

PIN: 0693-05-9097.000  
REFERENCE: DB. 4245 PGS. 2415  
TOTAL LOT AREA = 1.04 AC = 45,336 SF  
MAX. IMPERVIOUS = 5,500 SF  
HOUSE = 2,945 SF  
PORCH = 135 SF  
SIDEWALK 103 SF  
DRIVEWAY = 592 SF  
SCREENED PORCH = 288 SF  
AC PAD = 9 SF  
EXISTING IMPERVIOUS = 4,092 SF  
PERCENT IMPERVIOUS = 9.03%

Proposed  
Pool Patio 1150 SF  
Proposed  
Total = 5242 SF

#### BUILDING SETBACKS

FRONT - 35'  
REAR - 25'  
SIDE - 10'  
SIDE CORNER - 20'

UNDER THE SUPERVISION OF

PURPOSES ONLY.

VIDENCE, EXISTING DEEDS  
TO THE SURVEYOR BY THE

. BEARINGS ARE NORTH  
VISE SHOWN.

ED BY A LOCAL GOVERNMENT  
OPMENT REGULATIONS.

BUFFERS, SETBACKS AND

ETLANDS, FLOOD ZONES OR  
N, IF ANY, ARE SCALED FROM

ARCH FOR EASEMENTS OF  
HIP TITLE EVIDENCE OR ANY  
MAY DISCLOSE.

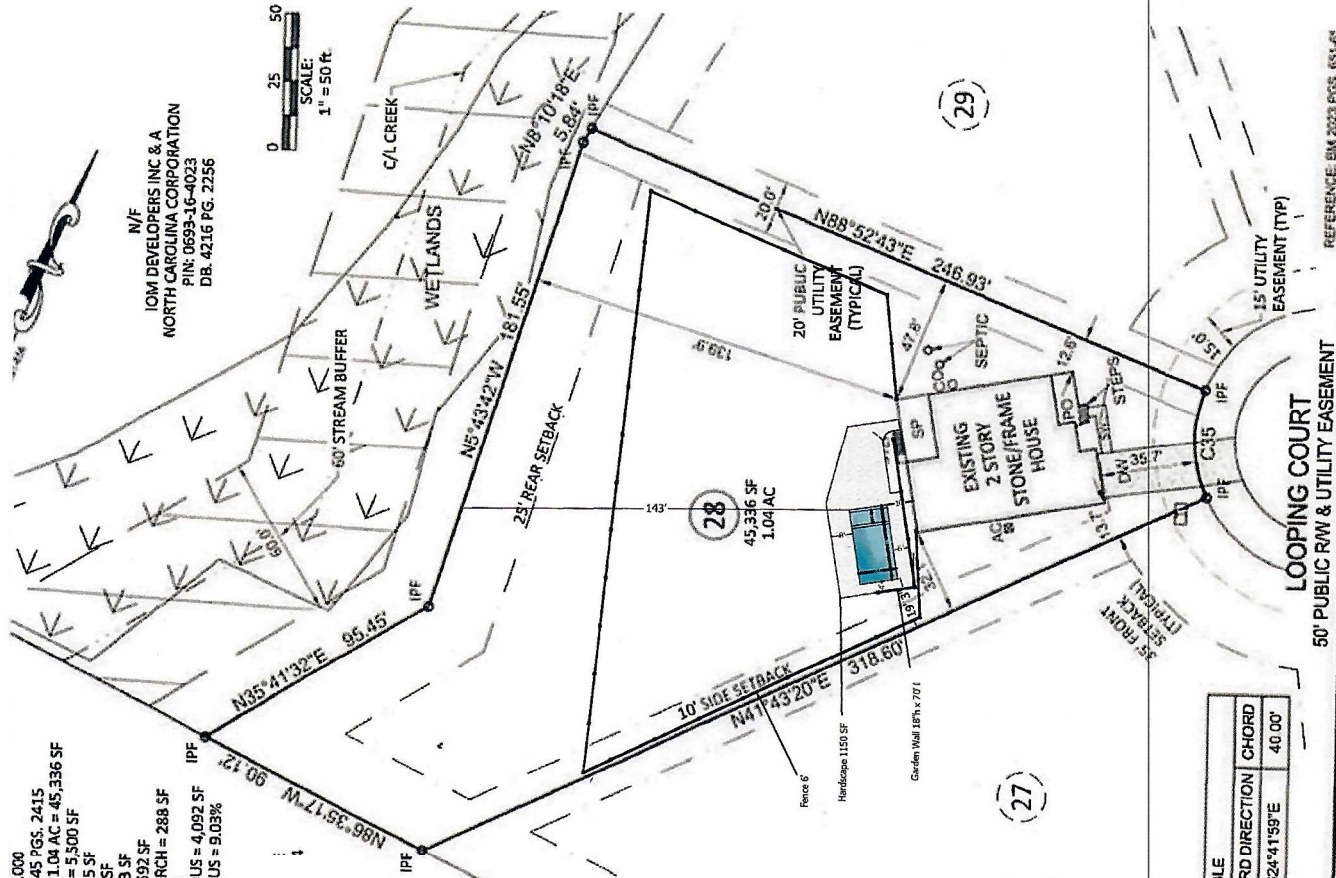
| CURVE TABLE |        |        |             |
|-------------|--------|--------|-------------|
| AVE         | RADIUS | LENGTH | CHORD       |
| R5          | 50.00' | 41.15' | 524'11.99"E |
|             |        |        | 40.00'      |

#### LOOPING COURT

50' PUBLIC RW & UTILITY EASEMENT

REFERENCE: BM 4223 PGS. 651-62

Scale: 1/50" = 1 ft



N/F  
IOM DEVELOPERS INC & A  
NORTH CAROLINA CORPORATION  
PIN: 0693-16-4023  
DB. 4216 PG. 2256

SCALE:  
1" = 50 ft