

# HUD

## Engineering Certification

### Report

515 Archie St  
Spring Lake, NC

Prepared for: John Livingston



#### Registered Field Technician

HomeTeam Inspection Service of The Triangle  
(919) 987-7646  
eroberson@hometeam.com

#### Engineer

Patrick Conroy  
616-822-9070  
NC License #046168, Firm #P-2434

## Table of Contents

Table of Contents	2
General	3
Client & Site Information	3
Climatic Conditions	3
Building Characteristics	4
Structural	7
Structure - Foundation	7
Terms and Conditions	9

## General

### Client & Site Information

#### **1.1 Inspection Date**

November 22, 2025 10:26 AM

#### **1.2 Client**

John Livingston

#### **1.3 Inspection Site**

515 Archie St  
Spring Lake, NC, 28390

#### **1.4 Address Image**



#### **1.5 Vacancy**

Vacant

### Climatic Conditions

#### **1.6 Weather**

Partly Cloudy and None

#### **1.7 Soil Conditions**

N/A

#### **1.8 Outside Temperature**

67°

## Building Characteristics

---

### 1.9 Elevation Pictures



### 1.10 Date of Manufacture

2025

### 1.11 Building Type

Double-wide

### 1.12 Rough Exterior Dimensions

26' x 77'

(Measurements are for the engineer's use and may not match the appraiser's measurements)

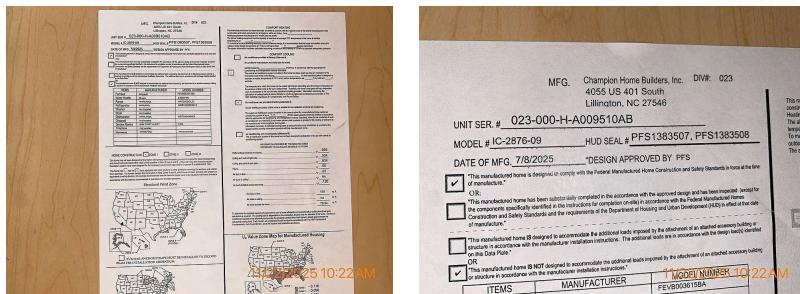
### 1.13 HUD Label 1



### 1.14 HUD Label 2



## 1.15 Data Sheet



## 1.16 Foundation Type

Crawlspace

## 1.17 Foundation Type Images



## 1.18 Interior Support Structure

Concrete Masonry Units

## 1.19 Piers and/or Support Column Images



## 1.20 Piers Rest On

Concrete Footing or pad

## 1.21 Wheels

Wheels and axles are Removed

**1.22 Tongues**

Removed from Frame

## Structural

### Structure - Foundation

#### 2.1 Exterior Grading

Reasonable grading around the home.

#### 2.2 Exterior Grading Images



#### 2.3 Skirting

No skirting yet installed

#### 2.4 Anchor Method

Metal Straps anchored into a concrete slab and/or footings and connected to anchors augured into the soil (spacing every 8 feet), Proprietary Restraint System (Front right and Back left)

#### 2.5 Anchor Method Images



## HUD Engineering Certification Report Summary

Date: November 22, 2025

Client: John Livingston

RE: 515 Archie St Spring Lake, NC 28390

### Permanent Foundation

As requested, we have evaluated the site conditions and foundation of the existing manufactured home for conformance with the Permanent Foundation Guide for Manufactured Housing; September, 1996. The purpose of this evaluation is for the resale, purchase, financing, or refinancing of the home. Our investigation and evaluation has been based on a visual review of the readily accessible areas of the foundation and overall surrounding site. The scope of the inspection included the foundation of the house.

On November 22, 2025 10:26 AM, we made a site visit to evaluate the site drainage conditions and house foundation.

We observed that the manufactured structural frame of this Double-wide house is supported permanently to a foundation in the crawlspace. We observed that horizontal and vertical uplift restraint had been provided at various locations. The manufactured frame had been fastened to the foundation adequately. The overall integrity of the foundation was in good condition. Based on the information observed, we are of the opinion that the house foundation has been constructed in accordance with HUD/FHA Guidelines - Permanent Foundation Guide for Manufactured Housing HUD-4930.3G; September, 1996. The foundation meets HUD guidelines for manufactured housing dated Sept 1996.

The HUD PFGMH is a minimum standard for tie-down systems required to meet federally-backed loan requirements. Even with tiedown systems that meet the most stringent standards, mobile and manufactured homes are considered unsafe structures in violent or extreme weather such as, but not limited to, severe thunderstorms, floods, derechos, tornados and hurricanes.

### 1st Permanent Location

No visible on-site evidence was noted or observed which would indicate that the Manufactured home was moved from another "permanent" location.

**If you have any questions or need clarification regarding this report, please contact Ed Roberson of HomeTeam Inspection Service of The Triangle at (919) 987-7646 or email [eroberson@hometeam.com](mailto:eroberson@hometeam.com). Thank you.**

Sincerely,



Patrick Conroy  
616-822-9070  
NC License #046168, Firm #P-2434



HomeTeam Inspection Service of The Triangle  
(919) 987-7646  
eroberson@hometeam.com

## Terms and Conditions

This Report is expressly made subject to the following terms and conditions to which all persons that receive and rely thereon agree:

1. Said Report is given with the skill and care ordinarily used by members of the engineering profession practicing under similar conditions at the same time and in the same locality and applies only to facts that are within Engineer's knowledge or could reasonably have been ascertained by ENGINEER.
2. Said Report reflects and is an expression of the professional judgment of ENGINEER.
3. Said Report is given as to the best of Engineer's knowledge, information, and belief as of the date hereof.
4. Said Report is based entirely on and expressly limited by the scope of services ENGINEER has been employed by Client to perform.
5. To the fullest extent permitted by law, Client and Engineer (1) waive against each other, and the other's employees, officers, directors, agents, insurers, partners, and consultants, any and all claims for or entitlement to special, incidental, indirect, or consequential damages arising out of, resulting from, or in any way related to this report, and (2) agree that Engineer's total liability to Client shall be limited to the total amount of compensation received by Engineer.
6. This Report was produced and provided for the Client by the ENGINEER or his assistant trained in these inspections working directly under the supervision of the ENGINEER.
7. The parties acknowledge that Engineer's scope of services does not include any services related to a Hazardous Environmental Condition (the presence of asbestos, PCBs, petroleum, hazardous substances or waste, and radioactive materials).
8. This inspection is only for compliance with HUD Guidelines and does not include or address local or state guidelines, other building codes or jurisdiction requirements.

