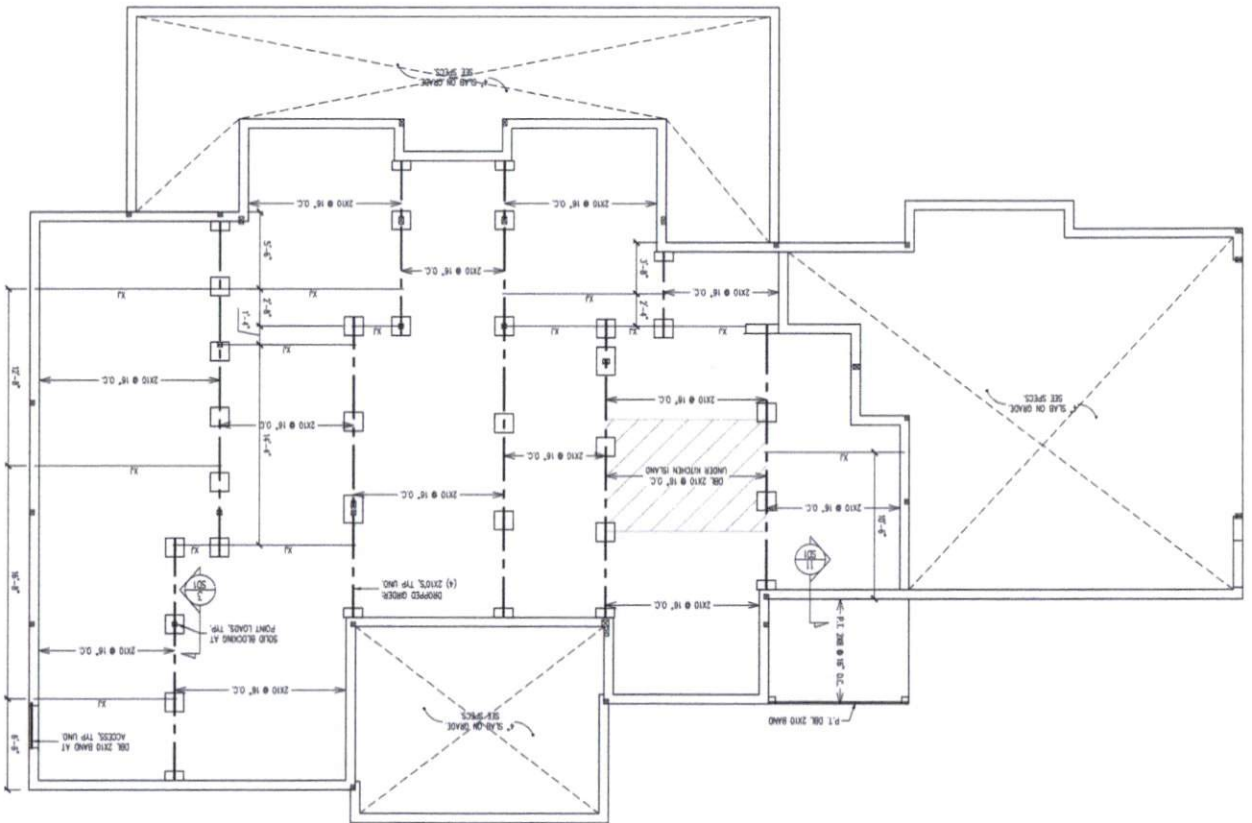
3 DIRECT VENT FIREPLACE DETAIL
SCALE: NONE



4 TYPICAL STAIN DETAIL



5 CABBINET DETAIL
SCALE: 3/4"=1'-0"



CRAWL SPACE FRAMING PLAN

W.C. 1-12

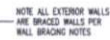
PROJECT NO.
20-18-200
SHEET NO.
S2
2 of 7

ENGINEER
CANNON CONSTRUCTION
STRUCTURAL ADDENDUM
LOC: EBERHART CHURCH RD
DATE: 5/29/2020
ENG. KWT/mwb

REGISTERED
STRUCTURAL ENGINEER
31 West Chase Ct. Ste. 100
Raleigh, North Carolina 27615
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ASSOCIATES, P.A.



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Engineering Tech
ASSOCIATES, P.A.

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ATION
JM

CONSTRUCT			
AL ADDENDU			
D			

GAMMON C
STRUCTUR
CHURCH R

EBENEZER

SCOPE
LOC

ENG	KWT/MEB
DATE	5/29/2020

PROJECT NO.

20-18-200
SHEET NO.
S3

3 of 7

REFER TO THE CONSTRUCTION SPECIFICATIONS
SECTIONS FOR THE FOLLOWING INFORMATION:

PART 1.01: CURRENT GOVERNING CODE

PART 17: KING STUDS FOR EXTERIOR WALLS

SEE DETAIL / CONSTRUCTION SPECIFICATIONS
SHEETS FOR I-JOISTS ALLOWABLE SUBSTITUTIONS

WALL BRACING

SHADED WALLS:

ALL EXTERIOR STUD WALLS, EXTERIOR SIDE,
ARE TO BE CONTINUOUSLY SHEATHED WITH
7/16 APA RATED OSB NAILED TO STUDS WITH:

5d NAILS @ 6" O.C. AT PANEL EDGES, 12" O.C.
IN PANEL FIELD.

NOTES:
PROVIDED CONTINUOUS SHEATHING = 2907 MM.

REFERENCE PART 16.02 OF CONSTRUCTION SPECIFICATIONS FOR GENERAL WIND BRACING INFORMATION.

HEADER SCHEDULE

H1 SINGLE 2X4 TURNED FLAT (A)

H3 (2) 2X10'S ON SINGLE JACKS (C)

H5 (3) 2X10'S ON SINGLE JACKS

(A) TYPICAL FOR INTERIOR NON LOAD BEARING

(B) TYPICAL FOR INTERIOR NON LOAD BEARING

(C) TYPICAL FOR ALL CONDITIONS NOT LISTED

IN (A) OR (B) UNO.

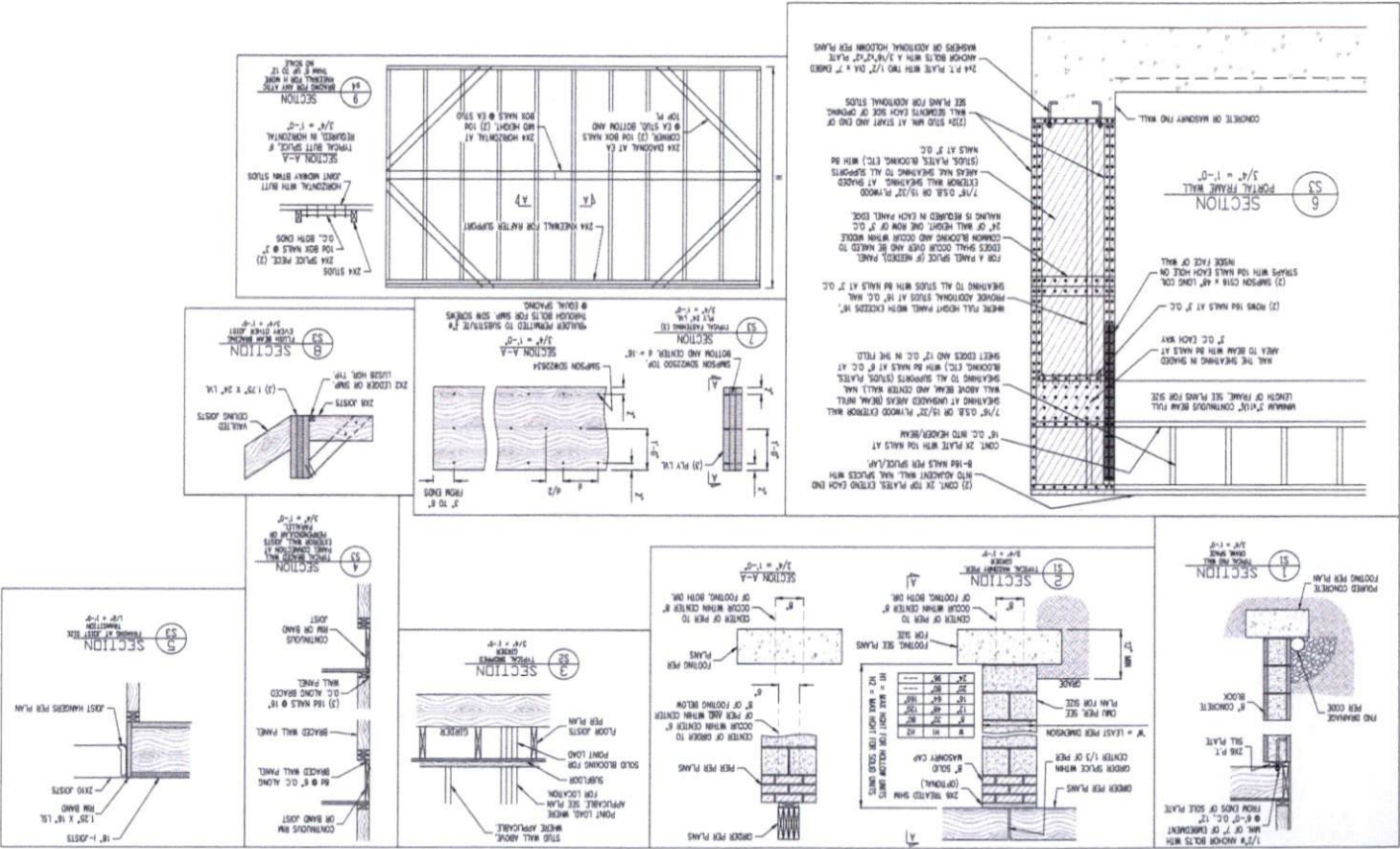
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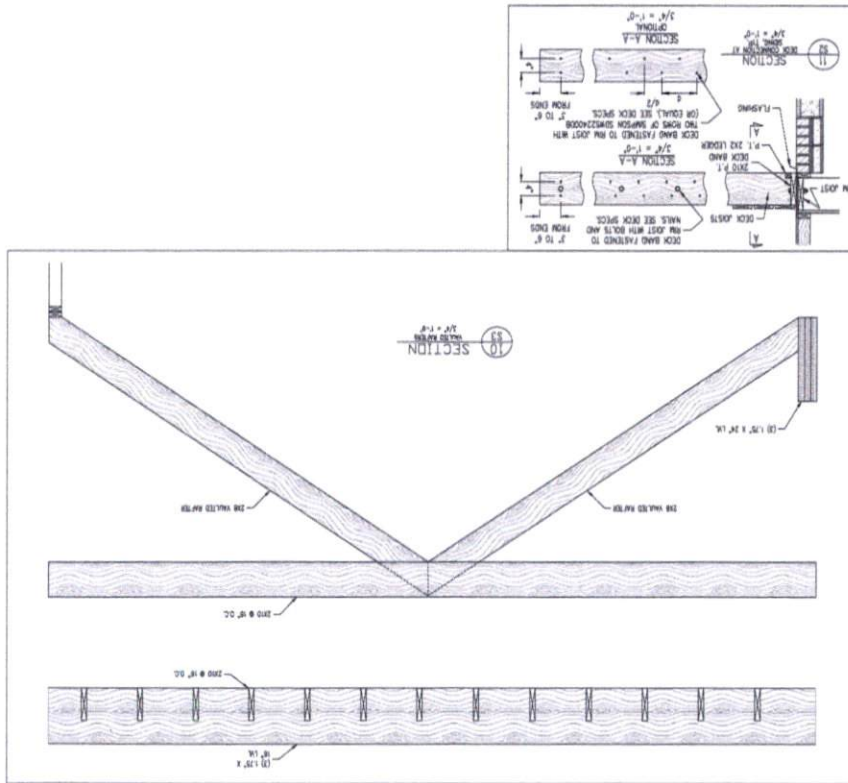
-HEADERS IN NON LOAD BEARING INTERIOR WALLS ARE NOT LABELED.

1ST FLOOR FRAMING PL

BILLS AND
L/C

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ABBREVIATIONS		NOTES	
1. ROOF	2. WALL	3. FLOOR	4. CEILING
5. EXTERIOR FINISH	6. INTERIOR FINISH	7. MECHANICAL	8. ELECTRICAL
9. PLUMBING	10. PAINT	11. GLASS	12. METAL
13. WOOD	14. CONCRETE	15. BRICK	16. STONE
17. ASPHALT	18. GUTTER	19. DOWNSPUT	20. FLASHING
21. INSULATION	22. VENT	23. CHIMNEY	24. SMOKESTACK
25. RAILING	26. STAIR	27. ELEVATOR	28. MECHANICAL ROOM
29. ELECTRICAL ROOM	30. PLUMBING ROOM	31. HATCH	32. DOOR
33. WINDOW	34. SHUTTER	35. CURTAIN	36. BLIND
37. FURNITURE	38. APPLIANCE	39. LIGHTING	40. HEATING
41. COOLING	42. VENTILATION	43. EXHAUST	44. INTAKE
45. DRAIN	46. PUMP	47. TANK	48. RESERVOIR
49. PIPE	50. VALVE	51. FITTING	52. JOINT
53. HANGAR	54. BRACKET	55. SUPPORT	56. ANCHOR
57. BOLT	58. NUT	59. WASHER	60. PLATE
61. RIVET	62. SCREW	63. NAIL	64. STAPLE
65. GLUE	66. WELD	67. SOLDER	68. BRASS
69. COPPER	70. ALUMINUM	71. STEEL	72. IRON
73. LEAD	74. ZINC	75. GALVANIZED	76. ENAMELED
77. PAINTED	78. STAINED	79. VARNISHED	80. OILED
81. POLISHED	82. BRUSHED	83. SMOOTHED	84. Sanded
85. PLANED	86. JOINED	87. JOINED	88. JOINED
89. JOINED	90. JOINED	91. JOINED	92. JOINED
93. JOINED	94. JOINED	95. JOINED	96. JOINED
97. JOINED	98. JOINED	99. JOINED	100. JOINED