

- LEGEND
- PIPE FOUND
 - PIPE FOUND AND SET
 - GAS METER
 - ELECTRIC METER
 - CABLE TV PEDISTAL
 - TELEPHONE PEDISTAL
 - WATER METER
 - BACK OF CURB
 - EDGE OF PAVEMENT
 - RIGHT-OF-WAY
 - RECALCULATED POINT

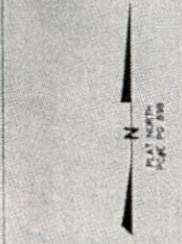
FEMA FLOOD HAZARD STATEMENT

THE LOT SHOWN ON THIS PLAT IS NOT LOCATED WITHIN THE FEMA 100-YEAR FLOOD HAZARD AREA AS SHOWN ON FEMA MAP NO. 3710455000 L, EFFECTIVE DATE 07-11-2007.

PROPERTY ZONED RA-20M

MINIMUM BUILDING SETBACKS:

FRONT-35'
SIDE-10'
REAR-25'



GENERAL NOTES

1. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET UNLESS OTHERWISE NOTED.
2. AREAS SHOWN HEREON WERE COMPUTED USING THE COORDINATE METHOD.
3. LINES NOT SURVEYED ARE SHOWN AS DASHED LINES FROM INFORMATION REFERENCED ON THE FACE OF THIS SURVEY.
4. PROPERTY SHOWN HEREON IS NOT CURRENTLY IN A WATERFLOODED DISTRICT.
5. PROPERTY MAY BE SUBJECT TO ANY/ALL EASEMENTS OR INCUMBRANCES. THIS SURVEY IS A CORRECT REPRESENTATION OF THE LAND PLATTED AND OR DEEDED AND HAS BEEN PREPARED IN CONFORMANCE WITH NORTH CAROLINA STANDARDS G.S. 47-30, AND REQUIREMENTS OF LAW BUT WITHOUT A FULL TITLE REPORT. A NORTH CAROLINA LICENSED ATTORNEY-AT-LAW SHOULD BE CONSULTED REGARDING CORRECT OWNERSHIP, WIDTH AND LOCATION OF EASEMENTS, AND OTHER TITLE QUESTIONS RELEVANT TO THIS EXAMINATION.
6. NO HORIZONTAL CONTROL MONUMENTS FOUND WITHIN 2,000 FEET OF THIS SITE.
7. SCOT A. FRAME, PROFESSIONAL LAND SURVEYOR, CERTIFY THAT THIS PLAT IS A SURVEY OF ANOTHER CATEGORY SUCH AS THE RECOMBINATION OF PROPERTIES, A COURT-ORDERED SURVEY OR OTHER EXCEPTION TO THE DEFINITION OF SUBDIVISION.

Scot A. Frame 9-27-2024
SCOT A. FRAME P.L.S. L-4731 DATE

SCOT A. FRAME, PROFESSIONAL LAND SURVEYOR DO HEREBY CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY PREPARED UNDER MY SUPERVISION USING REFERENCES SHOWN HEREON, THAT THE BASIS OF MEASUREMENT AS CALCULATED IS 1:10,000. THAT THE BOUNDARIES NOT SURVEYED ARE SHOWN AS DASHED LINES PLOTTED FROM INFORMATION FOUND IN BOOKS REFERENCED, THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED, WITNESS MY HAND AND SEAL THIS 27TH DAY OF SEPTEMBER, A.D. 2024.

Scot A. Frame
SCOT A. FRAME P.L.S. L-4731



LOT 11
DAIRYHORN ESTATE
CURTIS E. MOYERSON
DB 674 PG 183
PG 22 PG 88
PIN 9553-59-1178

LOT 18
CYPRESS POINTE S/D
ANTHONY L. & SHARON M. BROWN
DB 4148 PG 181
PG 201 PG 575
PIN 9553-59-7021

LOT 18
CYPRESS POINTE S/D
JOSHUA D. & HOPE M. BARN
DB 3159 PG 208
PG 201 PG 575
PIN 9553-58-5704

LOT 1
HICKORY SPRINGS S/D
DAVID D. & SANDRA L. PATTERSON
DB 991 PG 183
PG 8 PG 890
PIN 9553-48-2322

LOT 2
HICKORY SPRINGS S/D
DAVID D. & SANDRA L. PATTERSON
DB 991 PG 183
PG 8 PG 890
PIN 9553-48-2156

LOT 8
HICKORY SPRINGS S/D
MARBELY D. URBINA
DB 4228 PG 502
PG 8 PG 898
PIN 9553-48-8104
485,718 SF
11.15 ACRES

LOT 7
HICKORY SPRINGS S/D
KIM EDWARD YOUNG
MARBELY D. URBINA
DB 2754 PG 361
PG 8 PG 890
PG 201 PG 444
PIN 9553-58-5145

Certificate of Ownership, Dedication, and Acknowledgment

I (we) hereby certify that I (we are) the owner(s) or agent of the property shown and described herein and that I (we) hereby submit this plat with my (our) fee payment, establish the minimum building setback lines, and dedicate all streets, alleys, walks, paths, and other sites and easements to public or private use as noted, and all of the land shown herein is within the United Development Ordinance jurisdiction of Harnett County.

September 27, 2024

(Date)

9553-48-8104

M. PIN Number

(Owner)

LOT 7A
HICKORY SPRINGS S/D
KIM EDWARD YOUNG
MARBELY D. URBINA
DB 2754 PG 361
PG 8 PG 890
PG 201 PG 444
PIN 9553-57-2884



Project: 390 Willette Lane
Drawn By: S. Frame
Scale: 1" = 60'
Date: 09-27-2024

Boundary Survey for:
Marbely D. Urbina
1422 Evergreen Trail
Hinesville, GA 31313

Property Information:
390 Willette Lane
Cameron, N.C. 28326
Johannesville Township, Harnett County, N.C.
D.B. 4228 PG 502
PG 8 PG 898
PIN 9553-48-8104

Scot A. Frame P.L.S.
1350 Young Rd.
Angier, N.C. 27501
919-639-6284 Office
919-586-2251 Mobile