

HUD
Engineering Certification
Report

515 Archie St
Spring Lake, NC

Prepared for: John Livingston



Registered Field Technician

HomeTeam Inspection Service of The Triangle
(919) 987-7646
eroberson@hometeam.com

Engineer

Patrick Conroy
616-822-9070
NC License #046168, Firm #P-2434

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General

Client & Site Information

1.1 Inspection Date

November 22, 2025 10:26 AM

1.2 Client

John Livingston

1.3 Inspection Site

515 Archie St
Spring Lake, NC, 28390

1.4 Address Image**1.5 Vacancy**

Vacant

Climatic Conditions

1.6 Weather

Partly Cloudy and None

1.7 Soil Conditions

N/A

1.8 Outside Temperature

67°

Building Characteristics

1.9 Elevation Pictures



1.10 Date of Manufacture

2025

1.11 Building Type

Double-wide

1.12 Rough Exterior Dimensions

26' x 77'

(Measurements are for the engineer's use and may not match the appraiser's measurements)

1.13 HUD Label 1



1.14 HUD Label 2



1.15 Data Sheet

UNIT SER. # 023-000-H-A009510AB
MODEL # IC-2876-09 HUD SEAL # PFS1383507, PFS1383508
DATE OF MFG. 7/8/2025 DESIGN APPROVED BY PFS

☒ This manufactured home is designed to comply with the Federal Manufactured Home Construction and Safety Standards in force at the time of manufacture.

☒ This manufactured home has been substantially completed in the accordance with the approved design and has been received, tested for, and permanently affixed to the structure for compliance with the Federal Manufactured Home Construction and Safety Standards and the requirements of the Department of Housing and Urban Development (HUD) as effective at the time of manufacture.

☒ This manufactured home is designed to accommodate the additional loads imposed by the attachment of an attached accessory building or structure in accordance with the manufacturer's installation instructions. The additional loads are in accordance with the design loads identified on the Data Plate.

☒ This manufactured home IS NOT designed to accommodate the additional loads imposed by the attachment of an attached accessory building or structure in accordance with the manufacturer's installation instructions.

MANUFACTURER FEWVOSTRA

MFG. Champion Home Builders, Inc. DIV# 023
4055 US 401 South
Lillington, NC 27548

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MANUFACTURER FEWVOSTRA

1.16 Foundation Type

Crawlspace

1.17 Foundation Type Images**1.18 Interior Support Structure**

Concrete Masonry Units

1.19 Piers and/or Support Column Images**1.20 Piers Rest On**

Concrete Footing or pad

1.21 Wheels

Wheels and axles are Removed

1.22 Tongues

Removed from Frame

Structural

Structure - Foundation

2.1 Exterior Grading

Reasonable grading around the home.

2.2 Exterior Grading Images



2.3 Skirting

No skirting yet installed

2.4 Anchor Method

Metal Straps anchored into a concrete slab and/or footings and connected to anchors augured into the soil (spacing every 8 feet), Proprietary Restraint System (Front right and Back left)

2.5 Anchor Method Images



HUD Engineering Certification Report Summary

Date: November 22, 2025

Client: John Livingston

RE: 515 Archie St Spring Lake, NC 28390

Permanent Foundation

As requested, we have evaluated the site conditions and foundation of the existing manufactured home for conformance with the Permanent Foundation Guide for Manufactured Housing; September, 1996. The purpose of this evaluation is for the resale, purchase, financing, or refinancing of the home. Our investigation and evaluation has been based on a visual review of the readily accessible areas of the foundation and overall surrounding site. The scope of the inspection included the foundation of the house.

On November 22, 2025 10:26 AM, we made a site visit to evaluate the site drainage conditions and house foundation.

We observed that the manufactured structural frame of this Double-wide house is supported permanently to a foundation in the crawlspace. We observed that horizontal and vertical uplift restraint had been provided at various locations. The manufactured frame had been fastened to the foundation adequately. The overall integrity of the foundation was in good condition. Based on the information observed, we are of the opinion that the house foundation has been constructed in accordance with HUD/FHA Guidelines - Permanent Foundation Guide for Manufactured Housing HUD-4930.3G; September, 1996. The foundation meets HUD guidelines for manufactured housing dated Sept 1996.

The HUD PFGMH is a minimum standard for tie-down systems required to meet federally-backed loan requirements. Even with tiedown systems that meet the most stringent standards, mobile and manufactured homes are considered unsafe structures in violent or extreme weather such as, but not limited to, severe thunderstorms, floods, derechos, tornados and hurricanes.

1st Permanent Location

No visible on-site evidence was noted or observed which would indicate that the Manufactured home was moved from another "permanent" location.

If you have any questions or need clarification regarding this report, please contact Ed Roberson of HomeTeam Inspection Service of The Triangle at (919) 987-7646 or email eroberson@hometeam.com. Thank you.

Sincerely,



Patrick Conroy
616-822-9070
NC License #046168, Firm #P-2434



HomeTeam Inspection Service of The Triangle

(919) 987-7646

eroberson@hometeam.com

Terms and Conditions

This Report is expressly made subject to the following terms and conditions to which all persons that receive and rely thereon agree:

1. Said Report is given with the skill and care ordinarily used by members of the engineering profession practicing under similar conditions at the same time and in the same locality and applies only to facts that are within Engineer's knowledge or could reasonably have been ascertained by ENGINEER.
2. Said Report reflects and is an expression of the professional judgment of ENGINEER.
3. Said Report is given as to the best of Engineer's knowledge, information, and belief as of the date hereof.
4. Said Report is based entirely on and expressly limited by the scope of services ENGINEER has been employed by Client to perform.
5. To the fullest extent permitted by law, Client and Engineer (1) waive against each other, and the other's employees, officers, directors, agents, insurers, partners, and consultants, any and all claims for or entitlement to special, incidental, indirect, or consequential damages arising out of, resulting from, or in any way related to this report, and (2) agree that Engineer's total liability to Client shall be limited to the total amount of compensation received by Engineer.
6. This Report was produced and provided for the Client by the ENGINEER or his assistant trained in these inspections working directly under the supervision of the ENGINEER.
7. The parties acknowledge that Engineer's scope of services does not include any services related to a Hazardous Environmental Condition (the presence of asbestos, PCBs, petroleum, hazardous substances or waste, and radioactive materials).
8. This inspection is only for compliance with HUD Guidelines and does not include or address local or state guidelines, other building codes or jurisdiction requirements.

