

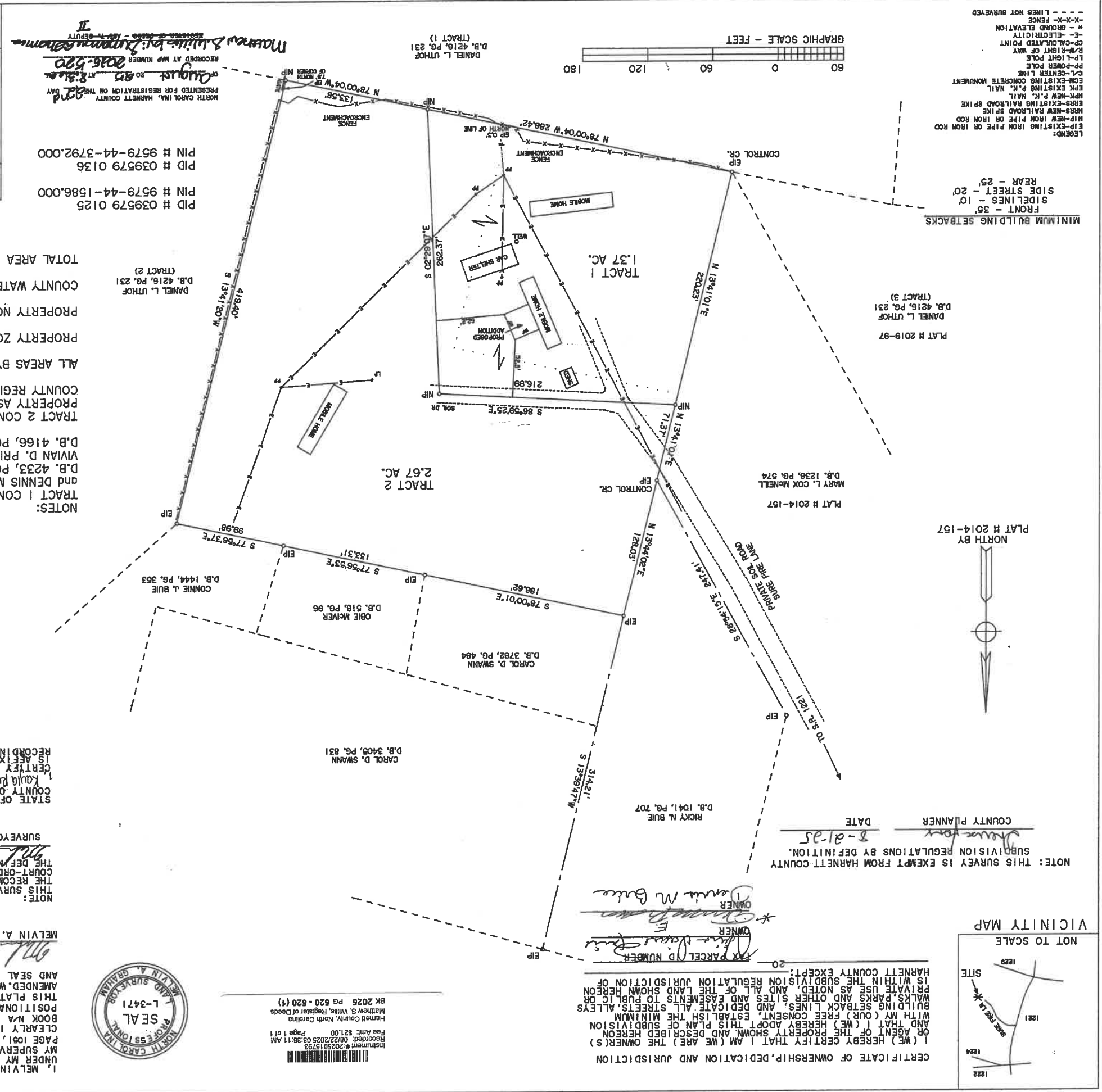
REVISIONS: PROJECT: SCALE: DATE: TOWNSHIP: COUNTY: STATE: RECOMBINATION SURVEY # OR BARBECUE HARNETT NC 07/25/2025 1"=60' 12924

NOTES: THIS SURVEY IS OF ANOTHER CATEGORY, SUCH AS THE RECOMBINATION OF EXISTING PARCELS, A COURT-ORDERED SURVEY, OR OTHER EXCEPTION TO THE DEFINITION OF SUBDIVISION. DATE: 07/29/2025 SURVEYOR: DATE: REVIEW OFFICER: DATE: RECORDING: 08-22-25

STATE OF NORTH CAROLINA COUNTY OF HARNETT REVIEW OFFICER OF HARNETT COUNTY CERTIFY THAT THE MAP OR PLAT TO WHICH THIS CERTIFICATION IS AFFIXED MEETS ALL STATUTORY REQUIREMENTS FOR RECORDED. 08-22-25

NOTE: THIS PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS, RIGHT OF WAYS, AND AGREEMENTS OF RECORD PRIOR TO THIS PLAT.

NOTES: TRACT 1 CONSIST OF ALL OF THE TRAVIS E. REDWINE and DENNIS M. BRICE PROPERTY AS RECORDED IN D.B. 4233, PG. 1300 AND A PORTION OF THE VIVIAN D. PRINCE PROPERTY AS RECORDED IN D.B. 4166, PG. 1051 HARNETT COUNTY REGISTRY. TRACT 2 CONSIST OF A PORTION OF THE VIVIAN D. PRINCE PROPERTY NOT IN A WATERSHED PROPERTY ZONED RA-20R ALL AREAS BY COORDINATE METHOD PROPERTY ZONED RA-20R PROPERTY NOT IN A WATERSHED COUNTY WATER & PRIVATE SEPTIC SYSTEM TOTAL AREA = 4.04 AC.



I, MELVIN A. GRAHAM, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTIONS NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN BOOK N/A, PAGE N/A; THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY AS CALCULATED IS 1:10,000; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED. WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER AND SEAL THIS 29 DAY OF JULY, A.D. 2025

MELVIN A. GRAHAM, PLS. REGISTRATION NUMBER L-3471



Instrument # 2025015793
Recorded: 08/22/2025 08:36:11 AM
Page 1 of 1
Fee Amt: \$21.00
Harnett County, North Carolina
Matthew S. White, Register of Deeds
BK 2025 PG 620-620 (1)

CERTIFICATE OF OWNERSHIP, DEDICATION AND JURISDICTION
I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OR AGENT OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT, ESTABLISH THE MINIMUM BUILDING SETBACK LINES, AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER SITES AND EASEMENTS TO PUBLIC OR PRIVATE USE AS NOTED, AND ALL OF THE LAND SHOWN HEREON IS WITHIN THE SUBDIVISION REGULATION JURISDICTION OF HARNETT COUNTY EXCEPT:

OWNER: *Travis E. Redwine*
OWNER: *Dennis M. Brice*

NOTE: THIS SURVEY IS EXEMPT FROM HARNETT COUNTY SUBDIVISION REGULATIONS BY DEFINITION.
DATE: 8-21-25
COUNTY PLANNER: *[Signature]*