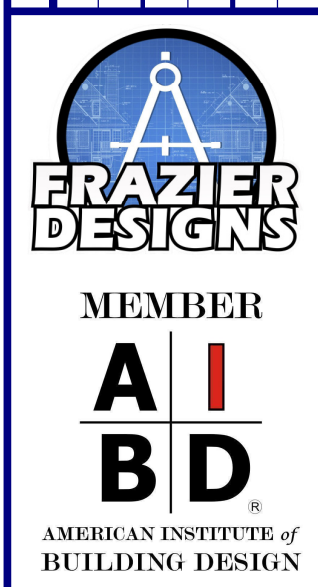


The information in these Construction Documents is for the use of the Contractor only. It is not to be used for any other purpose. The Designer has prepared these documents in accordance with the requirements and the Local Building Codes. If the Contractor is not a member of the American Institute of Building Design, the Contractor shall be responsible for obtaining the necessary permits and for obtaining the necessary approvals from the local building department. The Designer shall not be responsible for any errors or omissions in these documents. The Contractor shall be responsible for obtaining the necessary permits and for obtaining the necessary approvals from the local building department. The Designer shall not be responsible for any errors or omissions in these documents.

APPROVED BY	DATE



Frazier Designs
A Residential Design Company
(910) 818-2413
www.frazierplans.com

Project: Stanley Home Addition
553 Bumpas Creek Access Dunn, NC 28334
MODEL: FD-1035
BUILDER:

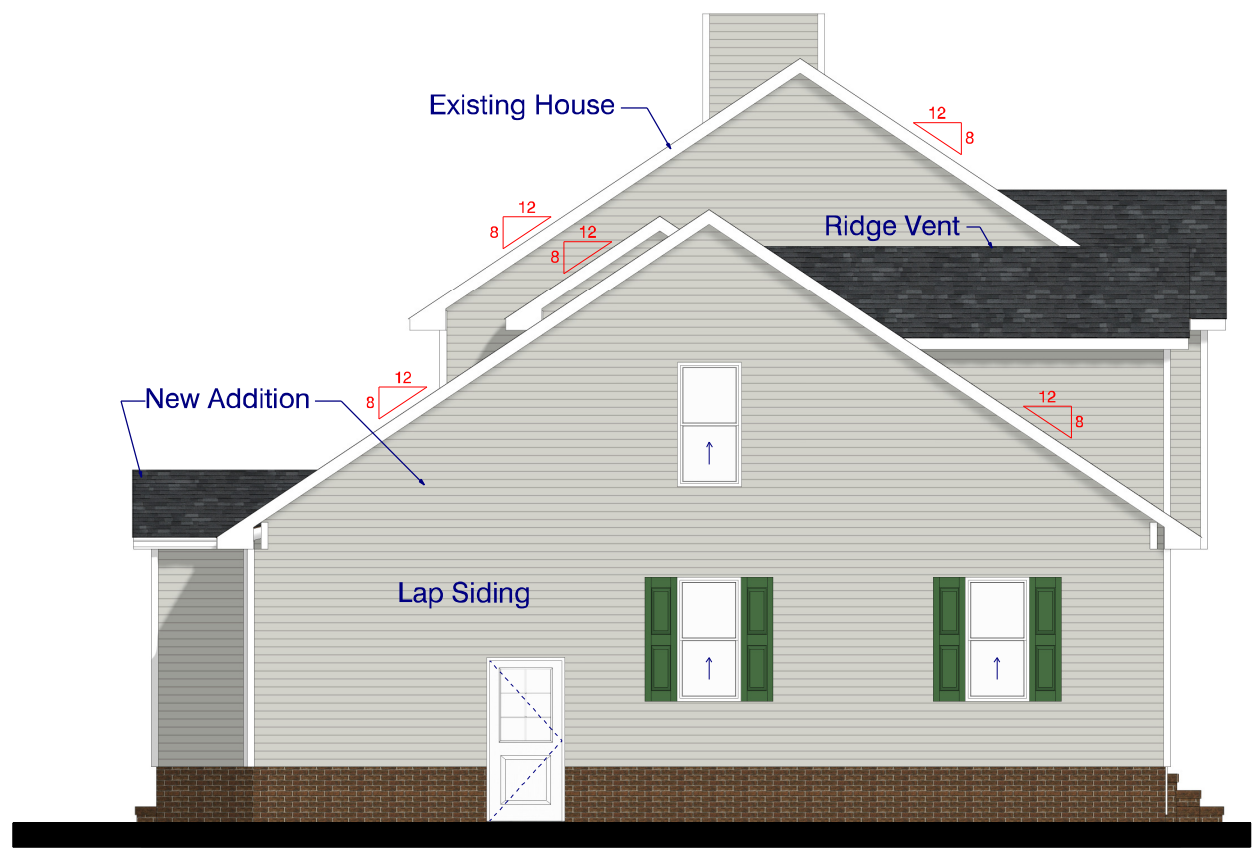
DATE PRINTED: Jan. 2025
DRAWN BY: ATF

Elevations

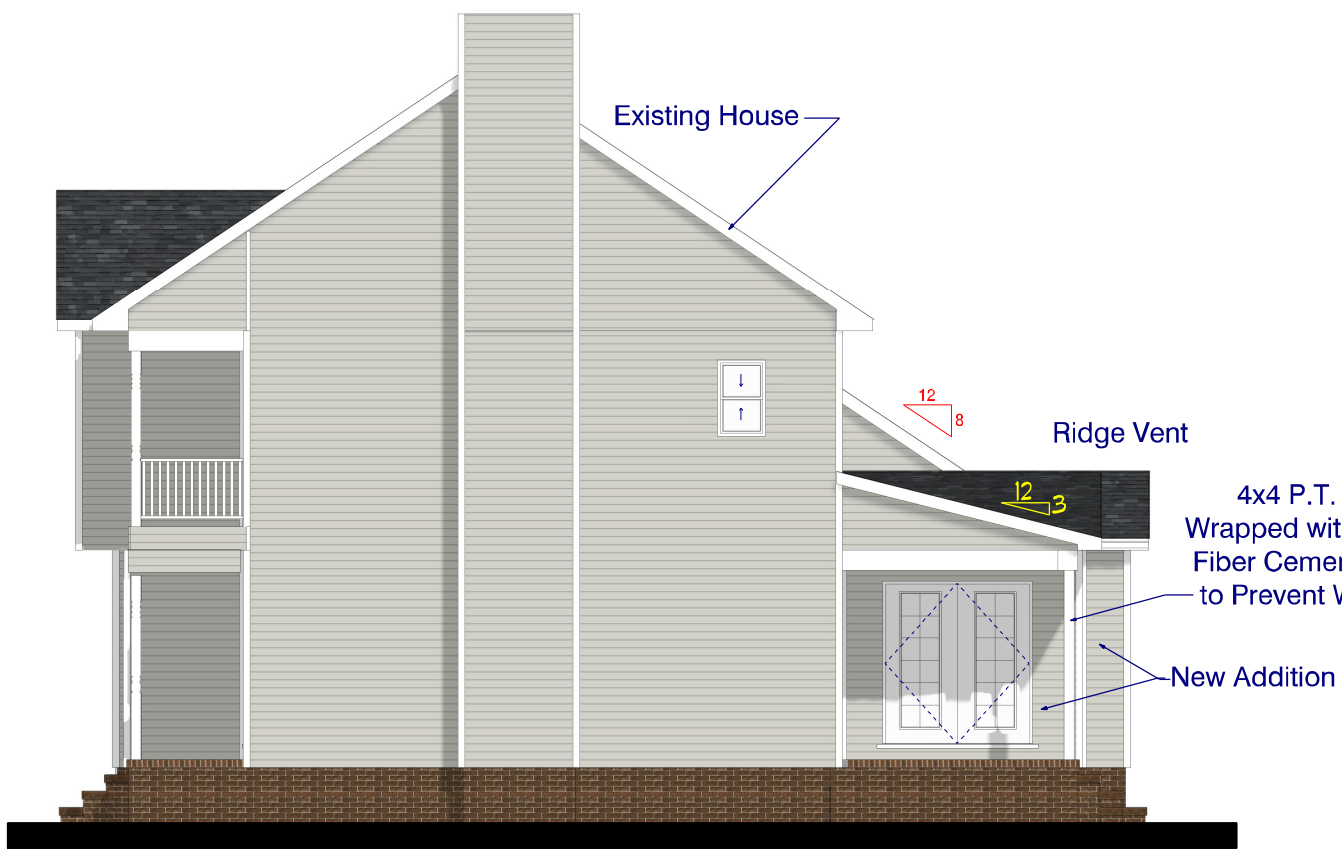
SHEET
1



Front Elevation
Scale: 1/4" = 1'0"



Left Elevation
Scale: 1/8" = 1'0"



Right Elevation
Scale: 1/8" = 1'0"



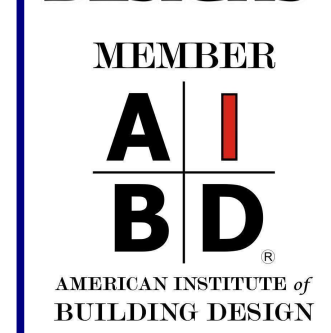
Rear Elevation
Scale: 1/4" = 1'0"

CLIMATE ZONE	ZONE 3	ZONE 4	ZONE 5
FENESTRATION U-FACTOR	0.35	0.35	0.35
SKYLIGHT U-FACTOR	0.65	0.65	0.60
GLAZED FENESTRATION SHGC	0.30	0.30	0.30
CEILING R-VALUE	30	38	38
WALL R-VALUE	13	15	19
FLOOR R-VALUE	19	19	30
*BASEMENT WALL R-VALUE	10/13	10/13	10/13
**SLAB R-VALUE	0	0	10
** CRAWLSPACE WALL R-VALUE	5/13	10/13	10/13

DESIGNED FOR WIND SPEED OF 120 MPH

DESIGN PRESSURES FOR DOORS AND WINDOWS POSITIVE AND NEGATIVE IN PSF			
VELOCITY (MPH)	MEAN ROOF HEIGHT (FT)		
	15	25	35
115	15	17	19
120	20	23	25
130	25	29	32

APPROVED BY	DATE

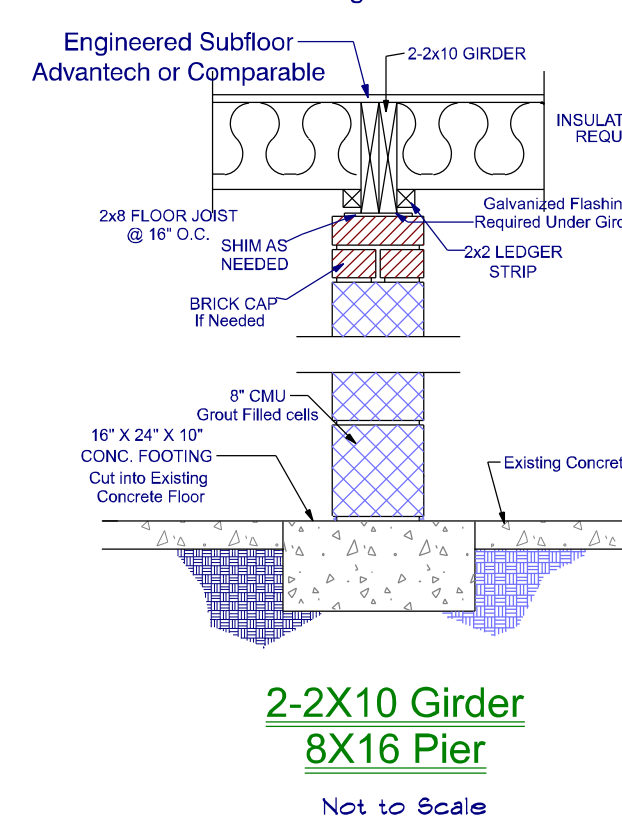
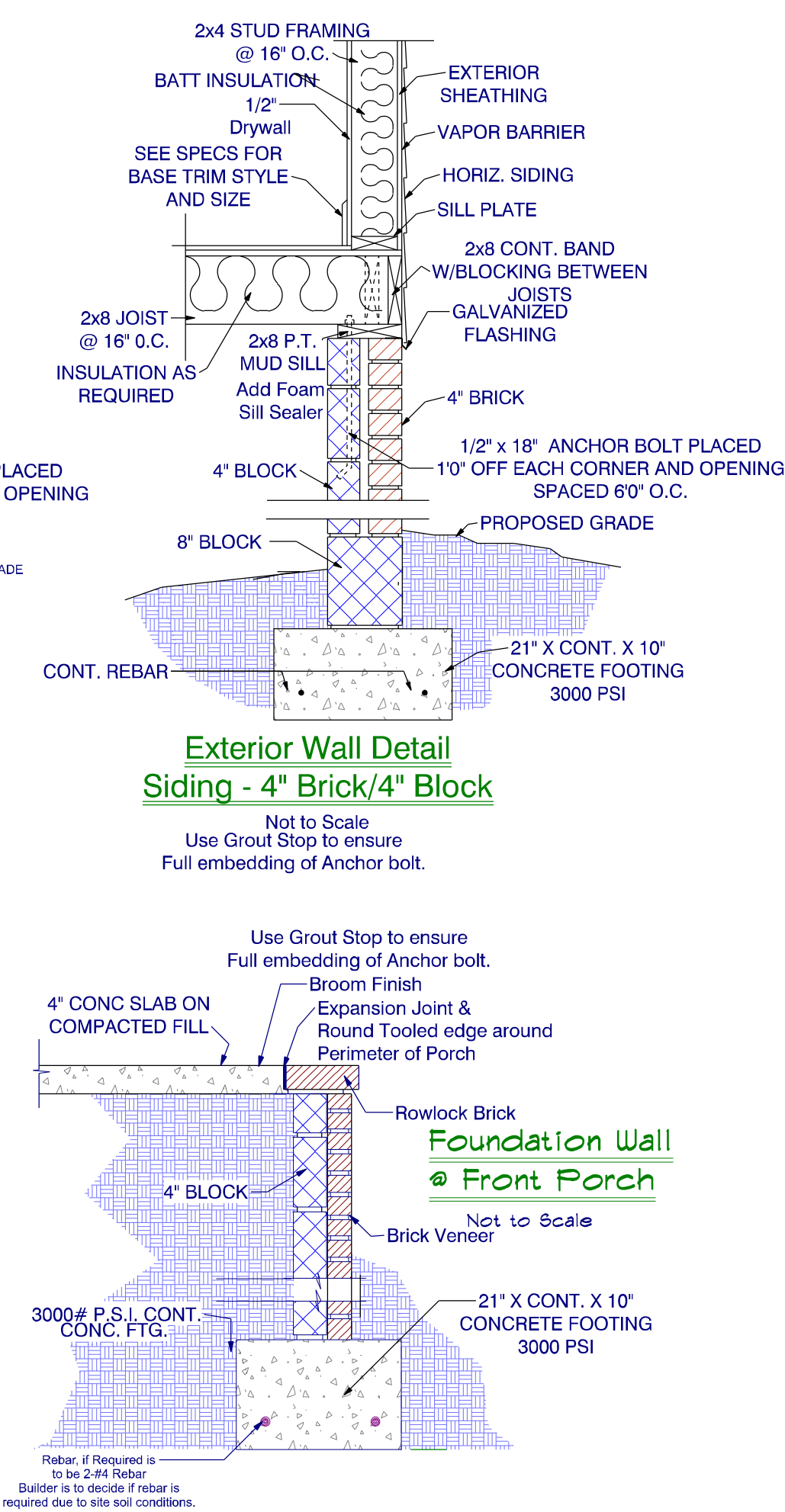
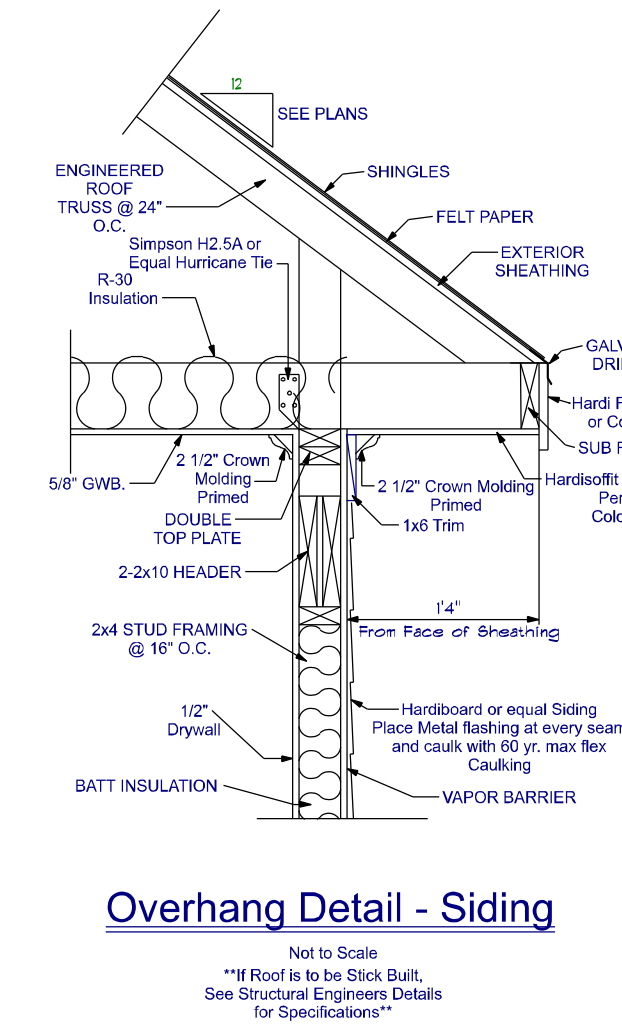


--	--	--	--

DATE PRINTED:
Jan. 2025

DRAWN BY:
ATF

Page 10



DATE	APPROVED BY

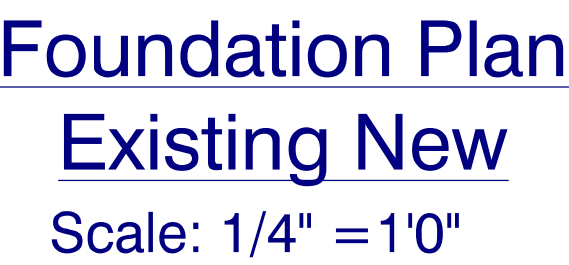


Frazier Designs
A Residential Design Company
(910) 818-2413
www.frazierplans.com

MODEL:
FD-1035
BUILDER

Foundation Plan
Existing New

SHEET
4



Reinforced Concrete Slab Minimum 3 1/2' Thick
Over 4" Base of Clean Approved Material.
Reinforcement maybe Fiber Additive
or Welded Wire Mesh. Wire Reinforcement Must be
Supported to Remain in the Upper Third of the
Reinforced Slab.



The Information in These Construction Documents is for the Exclusive Use of the Client in Construction of the Building Designated in the Documents. The Designer has Attempted to Design an Accurate set of Construction Documents of the building based upon the Client's Requirements and the Local Building Codes. If the Client observes or becomes aware of any fault or defect in the product or Non-Compliance with the Construction Documents, Prompt Written Notice shall be given by the client to the Designer. The Client shall Hold Harmless the Designer from all Errors and Omissions Pertaining to the Documents related to the Project and Client Related Work as Represented by the Designer the Client.



Frazier Designs
A Residential Design Company
(910) 818-2413
www.frazierplans.com

Project: Stanley Home Addition
553 Bumpas Creek Access Dunn, NC 28334

MODEL:
FD- 1035
BUILDER

DATE PRINTED:

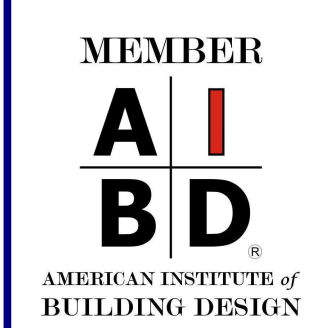
DRAWN BY:
ATF

Main Level
Existing

SHEET

5

APPROVED BY	DATE



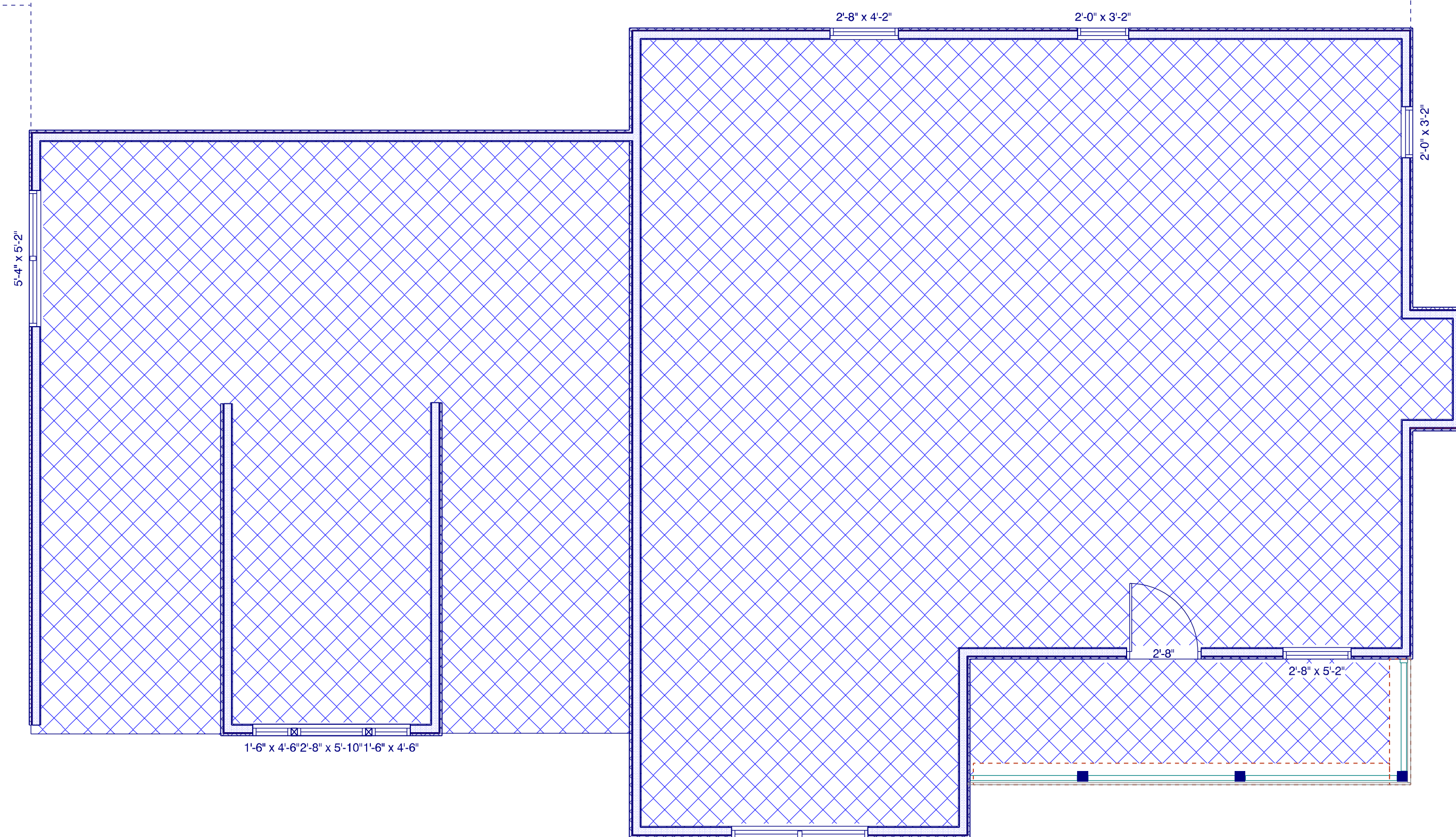
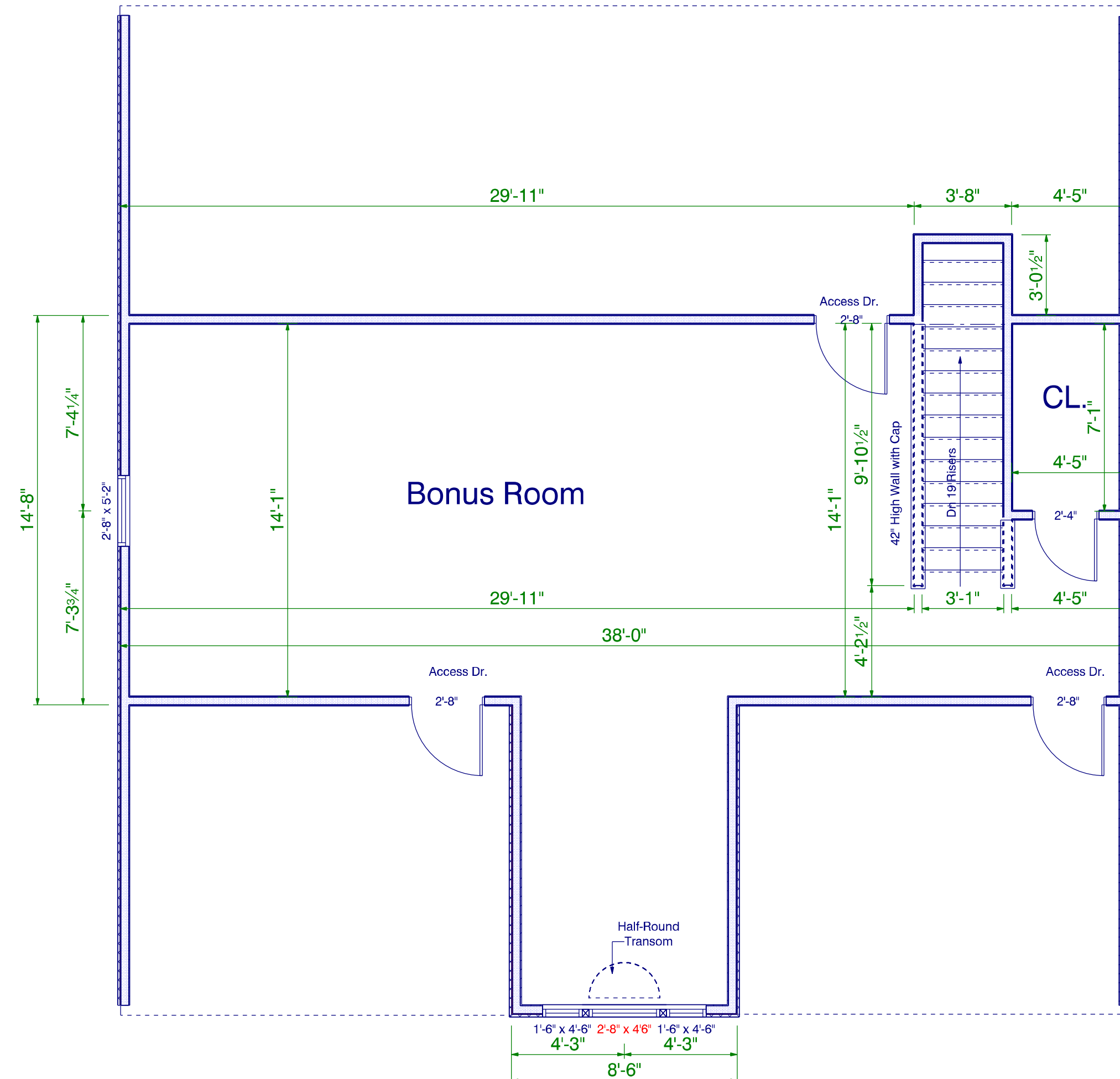
--	--	--	--

DATE PRINTED:
Jan. 2025

DRAWN BY:
ATF

Page 10 of 10

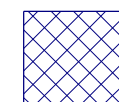




Second Level Layout

Scale: $1/4" = 1'0"$

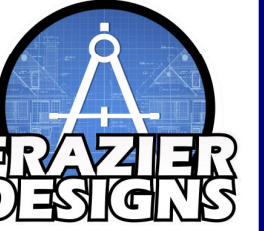
629 S.F. Bonus Room



Existing Second Floor

Electrical and HVAC Layouts and Specs
to Be Provided by Contractors

The information in these Construction Documents is for the Exclusive Use of the Client in Construction of the Building Designated in the Documents. The Designer has Attempted to Establish an Accurate set of Construction Documents of the building based upon the Client's Requirements and the Local Building Codes. If the Client observes or becomes aware of any such error called in the Product or Non-Conformance with the Construction Documents, Prompt Written Notice shall be given by the Client to the Designer. The Client shall Hold the Designer harmless for any and all Claims Pertaining to the Documents related to the Project and either Related Work or Represented by the Designer to the Client.



MEMBER

AMERICAN INSTITUTE of
BUILDING DESIGN

Frazier Designs
A Residential Design Company
(910) 818-2413
www.frazierplans.com

MODEL: 553 Bumpas Creek Access Dunn, NC 28334

MODEL:
FD- 1035

BUILDER

DATE PRINTED:
Jan. 2025

DRAWN BY:
TF

Second Level Layout

HEET

[illegible]

**FRAZIER
DESIGNS**

MEMBER



AMERICAN INSTITUTE *of*
BUILDING DESIGN

Frazier Designs
A Residential Design Company
(910) 818-2413
www.frazierplans.com

--	--	--	--

553 Bumpas Creek Access Dunn, NC 28334
MODEL:
FD- 1035
BUILDER:

DATE PRINTED:
Jan. 2025

DRAWN BY:
TF

Second Level Layout

SHEET7