

Harnett County Minimum
Building Setback Requirements
RA-20R, RA-20M, RA-30, & RA-40
FRONT: 35' from R/W
REAR: 25'
SIDE: 10'
CORNER LOT SIDE: 20'

North Carolina, Johnston County

I, W. Royce Lambert Jr., certify that this plat was drawn under my supervision from an actual survey made under my supervision (deed description recorded in Book 1571, Page 663, etc.) (other); that the boundaries not surveyed are clearly indicated as drawn from information found in Book _____ Page _____; that the ratio of precision or positional accuracy as calculated is NONE; that this plat was prepared in accordance with G.S. 47-30 as amended.

I certify to one or more of the following:
☐ A. That the survey creates a subdivision of land within the area of a county or municipality that has an ordinance that regulates parcels of land.
☐ B. That the survey is located in a portion of a county or municipality that is unregulated as to an ordinance that regulates parcels of land.
☒ C. Any one of the following: (1) That the survey is of an existing parcel or parcels of land or one or more existing easements and does not create a new street or change an existing street. For the purposes of this subsection, an "existing parcel" or "existing easement" is an area of land described in a single, legal description or legally recorded subdivision that has been or may be legally conveyed to a new owner by deed in its existing configuration. (2) That the survey is of an existing feature, such as a building or other structure, or natural feature, such as a watercourse. (3) That the survey is a control survey. For the purposes of this subsection, a "control survey" is a survey that provides horizontal or vertical position data for support or control of other surveys or for mapping. A control survey, by itself, cannot be used to define or convey rights or ownership. (4) That the survey is of a proposed easement for a public utility as defined in G.S. 62-3.
☐ D. That the survey is of another category, such as the recombination of existing parcels, a court-ordered survey, or other exemption or exception to the definition of subdivision.
☐ E. That the information available to the surveyor is such that the surveyor is unable to make a determination to the best of the surveyor's professional ability as to provisions contained in (a) through (d) above.

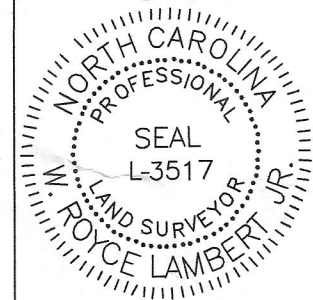
Witness my original signature, license number and seal this 19 day of MAY, A.D., 2025

Seal or Stamp

Professional Land Surveyor

L. # 3517
License Number

PRELIMINARY PLAT
NOT FOR RECORDATION,
CONVEYANCES OR SALES



LEGEND
ESR Existing Steel Rod
SSR Set Steel Rod
EOPS Existing Cotton Picker Spindle
SCPS Set Cotton Picker Spindle
EN Existing Nail
EIP Existing Iron Pipe
SIP Set Iron Pipe
EIS Existing Iron Stake
SIS Set Iron Stake
EPKN Existing PK Nail
SPKN Set PK Nail
ECM Existing Concrete Monument
SRB Set Rebar
ERB Existing Rebar
ELS Existing Lightwood Stake
P Property Line
PP Power Pole
LP Light Pole
EFH Existing Fire Hydrant

LAMBERT SURVEYING INC.
C-1280

W. ROYCE LAMBERT, Jr. PLS 3517
3732 OLD FAIRGROUND ROAD,
PHONE (919)-820-1479

STATE OF NORTH CAROLINA, _____ COUNTY
I, _____, REVIEW OFFICER OF
_____ COUNTY, CERTIFY THAT THE MAP OR
PLAT TO WHICH THIS CERTIFICATE IS AFFIXED MEETS
ALL STATUTORY REQUIREMENTS FOR RECORDING.

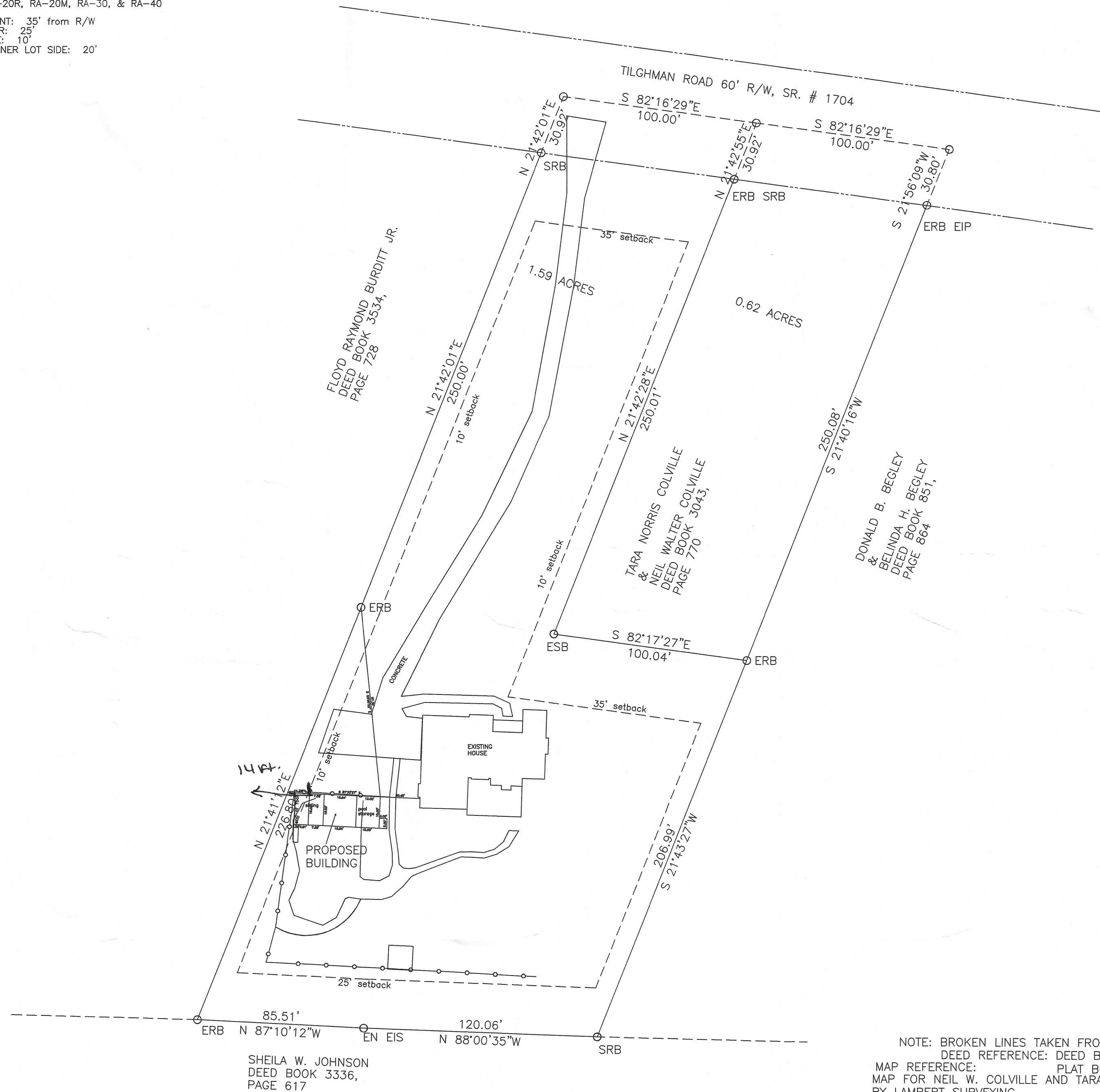
REVIEW OFFICER

DATE: _____

STATE OF NORTH CAROLINA, _____ COUNTY
FILED FOR REGISTRATION AT _____, M.
_____, 20____, IN THE REGISTER
OF DEEDS OFFICE.
RECORDED IN BOOK _____, PAGE _____,

REGISTER OF DEEDS

BY: _____



NOTE: BROKEN LINES TAKEN FROM PLAT BOOK 2001, PAGE 1156
DEED REFERENCE: DEED BOOK 1571, PAGE 663,
MAP REFERENCE: PLAT BOOK 2001, PAGE 1156
MAP FOR NEIL W. COLVILLE AND TARA N. COLVILLE, DATED 10/3/2017
BY LAMBERT SURVEYING.
NOTE: ALL DISTANCES ARE HORIZONTAL GROUND
IMPROVEMENTS LOCATED 10/3/2017
ONLY POOL HOUSE DRAWN AT THIS DATE.

SITEPLAN FOR POOL BUILDING MAP FOR

AND NEIL W. COLVILLE
TARA N. COLVILLE

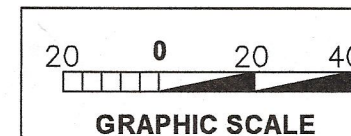
TOWNSHIP AVERASBORO

COUNTY HARNETT

STATE: NORTH CAROLINA DATE: 5/19/2025 SCALE: 1 IN.=40 FT.

ZONE: RA-30

TAX PARCEL: PIN:1519-85-9397.000



NORTH FROM PLAT BOOK 2001, PAGE 1156