

DO NOT REMOVE!**Details: Appointment of Lien Agent**

Entry #: 2393100

Filed on: 06/09/2025

Initially filed by: Jabare123

Designated Lien Agent

First American Title Insurance Company

Online: www.liensnc.com (<http://www.liensnc.com>)**Address:** 223 S. West Street, Suite 900 /
Raleigh, NC 27603**Phone:** 888-690-7384**Fax:** 913-489-5231**Email:** support@liensnc.com (<mailto:support@liensnc.com>)**Project Property**970 Baptist Grove Road
Fuquay Varina, NC 27552
Harnett County**Property Type**

1-2 Family Dwelling

Print & Post**Contractors:**

Please post this notice on the Job Site.

Suppliers and Subcontractors:

Scan this image with your smart phone to view this filing. You can then file a Notice to Lien Agent for this project.

Owner InformationBrown Jeffrey
860 Baptist Grove Road
Fuquay Varina, NC 27526
United States
Email: Joseph.Bare@ncmodulars.com
Phone: 919-718-2760**Date of First Furnishing**

06/09/2025

View Comments (0)

Technical Support Hotline: (888) 690-7384

Harnett County Environmental Health

File/Permit Number: BRES2503-0076

IMPROVEMENT PERMIT

County: Harnett

PIN/Lot Identifier: 0643-98-5289.000

Owner: BROWN CRISTIE WINTERS & BROWN JEFFREY YOUNG

Applicant: BROWN CRISTIE WINTERS & BROWN JEFFREY YOUNG

Property Location: 972 BAPTIST GROVE RD FUQUAY-VARINA, NC 27526

Subdivision (if applicable) _____ Lot #: _____ Block: _____ Section: _____

New ☒

Expansion ☐

System Relocation ☐

Change of Use ☐

Facility Type: SFD 41' x 76'

Number of bedrooms: 3 Number of Occupants: 6 Other: _____

Design Wastewater Strength: ☒ Domestic

☐ High Strength

☐ Industrial Process Wastewater

Proposed Design Daily Flow: 360 GPD

Proposed LTAR (Initial): .3

Proposed LTAR (Repair): .3

Proposed Wastewater System Type*: 25% Reduction System (Initial) Pump Required: ☐ Yes ☐ No ☒ May be required

Proposed Wastewater System Type*: 25% Reduction System (Repair) Pump Required: ☐ Yes ☐ No ☒ May be required

**Please include system classification for proposed wastewater system types in accordance with Rule .1301 Table XXXII*

Effluent Standard: ☒ DSE ☐ HSE ☐ NSF/ANSI 40 ☐ TS-I ☐ TS-II ☐ RCW

Saprolite System (Initial): ☐ Yes ☒ No

Saprolite System (Repair): ☐ Yes ☒ No

Fill System (Initial): ☐ Yes ☒ No If yes, specify: ☐ New ☐ Existing (when adding more than 6 inches of fill to system area provide a fill plan)

Fill System (Repair): ☐ Yes ☒ No If yes, specify: ☐ New ☐ Existing (when adding more than 6 inches of fill to system area provide a fill plan)

Usable Depth to LC (Initial)*: 37 Usable Depth to LC (Repair)*: 37" * Limiting Condition

Max. Trench Depth (Initial)*: 18-22" Max. Trench Depth (Repair)*: 18-22" * Measured on the downhill side of the trench

Artificial Drainage Required: ☐ Yes ☒ No If yes, please specify details: _____

Type of Water Supply: ☐ Private well ☐ Public well ☐ Shared well ☒ Municipal Supply ☐ Spring ☐ Other: _____

Drainfield location meets requirements of Rule .0508: Yes ☒ No ☐ Drainfield location meets requirements of Rule .0601: Yes ☒ No ☐

Permit valid for: ☒ Five years [site plan submitted pursuant to GS 130A-334(13a)] ☐ No expiration [plat submitted pursuant to GS 130A-334(7a)]

Permit conditions:

No Foundation or Gutter Drains to be Directed Towards Septic System.

No Cutting or Grading of Soil in Septic or Septic Repair Area.

Authorized Agent's Printed Name: Ren Levocz

Expiration Date: 4-16-30

Authorized Agent's Signature: [Signature]

Date: 4-16-25

See attached site sketch

The issuance of this permit in no way guarantees the issuance of other permits. The permit holder is responsible for checking with appropriate governing bodies in meeting their requirements. This permit is subject to revocation if the site plan, plat, or the intended use changes. The Improvement Permit shall not be affected by a change in ownership of the site. This permit is subject to compliance with the provisions of 15A NCAC 18E and to the conditions of this permit.

Harnett County Environmental Health

File/Permit Number: BRES2503-0076

CONSTRUCTION AUTHORIZATION

County: Harnett PIN/Lot Identifier: 0643-98-5289.000
Owner: BROWN CRISTIE WINTERS & BROWN JEFFREY YOUNG Applicant: BROWN CRISTIE WINTERS & BROWN JEFFREY YOUNG
Property Location: 972 BAPTIST GROVE RD FUQUAY-VARINA, NC 27526
Facility Type: SFD 41' x 76'

Number of bedrooms: 3 Number of Occupants: 6 Other: _____
☒ New ☐ Expansion ☐ Repair ☐ System Relocation ☐ Change of Use
Basement? ☐ Yes ☒ No Basement Fixtures? ☐ Yes ☒ No
Crawl Space? ☒ Yes ☐ No Slab Foundation? ☐ Yes ☒ No
Type of Wastewater System* 25% Reduction System (Initial) 25% Reduction System (Repair)

**Please include system classification for proposed wastewater system types in accordance with Rule .1301 Table XXXII*

Design Daily Flow: 360 GPD Wastewater Strength: ☒ Domestic ☐ High Strength ☐ Industrial Process Wastewater

Rule .0403(e) Engineering Design Utilizing Low-flow Fixtures and Low-flow Technologies (S.L. 2013-413 and 2014-120)? ☐ Yes ☐ No
(if yes, please provide engineering documentation)

Effluent Standard: ☒ DSE ☐ HSE ☐ NSF/ANSI 40 ☐ TS-I ☐ TS-II ☐ RCW

Type of Water Supply: ☐ Private well ☐ Public well ☐ Shared well ☒ Municipal Supply ☐ Spring ☐ Other: _____

Installation Requirements/Conditions

Septic Tank Size: 1,000 gallons Total Trench/Bed Length: 300' feet Trench/Bed Spacing: 9' feet on center
Trench/Bed Width: 36" inches LTAR: .3 gpd/ft² Usable Depth to LC (Initial)*: 37" ^{*Limiting condition}
Soil Cover: 6" inches Slope Corrected Maximum Trench/Bed Depth*: 18-22" ^{* Measured on the downhill side of the trench}

Pump Tank Size (if applicable): _____ gallons Requires more than one pump? ☐ Yes ☐ No

Pump Requirements: _____ ft. TDH vs. _____ GPM Grease Trap Size (if applicable): _____ gallons

Distribution Method: ☐ Serial ☒ D-Box or Parallel ☐ Pressure Manifold(s) ☐ LPP ☐ Other: 3 - 100' Lines

Artificial Drainage Required: Yes ☐ No ☒ If yes, please specify details: _____

Legal Agreements (If the answer is "Yes" to any type of legal agreements, please attach a copy of the agreement.)

Multi-party Agreement Required [Rule .0204(g)]: ☐ Yes ☐ No

Easement, Right-of-Way, or Encroachment Agreement Required [Rule .0204(d)]: ☐ Yes ☐ No

Declaration of Restrictive Covenants: ☐ Yes ☐ No

Pre-Construction Conference Required: Yes ☐ No ☒

Management Entity Required: ☐ Yes ☐ No Minimum O&M Requirements: _____

Conditions: No Foundation or Gutter Drains to be Directed Towards Septic System.

No Cutting or Grading of Soil in Septic or Septic Repair Area.

The requirements of 15A NCAC 18E are incorporated by reference into this permit and shall be met. Systems shall be installed in accordance with the attached site sketch. This Construction Authorization is subject to revocation if the site plan, plat, or the intended use changes. The Construction Authorization shall not be affected by a change in ownership of the site. This Construction Authorization is subject to compliance with the provisions of 15A NCAC 18E, or 15A NCAC 18A .1900, as applicable, and to the conditions of this permit.

Authorized Agent's Printed Name: Ren Levocz

Expiration Date: 4-16-30

Authorized Agent's Signature: 

Date: 4-16-25

See attached site sketch

Harnett County Environmental Health

SITE SKETCH

PIN 0643-98-5289.000

Permit Number BRES2503-0076

BROWN CRISTIE WINTERS & BROWN

Applicant's Name

Subdivision/Section/Lot Number

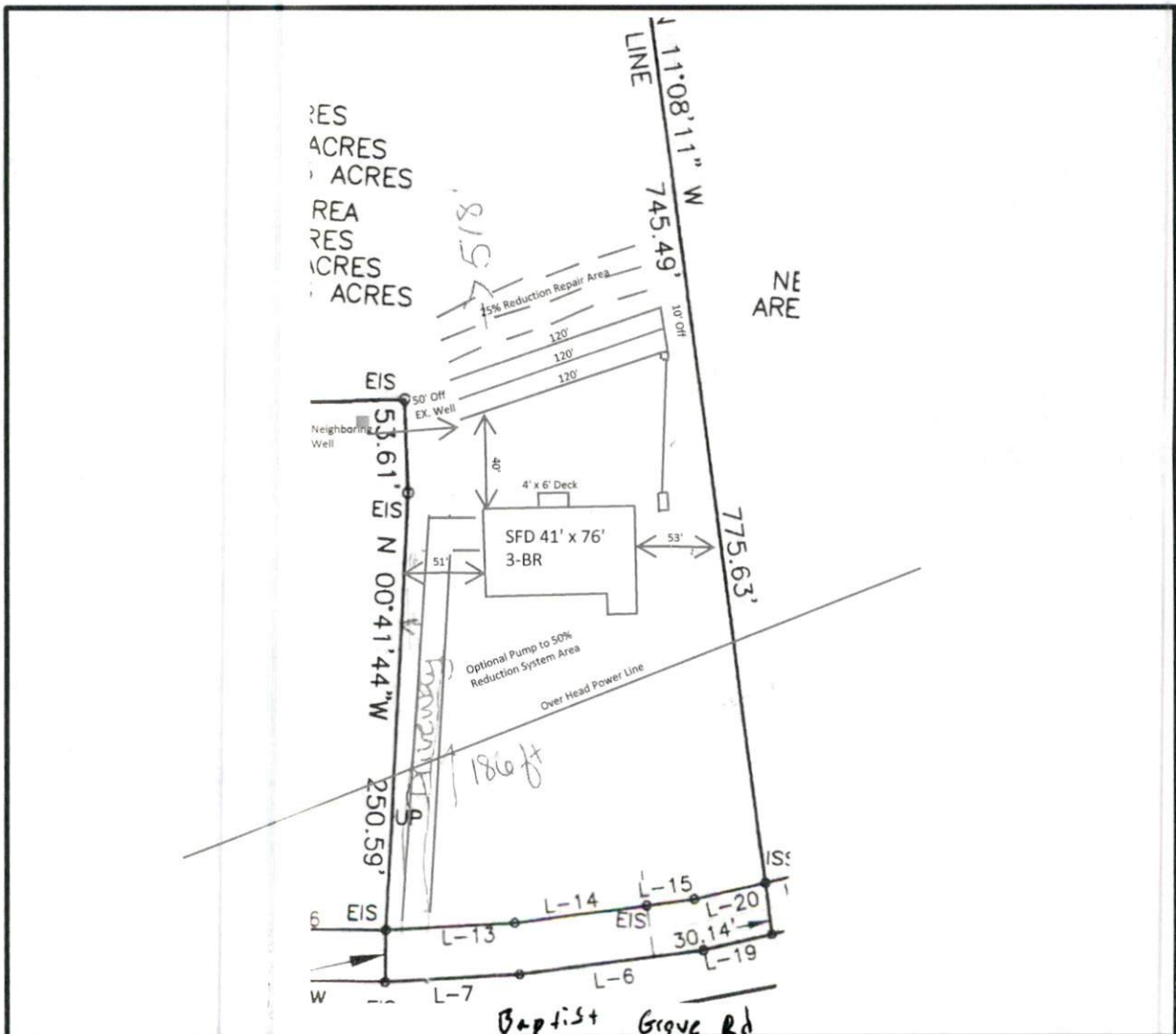
4-16-25

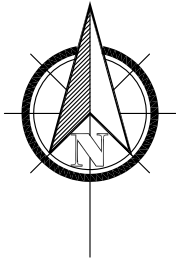
Authorized State Agent

Date

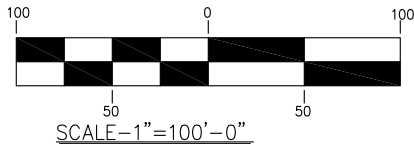
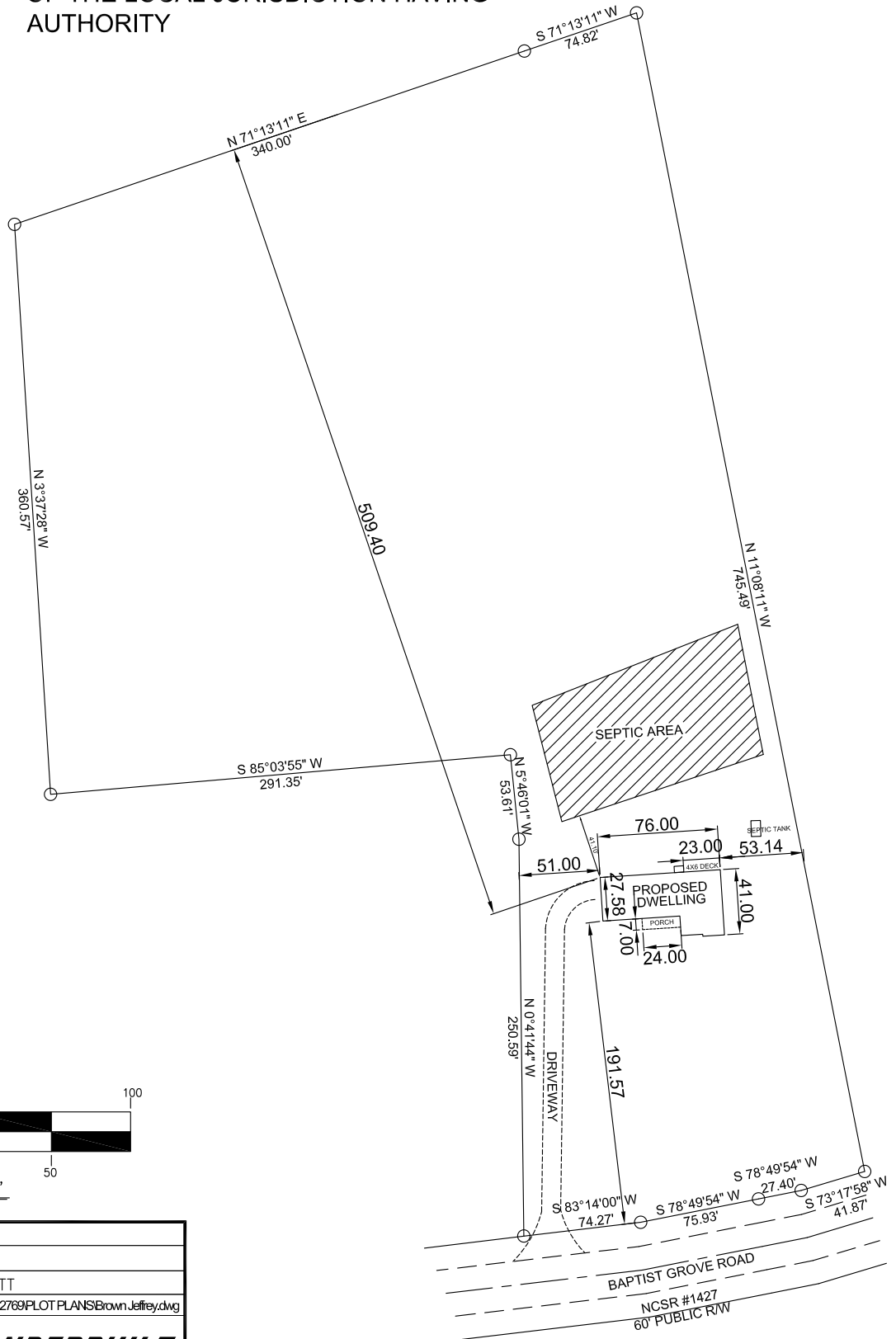
System components represent approximate contours only. The contractor must flag the system prior to beginning the installation to ensure that the proper grade is maintained.

Scale = NTS





THIS SITE PLAN IS FOR INFORMATIONAL
PURPOSES ONLY. NOT INTENDED AS A SURVEY
OR FOR RECORDATION
PLAN IS SUBJECT TO REVIEW AND APPROVAL
OF THE LOCAL JURISDICTION HAVING
AUTHORITY



DWG. TITLE: SITE PLAN
CUSTOMER NAME: BROWN JEFFREY
DATE: 06/11/2025 COUNTY: HARNETT
DRAWN BY: JAB FILE NAME: T:\Cons2769\LOT PLANS\Brown Jeffrey.dwg



HOMES BY VANDERBILT
3300 JEFFERSON DAVIS HWY.
SANFORD, NC 27332
1-919-718-2760

(1) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THE AGENT OF THE PROPERTY SHOWN AND DESCRIBED HEREON. I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT, ESTABLISH THE MINIMUM BUILDING SETBACK LINES AND DEMONSTRATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER LOTS AND EASEMENTS TO PUBLIC OR PRIVATE USE AS NOTED, ALL WITHIN THE JURISDICTION OF THE SUBDIVISION REGULATORY AGENCY OF THE LAND SHOWN HEREON IS WITHIN THE JURISDICTION OF MARKET STREET EXCEPT.

INTERVIEW WITH NTC

[illegible]

THOMAS CAVINESS TRUST
PIN #0643-87-8579.000
O.R. 2705 PG. 831

I, BENTON W. DEWAR, PROFESSIONAL LAND SURVEYOR
NO. 3040, CERTIFY:
THAT THIS PLAT IS OF A SURVEY THAT CREATES A
SUBDIVISION OF LAND, THAT IS REGULATED BY COUNTY
OR MUNICIPALITY ORDINANCE THAT REGULATES

BENTON W. DEWAR NCPLS - 3040

1. BENTON W. DEWAR CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION THAT THE RATIO OF PRECISION IS $1/1000 \pm 0.004$ THAT THE BOUNDARIES NOT SURVEYED ARE SHOWN AS BROKEN LINES PLOTTED FROM INFORMATION FOUND IN BOOK 25 OF BROKEN LINES PAGE 27. THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED. MY SIGNATURE

RECORDED IN MAP #2021-518 HARNETT COUNTY REG

I, hereby certify that the development depicted herein has been granted final approval from Harnett County E-911 Addressing, Environmental Health, Planning, Public Utilities, and the North Carolina Department of Transportation. This plot is subject to any and all conditions stated below and is eligible for recordation in the Harnett County Register of Deeds within thirty days of the date below.

E-911 Addressing - N/A
Public Utilities (Not for Construction) - water is available
NOTES - Change of use requires new building
Address of owner 11-9-2 permit
Subdivision Administrator _____ Date _____

DANIEL & JOYCE ANDREWS
P/N #0843~98-7683.000
D.B. 2785 PG. 258
TRACT #1 PARCELS A & B

REVIEW OFFICER'S CERTIFICATE
STATE OF NORTH CAROLINA
COUNTY OF Wake
I, Shirley L. Sumner
CERTIFY THAT THE MAP OR PLAN
IS AFFIXED MEETS ALL STATUTORY

REVIEW OFFICER 11-9-21

DATE

DANIEL & JOYCE ANDREWS
P/N #0843~98-7683.000
D.B. 2785 PG. 258
TRACT #1 PARCELS A & B

PIN # 0653-08-0298.000
PID # 080653 0126
ORIGINAL AREA
18.109 ACRES TOTAL
17.437 ACRES TO R/W

RESIDUAL
12.819 ACRES TO R/W
4.208 ACRES TO LOT 1
0.410 ACRES TO EXISTING LOT
@ PIN # 0643-97-5956.000

NOTES

AREA BY COORDINATES
AND NO CCS CONTROL FOUND WITHIN 200'

PROPERTY SUBJECT TO BOTH ABOVE AND/OR
BELOW GROUND UTILITIES AND/OR EASEMENTS.

THIS SURVEY DID NOT HAVE THE BENEFIT OF A
TITLE REPORT AND IS SUBJECT TO MATTERS THAT

THIS SURVEY DID NOT HAVE THE BENEFIT OF A DETAILED LITTELL REPORT AND IS SUBJECT TO MATTERS IT MAY DISCLOSE

IRON STAKE SET AT ALL NEW LOT CORNERS

WATERSHED DISTRICT N-P CAPE FEAR RIVER ULLINOTON

THIS PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA PER

"REGISTER OF DEEDS
 Harnett County, NC
 21 NOV 09 01:24:02 PM
 BK:2021 00:018-510
 FEE:\$21.00
 STAMPED 11/20/2009

Certificate of Registration by Register of Deeds
NORTH CAROLINA HARNETT COUNTY
Filed for registration on the 9th day of
1-25 (m/60) and duly recorded in

the Map Book 2021 at page 518
Matthew S. Willis

By: J. M. D. Lester,
Deputy
Sgt.

BENTON W. DEWAR AND ASSOCIATES
PROFESSIONAL LAND SURVEYOR
5920 HONEYCUTT ROAD
HOLLY SPRINGS, NC 27540
PH. # (919) 552-9813
FAX # (919) 557-2255

RECOMBINATION SURVEY AND
MINOR SUBMISSION FOR

NANCY WINTERS

DENIS WINTERS

1000 BAPTIST GROVE RD - FLUQUAY VAREINA, NC
DEED BOOK 856 PAGE 466
PIN #0643-97-5956.000
HECTOR'S CREEK TOWNSHIP
ARNETT COUNTY - NORTH CAROLINA

HARNETT COUNTY REG.