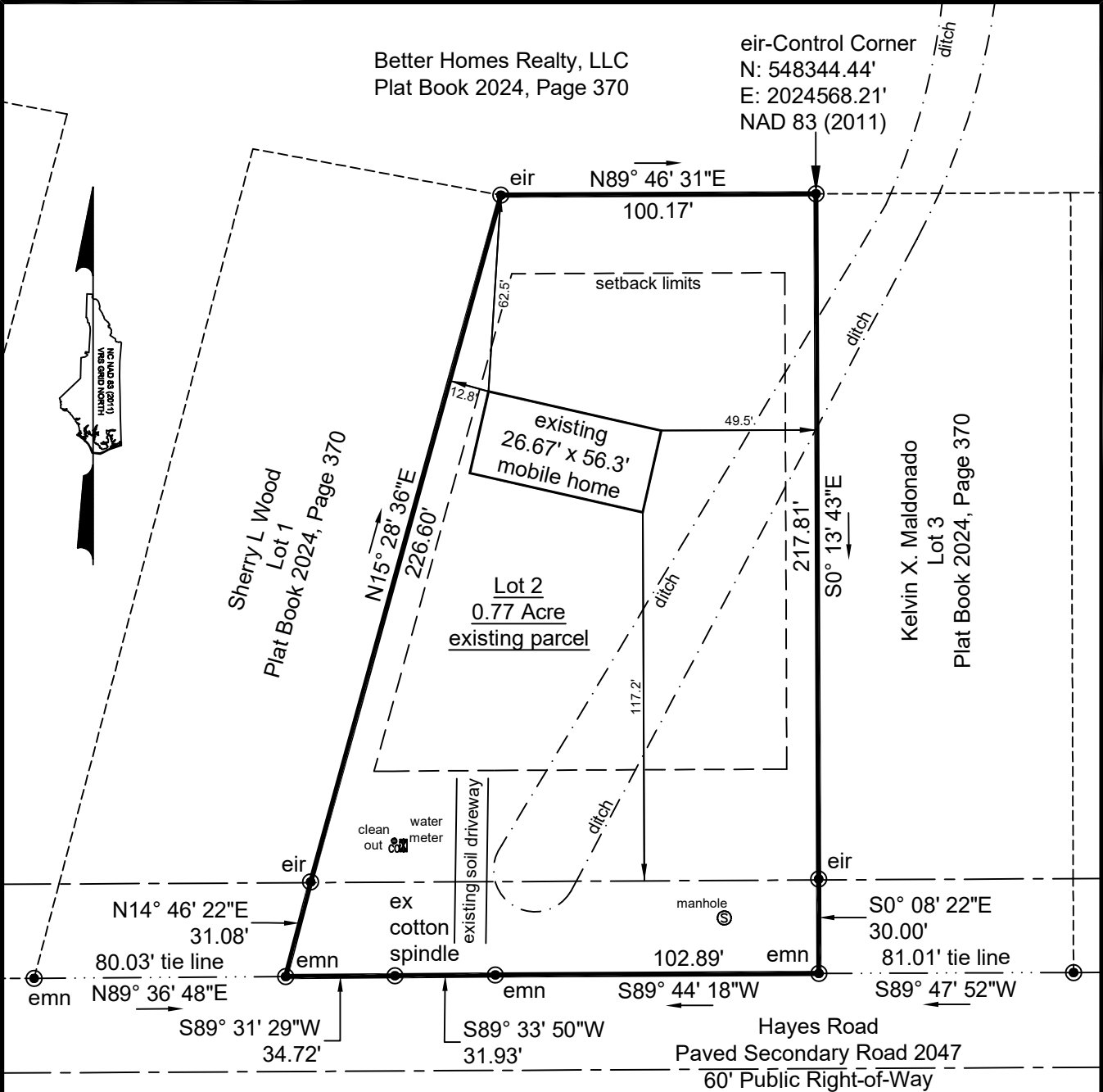


Better Homes Realty, LLC
Plat Book 2024, Page 370

eir-Control Corner
N: 548344.44'
E: 2024568.21'
NAD 83 (2011)



ZONED: RA-20M
Typical Setback Limits: Front - 35'
Side - 10'
Rear - 25'

FOUNDATION SITE PLOT PLAN PREPARED FOR
Sherry L. Wood

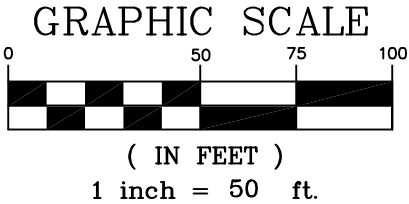
ANDERSON CREEK TOWNSHIP
HARNETT COUNTY NORTH CAROLINA
SEPTEMBER 8, 2025 SCALE 1"= 50'

TITLE REFERENCE: DEED BOOK 4254, PAGE 2979
LOT 2, PLAT BOOK 2024, PAGE 370
PIN: 0524-48-4282.000

I, JOHN D. POWERS JR., PLS L-3719, CERTIFY THAT
THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL
SURVEY MADE UNDER MY SUPERVISION, DEED AND DESCRIPTION
RECORDED IN PLAT BOOK 2024, PAGE 370, THAT THE RATIO OF
PRECISION AS CALCULATED BY LATITUDE AND DEPARTURES IS 1/10,000'+-
THAT THE BOUNDARIES NOT SURVEYED ARE SHOWN AS BROKEN LINES
PLOTTED FROM INFORMATION FOUND IN BOOKS REFERENCED, THAT THIS
MAP WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED
WITNESS MY HAND AND SEAL THIS 8TH DAY OF SEPTEMBER, A.D., 2025

JOHN D. POWERS JR. PROFESSIONAL LAND SURVEYOR L-3719

LEGEND	
eir - existing iron rod found	
emn - existing mag nail	
— — — — —	right of way line plotted
—————	surveyed line
- - - - -	line plotted (not surveyed)
— . . . —	tie line surveyed
= : = : =	ditch line plotted
- - - - -	setback limits plotted



Powers Surveying
John D. Powers, Jr. PLS L-3719

750 South Roberts Avenue
Lumberton, North Carolina 28358
910-738-6980
Firm License: F-1359

Digital Signature and seal
not for recording conveyance
or sales. Copies with original
signature and seal will be
provided. This is for email
purposes only.

