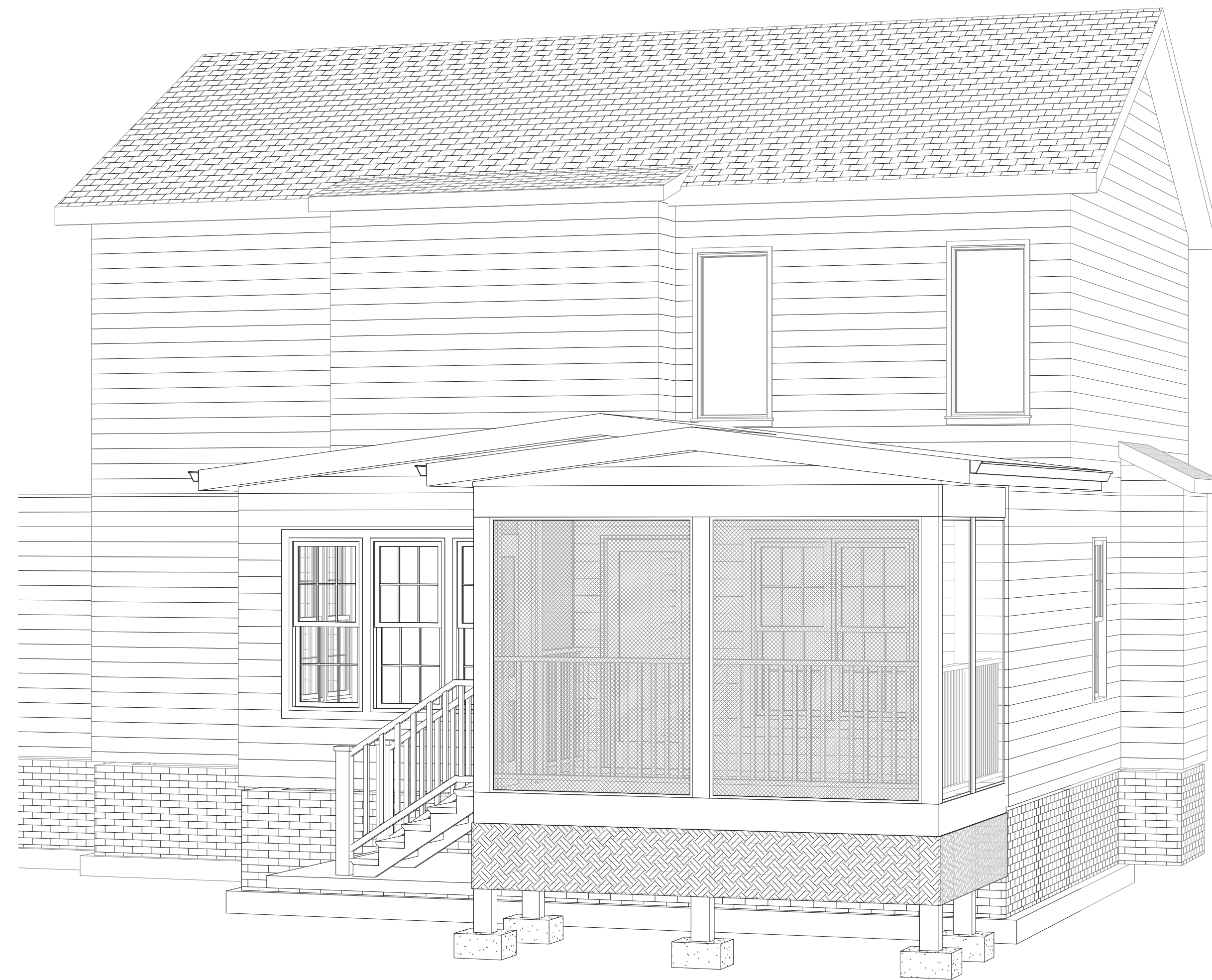


PROPOSED ADDITION FOR MORRIS-EYE RESIDENCE

369 KINSMAN CT.
FUQUAY VARINA, NC 27526



INDEX OF DRAWINGS

SHEET NUMBER	SHEET NAME	ISSUE DATE	REVISION
C0	Cover Sheet	08/28/2024	
C1	Rough Site Plan	08/28/2024	
A1	Foundation Plan, Framing Plan	08/28/2024	
A2	Floor Plan, Demo Plan, Wall Section	08/28/2024	
A3	Elevations, Roof Plan	08/28/2024	

AREA TABULATION

FIRST FLOOR	
HEATED -	216 SF
UNHEATED -	115 SF
SECOND FLOOR	
HEATED -	N/A
GARAGE	
UNHEATED -	N/A
SUITE	
HEATED -	N/A
MEAN ROOF HEIGHT	
HEIGHT -	19' - 11"
TOTAL	
NEW ADDITION HEATED -	216 SQUARE FEET
NEW ADDITION UNHEATED -	115 SQUARE FEET
* AREA IS MEASURED TO INSIDE OF STUDS.	

GENERAL NOTES

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH 2018 NC IRC CODE.
- THE DOCUMENTS REFLECT CONDITIONS REASONABLY INTERPRETED FROM THE EXISTING VISIBLE CONDITIONS, OR FROM DRAWINGS, OR INFORMATION FURNISHED BY THE OWNER. CONTRACTOR SHALL VISIT THE SITE AND EXAMINE CONDITIONS OF THE PREMISES AND THE CHARACTER AND EXTENT OF WORK REQUIRED PRIOR TO CONSTRUCTION.
- THE USE OF THE WORDS "PROVIDE" OR "PROVIDED" IN CONNECTION WITH ANY ITEM SPECIFIED, IS INTENDED TO MEAN, UNLESS OTHERWISE NOTED, THAT SUCH SHALL BE FURNISHED AND INSTALLED, AND CONNECTED WHERE SO REQ'D BY GC.
- ALL MATERIALS AND INFORMATION NOTED ON ANY OF THE SECTIONS OR DETAILS APPLY TO ALL OTHER SECTIONS AND DETAILS WHERE SIMILAR CONDITIONS OCCUR WHETHER NOTED OR NOT.
- ALL INTERIOR DIMENSIONS ARE FROM WALL STUD TO WALL STUD & TO CENTERLINE OF OPENING, U.N.O. ALL DIMENSIONS REFERENCED HEREIN ARE IMPERIAL STANDARD, U.N.O.
- ALL EXTERIOR DIMENSIONS ARE FROM FACE OF STUD, FACE OF CONCRETE, FACE OF CMU, OR TO CENTERLINE OF OPENING, U.N.O.
- EXTERIOR DOORS AND WINDOWS ARE DIMENSIONED TO CENTERLINE.
- WALL ANGLES ARE PARALLEL, PERPENDICULAR OR 45 DEGREE ANGLES TO BUILDING PERIMETER UNLESS NOTED OTHERWISE.
- FOOTINGS, FOUNDATION WALLS, SUPPORT COLUMNS AND/OR PIERS ARE TO BE CONSTRUCTED TO LOCAL CODE AND SOIL REQUIREMENTS. CONTRACTOR TO PROVIDE STRUCTURAL AND SOIL INFORMATION IF REQUIRED BY LOCAL CODES.
- FOOTINGS, FOUNDATION WALLS, SUPPORT COLUMNS AND/OR PIERS SHALL BE STEPPED IN ACCORDANCE WITH SITE SPECIFIC CONDITIONS AND LOCAL CODE REQUIREMENTS.
- CONTRACTOR TO VERIFY ALL DIMENSIONS AND LOADS PRIOR TO CONSTRUCTION.
- PENETRATIONS THROUGH THE FOUNDATION OR PERIMETER FLOOR FRAMING OF THE BUILDING, FOR INSTALLATIONS OF PIPES, VENTS, ETC. SHALL BE IN ACCORDANCE WITH LOCAL REQUIREMENTS.
- DO NOT SCALE DIMENSIONS FROM PRINTS. USE DIMENSIONS GIVEN OR CONSULT DESIGNER FOR FURTHER CLARIFICATION.
- ALL POSTS AND EXTERIOR FRAMING TO BE MINIMUM #2 GRADE, PRESSURE TREATED WOOD.
- EXTERIOR WALLS TO BE BRACED PER TABLE R602.10.1 OF THE NC IRC BUILDING CODE.
- ALL NOMINAL LUMBER TO BE #2 SOUTHERN YELLOW PINE OR EQUIVALENT AND ALL LUMBER IN CONTACT WITH GRADE, EXPOSED, OR CONCRETE SLAB TO BE PRESSURE TREATED.
- PROVIDE SUPPLEMENTAL FRAMING, METAL BLOCKING / STRAPPING AND BRACING AS REQ'D FOR SUPPORT OF FIXTURES, EQUIPMENT, TOILET ACCESSORIES, FURNISHINGS, FURNITURE / EQUIPMENT, AND SIMILAR CONSTRUCTION.

OWNER:
TORI EYE & SARAH MORRIS

Project Name
Project Address

CAROLINA EAST DESIGNS

1602 TOMMY'S ROAD
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REV DATE DESCRIPTION

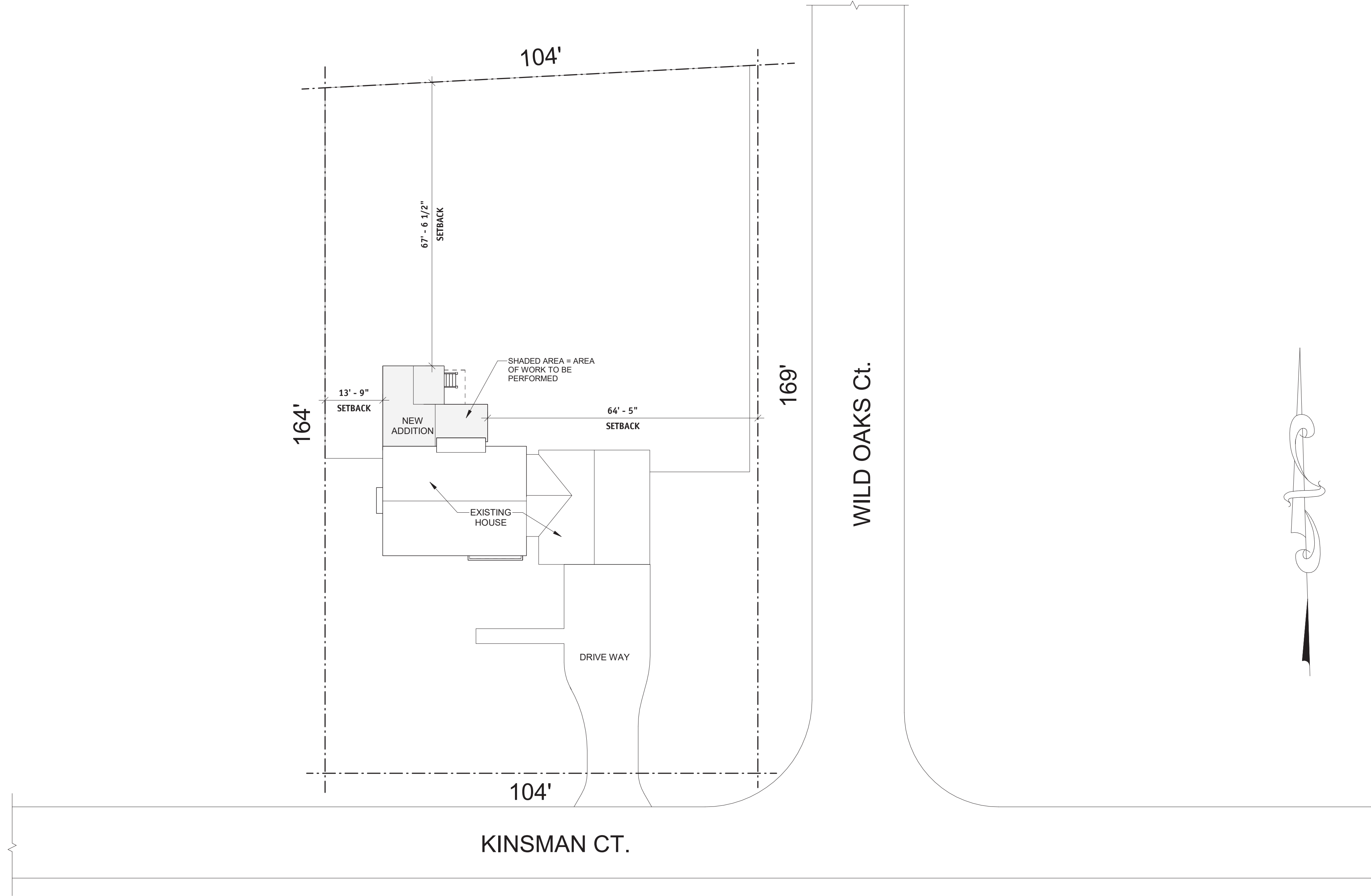
Rev

Title Sheet
Cover Sheet

Project:
R.B. ROUSE, LLC
P.O. BOX 1
SEVEN SPRINGS, NC 28578
919-920-2224

Date: 08/28/2024
Scale: AS NOTED
Project Number:

Sheet: **C0**



1 Plot Plan
Scale 1/16" = 1'-0"

OWNER:
TORI EYE & SARAH MORRIS

Project Name
Project Address

CAROLINA EAST DESIGNS

1602 TOMMY'S ROAD
GOLDSBORO, NC 27534
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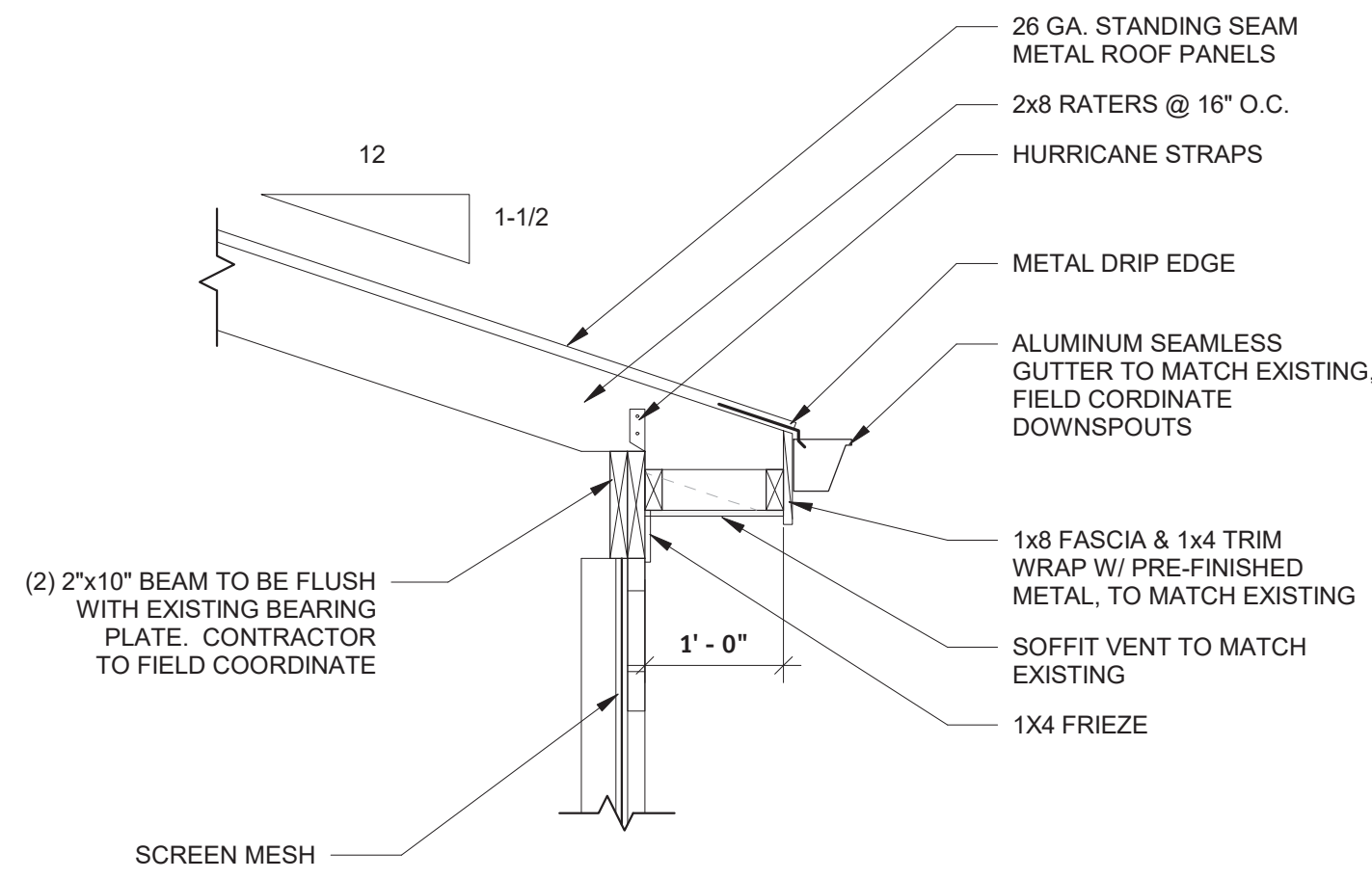
REV	DATE	DESCRIPTION

Title Sheet
Rough Site Plan

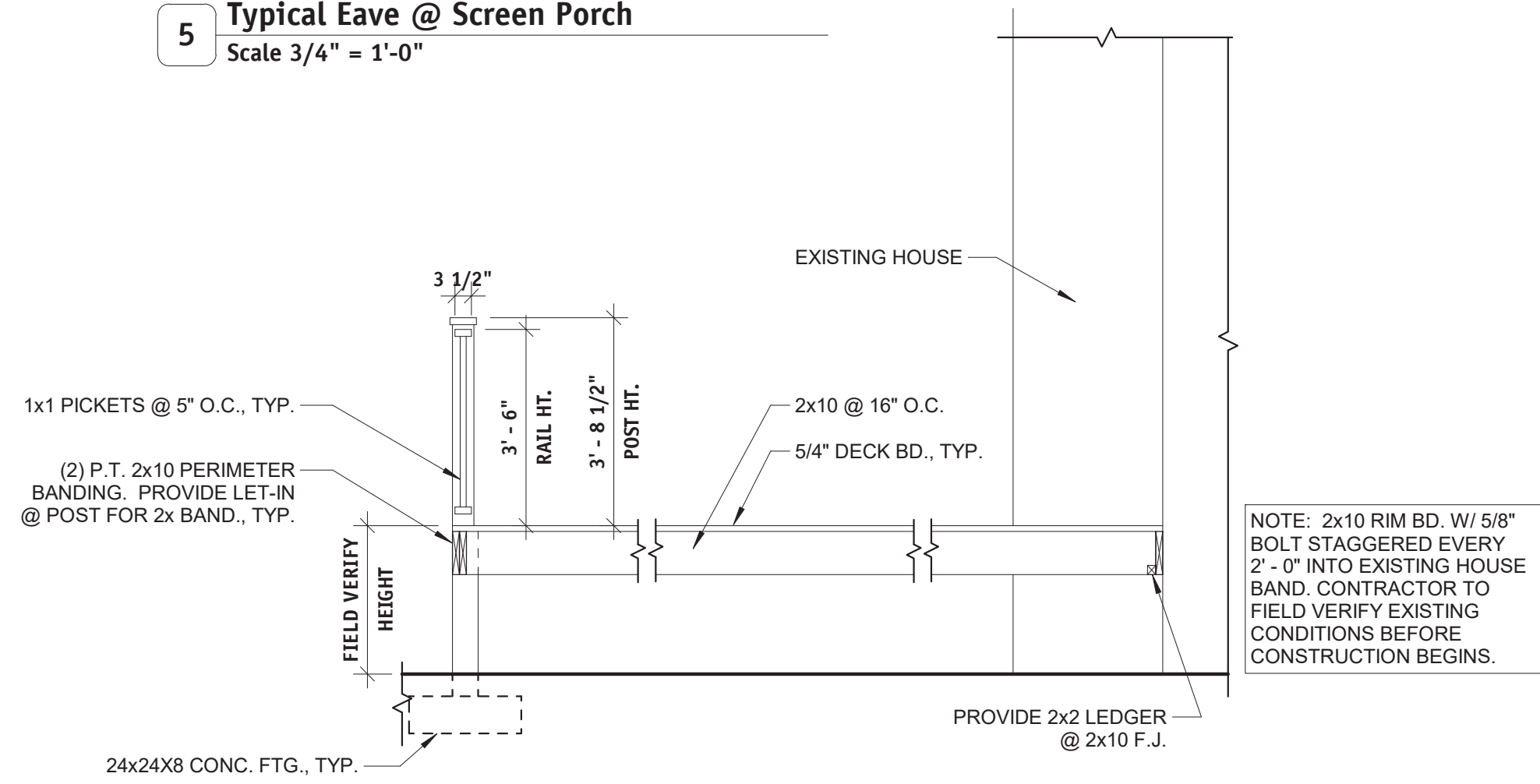
Project:
R.B. ROUSE, LLC
P.O. BOX 1
SEVEN SPRINGS, NC 28578
919-920-2224

Date: 08/28/2024
Scale: AS NOTED
Project Number:
Sheet:

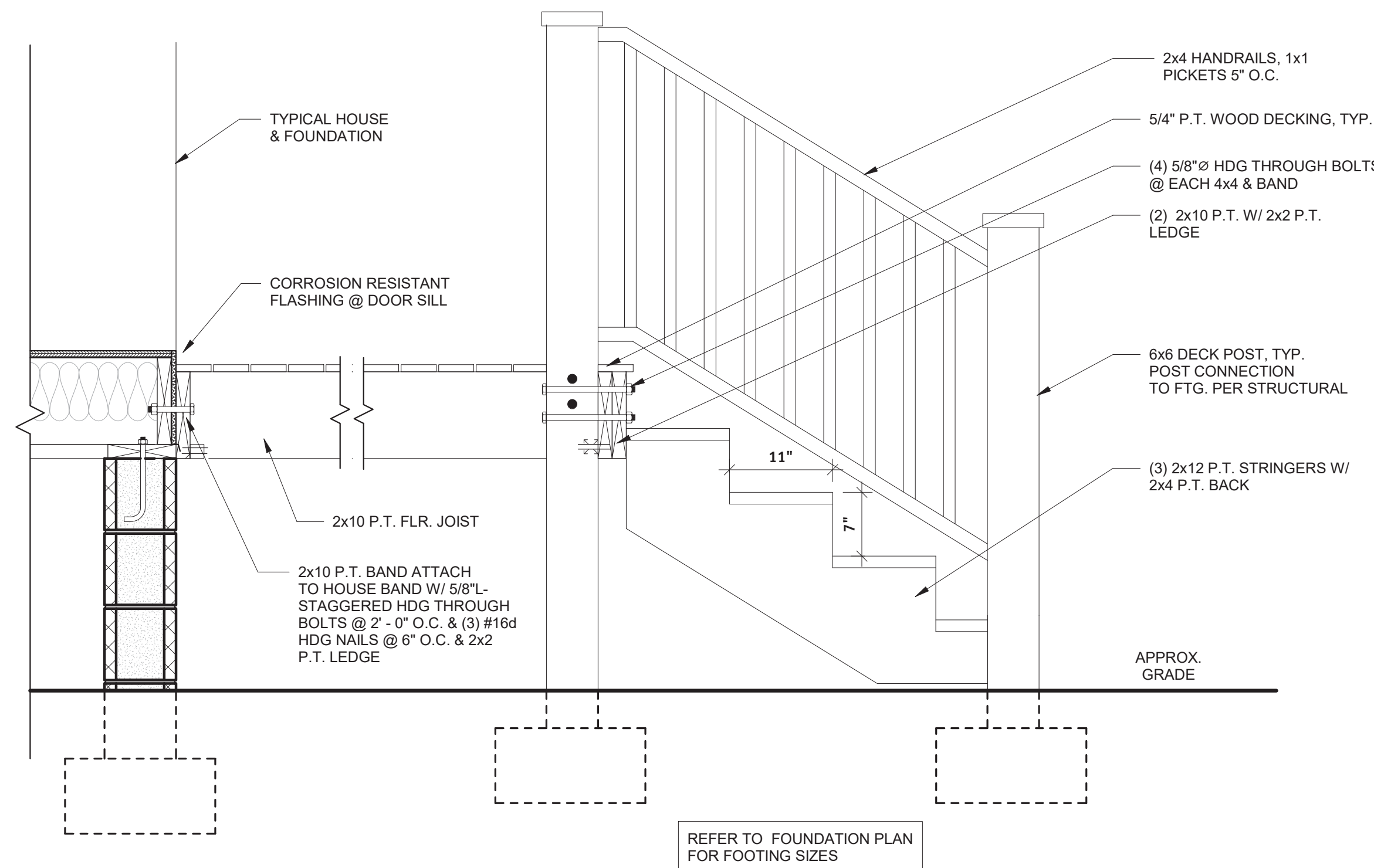
C1



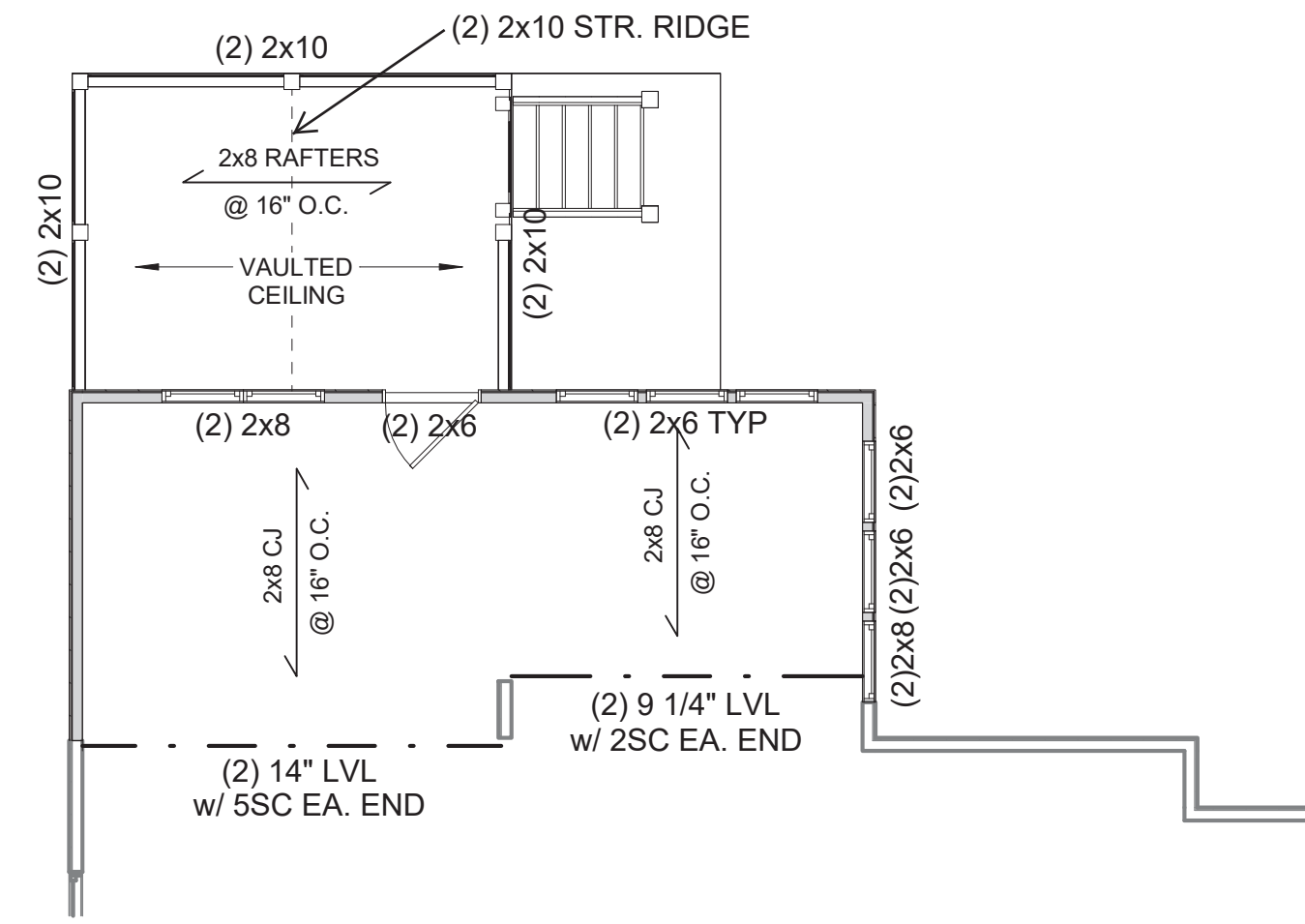
5 Typical Eave @ Screen Porch
 Scale 3/4" = 1'-0"



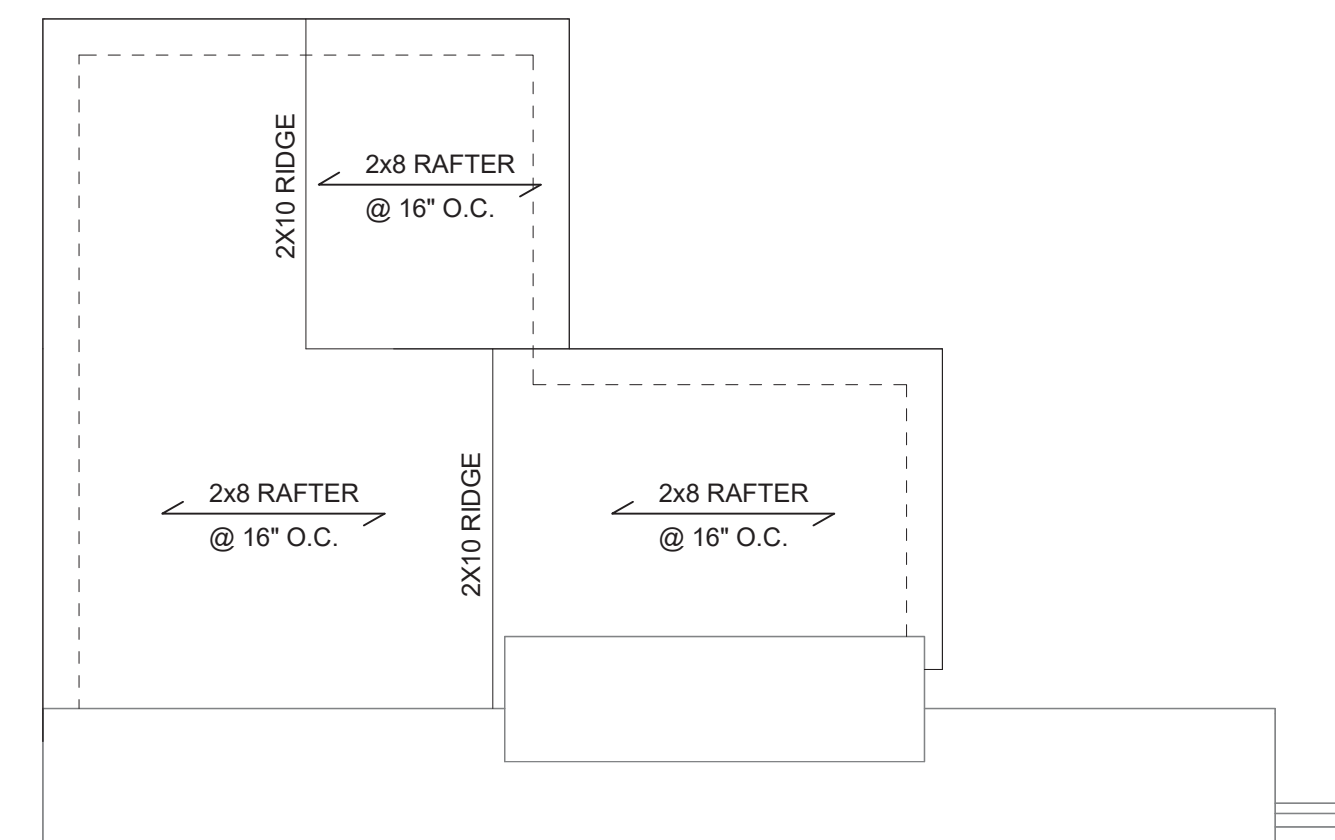
6 Typical Porch Floor Section
 Scale 3/8" = 1'-0"



7 Typical Stair To Deck Connection
 Scale 1" = 1'-0"



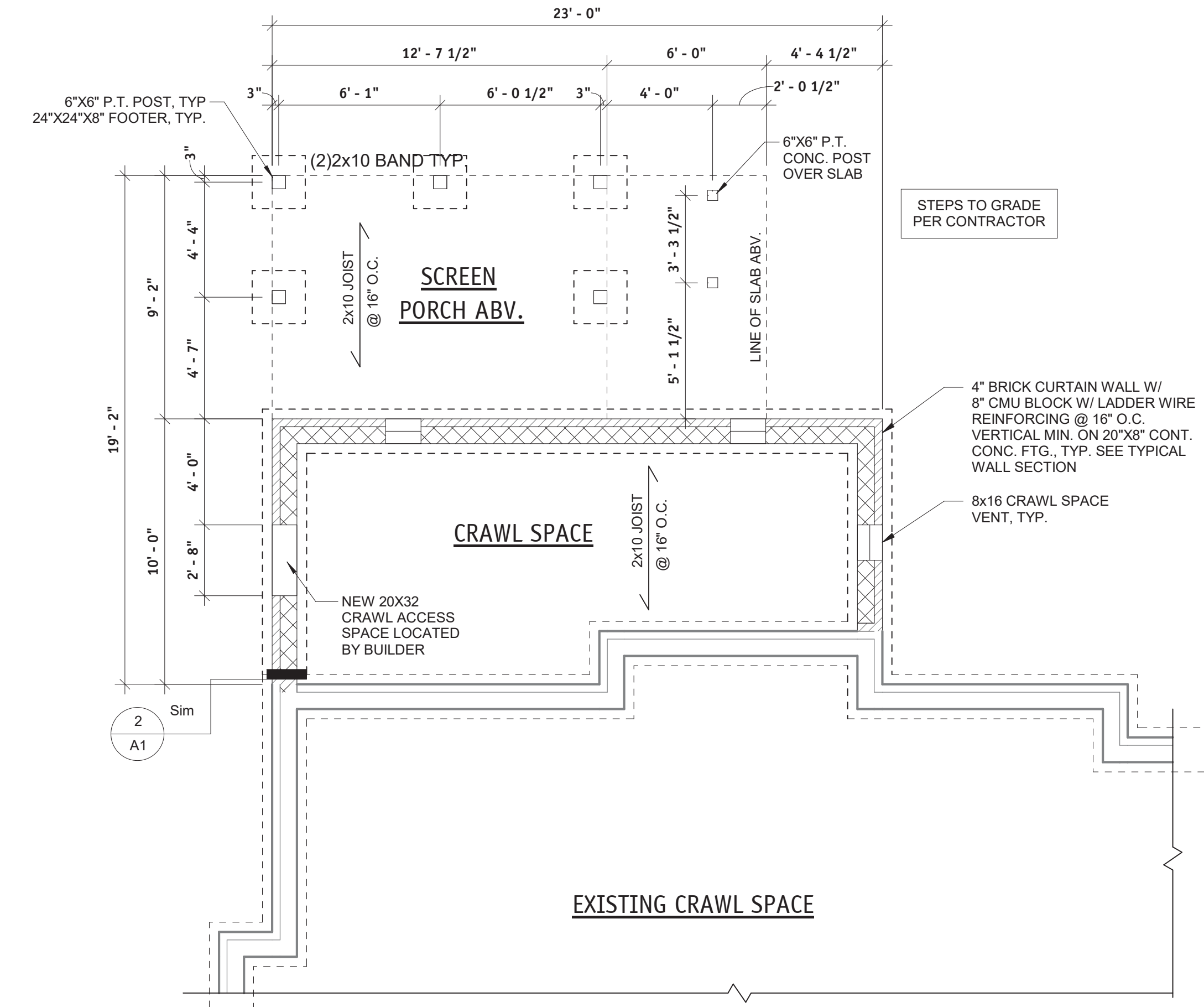
4 First Floor Framing Plan
 Scale 3/16" = 1'-0"



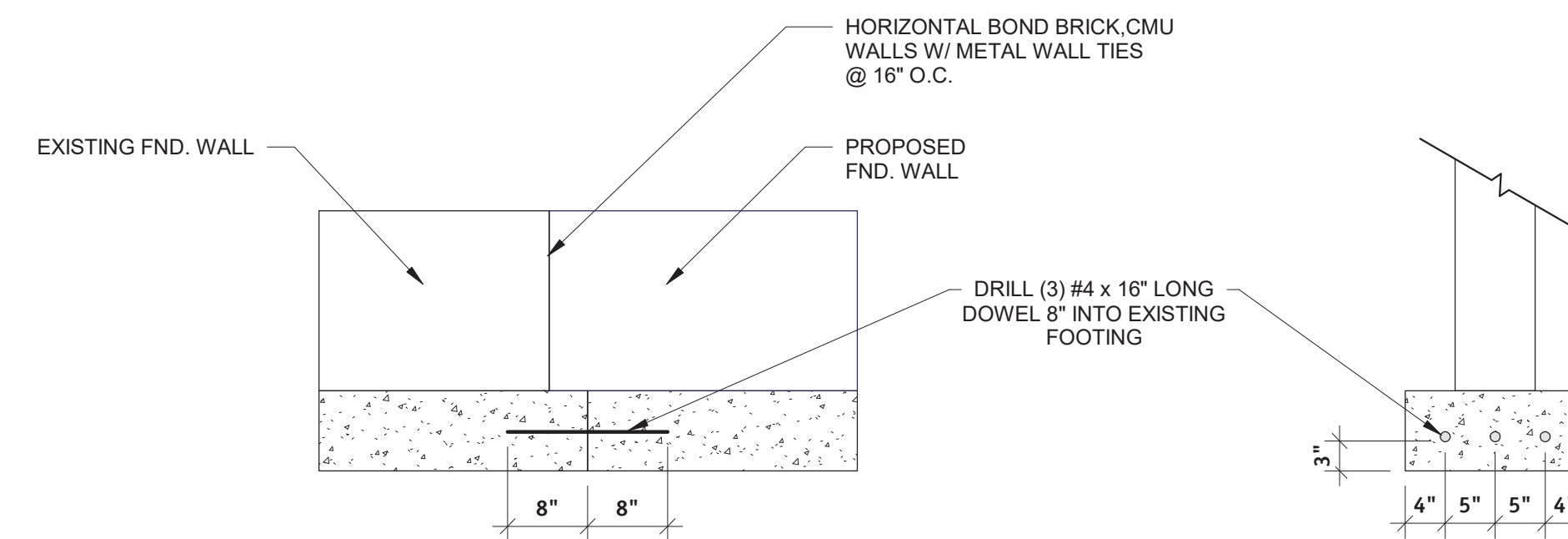
3 Roof Framing Plan
 Scale 3/16" = 1'-0"

NEW ADDITION FOUNDATION VENT CALCULATION

SQ. FT. OF CRAWL SPACE =	192	SQ. FT.
N/A	= SQ. FT. OF VENT REQ'D W/ USE OF VAPOR BARRIER OVER 75% OF CRAWL SPACE	= N/A
192 / 150	= SQ. FT. OF VENT REQ'D W/O USE OF VAPOR BARRIER	= 1.28
1.28 / .68	= NO. OF VENTS REQ'D MIN. =	2
	NUMBER OF VENTS PROVIDED =	3



1 Foundation Plan
 Scale 1/4" = 1'-0"



2 Detail - Typical Foundation Connection
 Scale 3/4" = 1'-0"



Structural Engineering by:
Mark E. Jones, PE
 6425 Glen Dean Court
 Raleigh, NC 27603
 Phone: (919) 395-5618

*Engineers seal applies only to structural components on this document. Seal does not include construction means, methods, techniques, sequences, procures or safety precautions.
 *Any deviations or discrepancies on plans are to be brought to the immediate attention of Mark E. Jones, PE. Failure to do so will void Mark E. Jones, PE liability.
 Structural analysis based on 2018 North Carolina Residential Code.

Project No. 24-179

OWNER:
 TORI EYE & SARAH MORRIS
 Project Name
 Project Address

CAROLINA EAST DESIGNS
 1602 TOMMY'S ROAD
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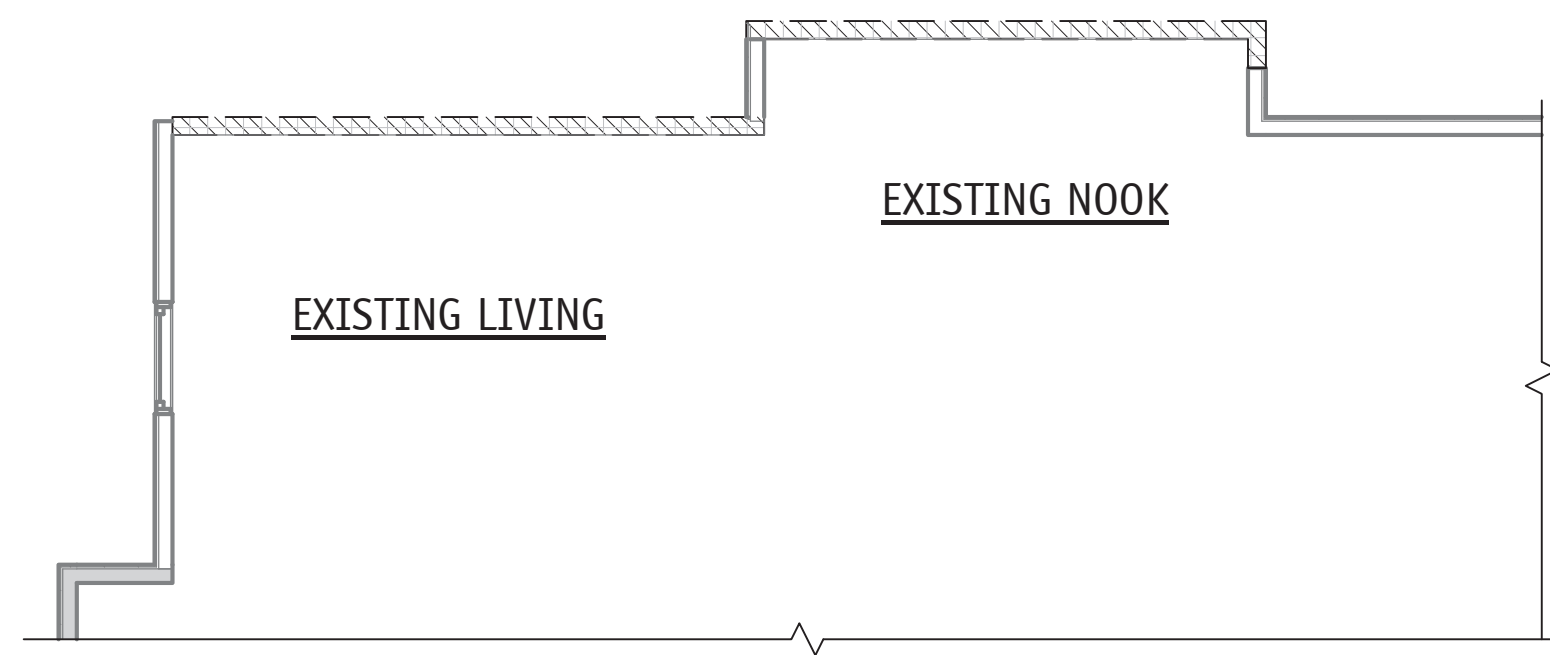


REV	DATE	DESCRIPTION

Foundation Plan, Framing Plan
 Project:
R.B. ROUSE, LLC
 P.O. BOX 1
 SEVEN SPRINGS, NC 28578
 919-920-2224

Date: 08/28/2024
 Scale: AS NOTED
 Project Number:
 Sheet:

A1



3 Demolition Plan
Scale 1/4" = 1'-0"

DEMOLITION NOTES:

- CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS BEFORE CONSTRUCTION BEGINS. CONTRACTOR SHALL CHECK AND IDENTIFY ALL EXISTING WATER, SANITARY AND ELECTRIC LINES WHICH ARE TO REMAIN AND BE PROTECTED FROM DAMAGE DURING DEMOLITION AND ALTERATION OF WORK.
- CONTRACTOR SHALL EXERCISE EXTREME CARE WHEN PENETRATING EXISTING WALLS OR FLOOR/CEILING SLABS SO STRUCTURAL INTEGRITY OF SUCH ELEMENTS IS NOT DEGRADED.
- CONTRACTOR SHALL RESTORE EXISTING SURFACES SCHEDULED TO REMAIN THAT ARE AFFECTED BY SCOPE OF WORK.
- PATCH AND REPAIR ALL EXISTING SURFACES DAMAGED BY DEMOLITION AND/OR INSTALLATION OF NEW WORK AND/OR UTILITIES, AS REQUIRED TO MATCH ADJACENT SURFACES AND/OR TO RECEIVE NEW SCHEDULED FINISHES.
- DEMOLISH AND REMOVE EXISTING CONDITIONS AS SHOWN BY DASHED LINES OR AS NOTED, U.N.O. CONTRACTOR SHALL CHECK AND VERIFY ALL NOTES AND DIMENSIONS BEFORE PROCEEDING WITH WORK.
- CONTRACTOR TO BUILD EXISTING WALL UP TO EXISTING TOP PLATE HEIGHT. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS BEFORE CONSTRUCTION BEGINS. CONTRACTOR TO STRIP EXISTING EXTERIOR SIDING OF EXISTING WALL AND PREP FOR NEW EXTERIOR SIDING.
- ONLY ITEMS DEMOLISHED IN NON-SHADED AREA ARE ITEMS THAT ARE NOTED TO BE DEMOLISHED OR SHOW A DEMOLITION SYMBOL. EVERYTHING ELSE IN NON-SHADED AREA SHALL REMAIN.

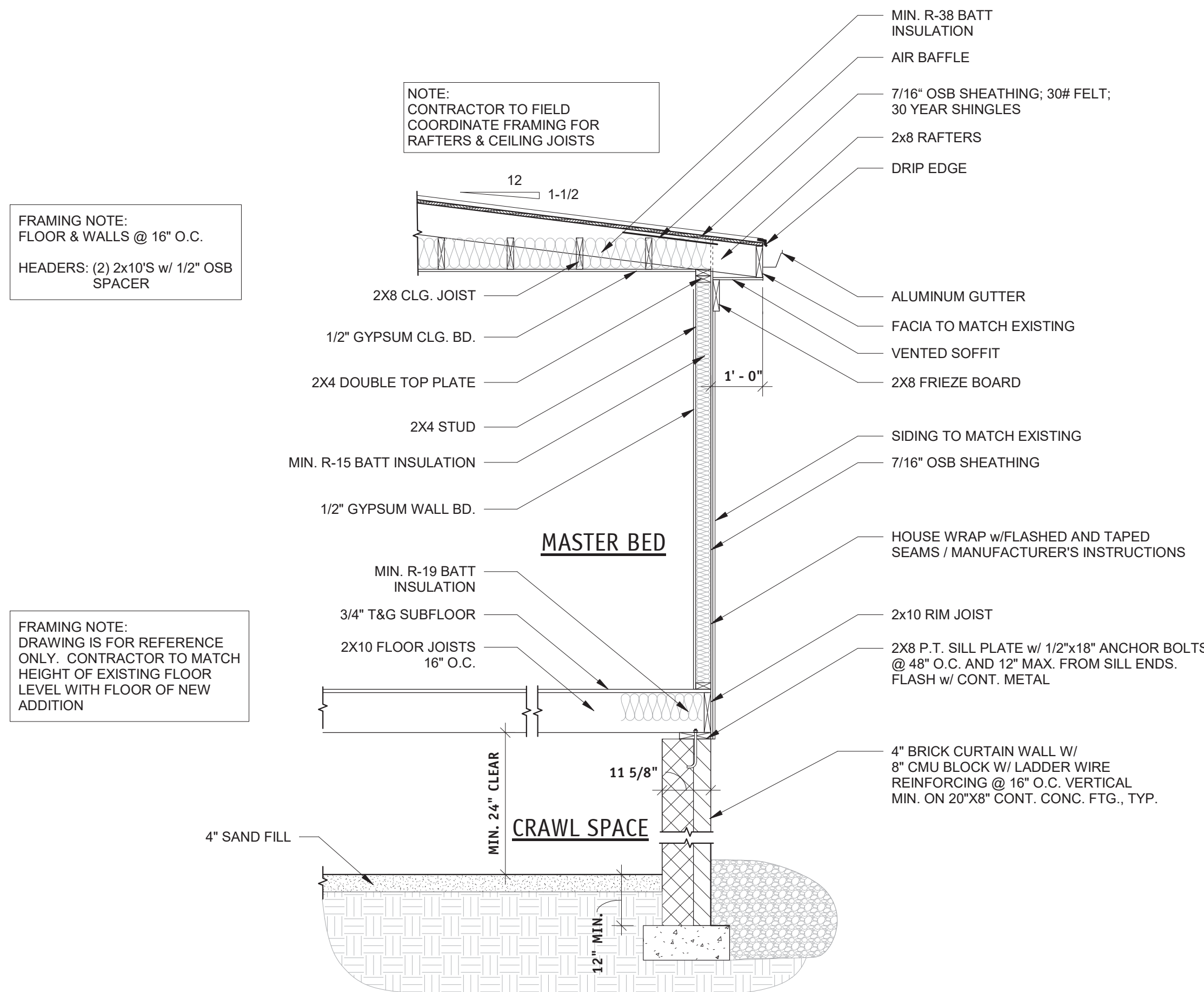
DEMOLITION LEGEND	
SYMBOL	DESCRIPTION
	EXISTING WALLS TO REMAIN
	ITEM TO BE DEMOLISHED
	ITEM TO BE DEMOLISHED

NAME	AREA	HVAC TOTALS
New Addition - First Floor HVAC	216 SF	216 SF
Screen Porch	115 SF	
TOTAL		216 SF

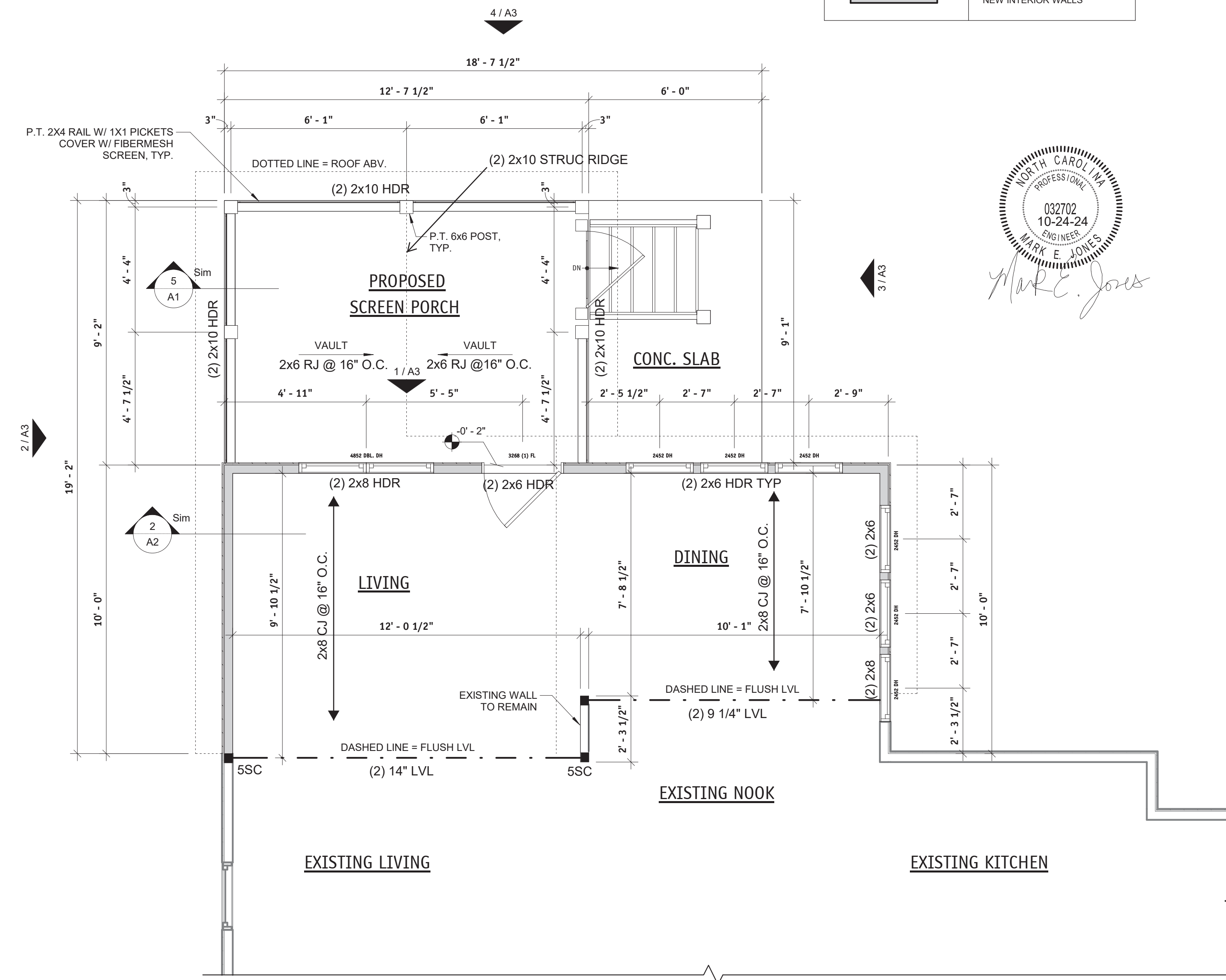
FLOOR PLAN NOTES

- ALL INTERIOR DIMENSIONS ARE FROM WALL STUD TO WALL STUD & TO CENTERLINE OF OPENING, U.N.O. ALL DIMENSIONS REFERENCED HEREIN ARE IMPERIAL STANDARD, U.N.O.
- ALL EXTERIOR DIMENSIONS ARE FROM FACE OF STUD, FACE OF CONCRETE, FACE OF CMU, OR TO CENTERLINE OF OPENING, U.N.O.
- EXTERIOR DOORS AND WINDOWS ARE DIMENSIONED TO CENTERLINE.
- WALL ANGLES ARE PARALLEL, PERPENDICULAR OR 45 DEGREE ANGLES TO BUILDING PERIMETER UNLESS NOTED OTHERWISE.
- DO NOT SCALE DIMENSIONS FROM PRINTS. USE DIMENSIONS GIVEN OR CONSULT DESIGNER FOR FURTHER CLARIFICATION.
- ALL INTERIOR WALLS AT BATHROOMS ARE TO BE INSULATED WITH SOUND BATT INSULATION.
- MIN. R-13 BATT INSULATION TO BE PROVIDED TO ALL EXTERIOR WALLS U.N.O. MIN. R-19 INSULATION TO BE PROVIDED AT 6" EXTERIOR WALLS U.N.O.
- PROVIDE WATER RESISTANT GYPSUM WALL BOARD AT ALL WET WALLS INCLUDING, BUT NOT LIMITED TO WALLS AT BATHROOMS AND KITCHEN. PROVIDE SUPPLEMENTAL FRAMING, METAL BLOCKING / STRAPPING AND BRACING AS REQ'D FOR SUPPORT OF FIXTURES, EQUIPMENT, TOILET ACCESSORIES, FURNISHINGS, FURNITURE / EQUIPMENT, AND SIMILAR CONSTRUCTION.
- ALL DOORS TO BE POSITIONED WITH MIN. 2" GAP BETWEEN DOOR FRAME AND ADJACENT WALL UNLESS DIMENSIONED OTHERWISE.

FLOOR PLAN LEGEND	
SYMBOL	DESCRIPTION
	EXISTING WALLS
	NEW EXTERIOR WALLS
	NEW INTERIOR WALLS



2 Typical Wall Section
Scale 1/2" = 1'-0"



1 First Floor Plan
Scale 3/8" = 1'-0"



OWNER:
TORI EYE & SARAH MORRIS

Project Name
Project Address

CAROLINA EAST DESIGNS
1602 TOMMY'S ROAD
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Phone: (919)-288-9012
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REV	DATE	DESCRIPTION

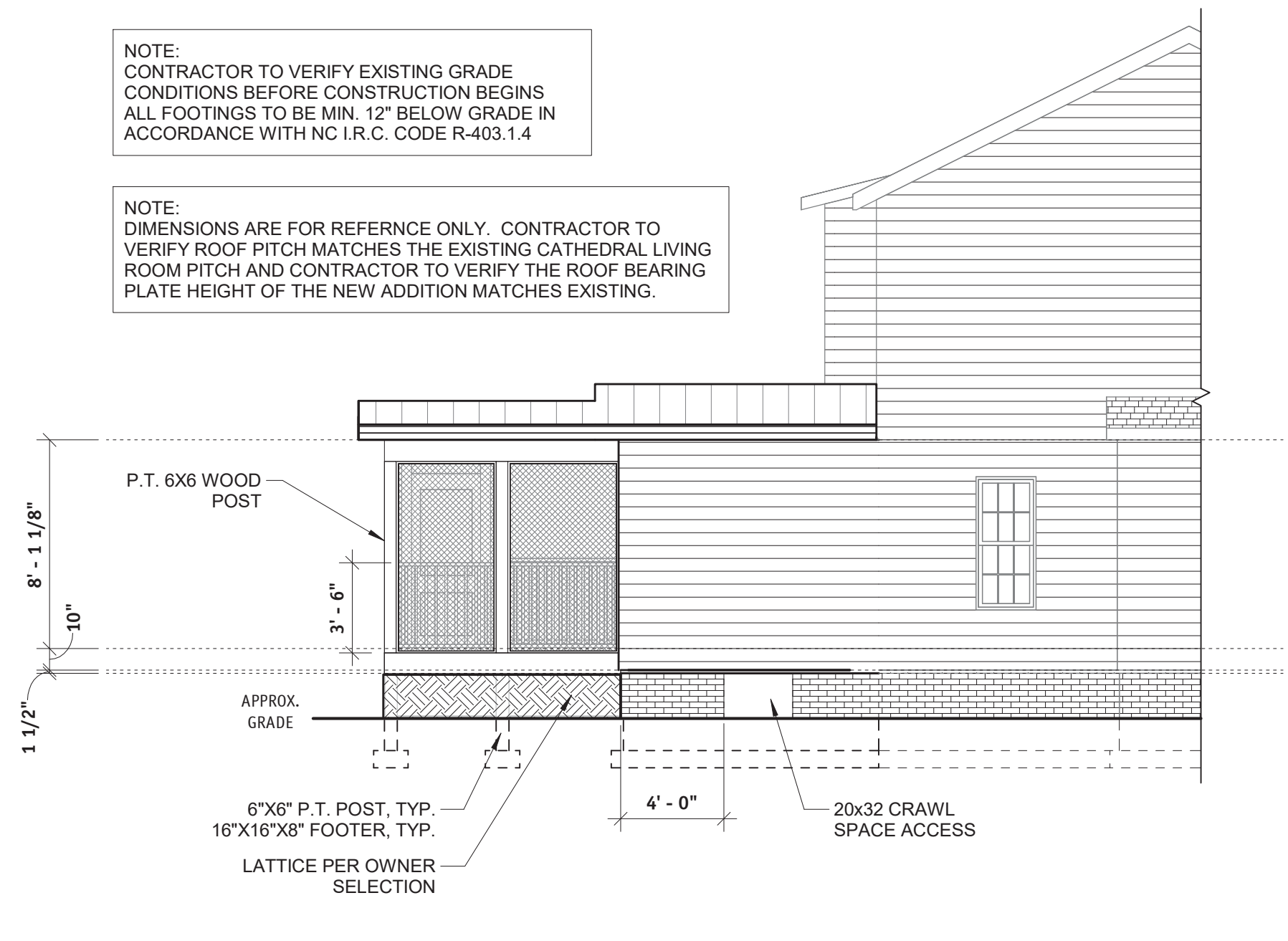
Title Sheet: **Floor Plan, Demo Plan, Wall Section**

Project:
R.B. ROUSE, LLC
P.O. BOX 1
SEVEN SPRINGS, NC 28578
919-920-2224

Date: 08/28/2024
Scale: AS NOTED
Project Number:
Sheet: **A2**

NOTE:
CONTRACTOR TO VERIFY EXISTING GRADE
CONDITIONS BEFORE CONSTRUCTION BEGINS
ALL FOOTINGS TO BE MIN. 12" BELOW GRADE IN
ACCORDANCE WITH NC I.R.C. CODE R-403.1.4

NOTE:
DIMENSIONS ARE FOR REFERENCE ONLY. CONTRACTOR TO
VERIFY ROOF PITCH MATCHES THE EXISTING CATHEDRAL LIVING
ROOM PITCH AND CONTRACTOR TO VERIFY THE ROOF BEARING
PLATE HEIGHT OF THE NEW ADDITION MATCHES EXISTING.



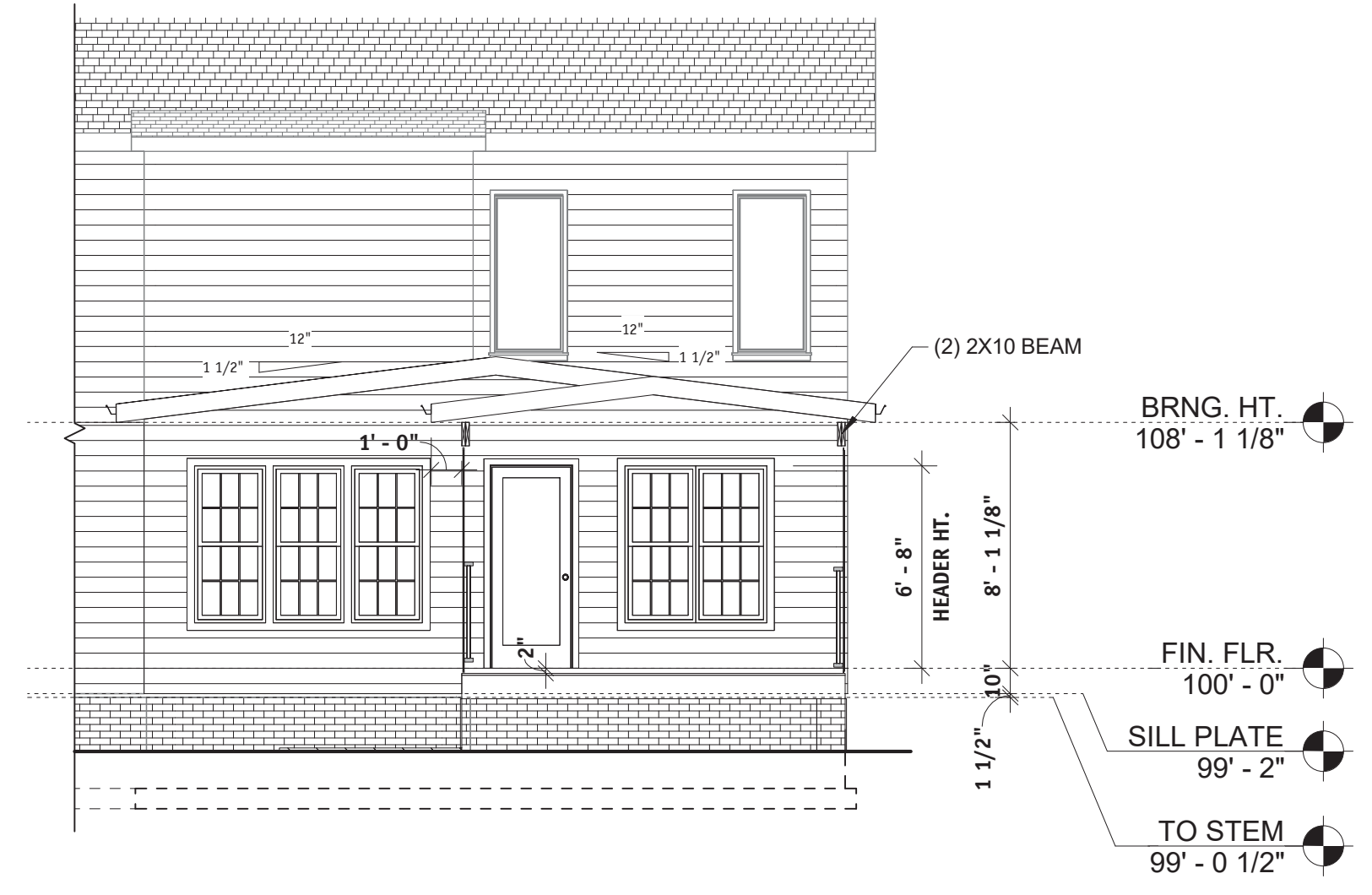
2 Left Elevation
Scale 3/16" = 1'-0"

ROOF PLAN NOTES

1. ROOF DIMENSIONS ARE TAKEN FROM EXTERIOR FACE OF WALL TO EXTERIOR EDGE OF RAFTER / TRUSS. VERIFY LOCATIONS OF ALL ROOF PENETRATIONS WITH STRUC, MECH, AND PLUMBING DWGS.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY, COORDINATE AND/OR INSTALL ALL ADJACENT AND/OR RELATED FLASHINGS, BLOCKING, NAILERS, INSULATION STOPS, CRICKETS, ETC. NECESSARY FOR THE COMPLETE INSTALLATION OF THE ROOF MEMBRANE WHICH ARE REQUIRED FOR A COMPLETE, WARRANTED, WATERTIGHT, WATERPROOF INSTALLATION.
3. ROOF DRAINAGE IS CALCULATED FOR A 100-YEAR, 1-HR. RAINFALL AS REQUIRED BY THE NCIBC PLUMBING CODE FOR PRIMARY ROOF DRAINS (FIGURE 1106.1(a)).
4. CONDUCTORS, DOWNSPOUTS, & SCUPPERS TO BE LOCATED BY CONTRACTOR IN FIELD.
5. ENGINEERED ROOF TRUSSES PER MANUFACTURER DESIGN.

ELEVATION NOTES

1. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS BEFORE CONSTRUCTION BEGINS. ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND PLANS SHALL BE BROUGHT TO THE ATTENTION OF DESIGNER.
2. ALL MATERIALS AND INFORMATION NOTED ON ANY OF THE ELEVATIONS APPLY TO ALL OTHER ELEVATIONS WHERE SIMILAR CONDITIONS OCCUR WHETHER NOTED OR NOT.



1 Section @ Screen Porch
Scale 3/16" = 1'-0"

NEW ADDITION ATTIC VENTILATION

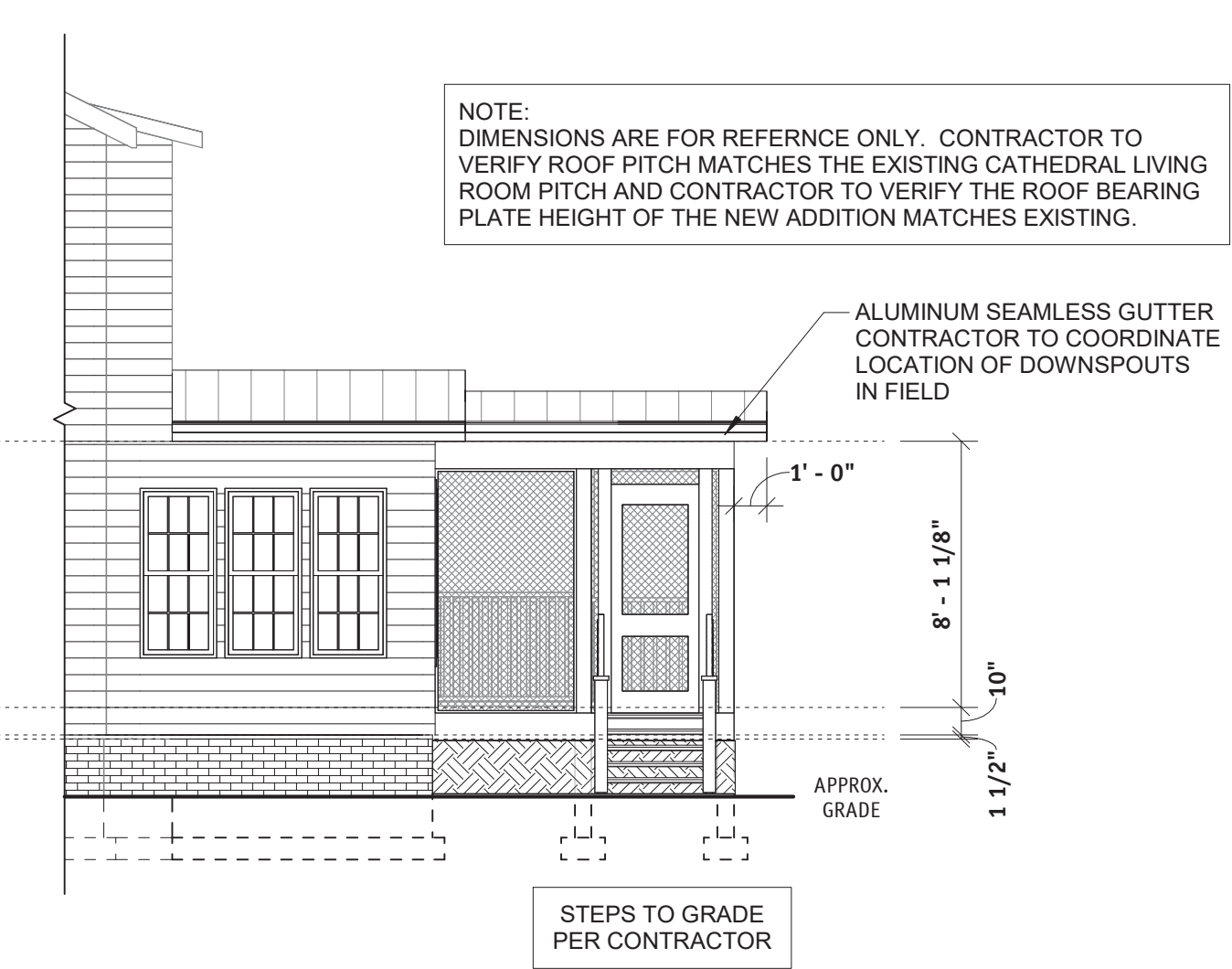
R806.2 MINIMUM VENT AREA
TOTAL NET FREE VENTILATING AREA RATIO = 1/150.
TOTAL ATTIC AREA (SF) = 235 (SF)
235 (SF) / 150 = 1.56 (SF) OF TOTAL NET FREE AREA
1.56 (SF) / 2 = .78 (SF) OF INTAKE NET FREE AREA & .78 (SF) OF EXHAUST NET FREE AREA
.78 (SF) X 144 = 113 (SQ. IN.) OF INTAKE NET FREE AREA & 113 (SQ. IN.) OF EXHAUST NET FREE AREA.
MINIMUM RIDGE VENT PER UNIT = (3) PIECES OF 4'-0" SHINGLE OVER RIDGE VENT PER UNIT.
MINIMUM EAVE VENT PER UNIT = (2) PIECES OF 12" X 12" PERFORATED EAVE VENT.
MINIMUM EAVE VENT PER UNIT = (N/A) PIECES OF 6" X 12" PERFORATED EAVE VENT.

OWNER:
TORI EYE & SARAH MORRIS
Project Name
Project Address

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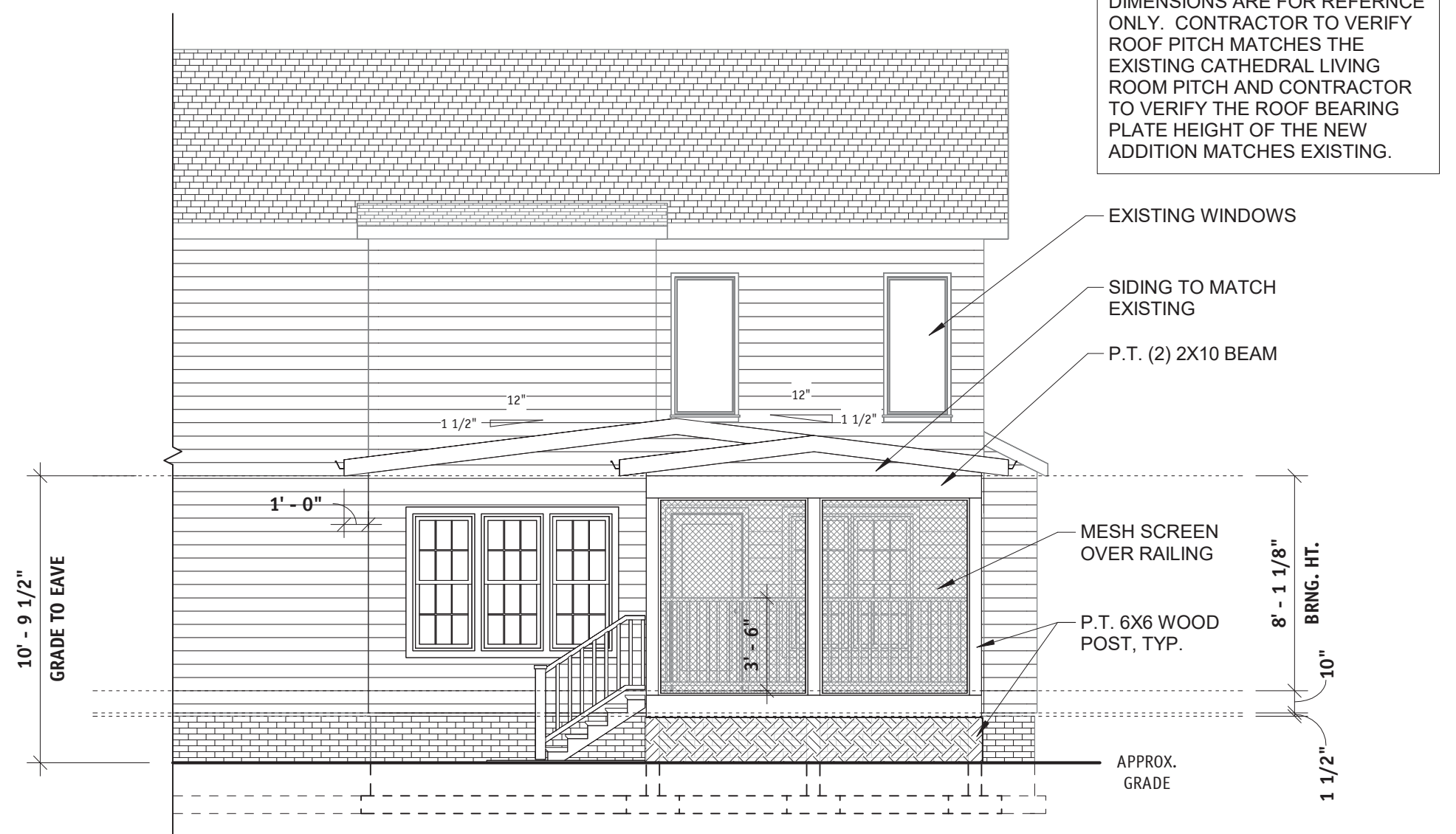


NOTE:
DIMENSIONS ARE FOR REFERENCE ONLY. CONTRACTOR TO
VERIFY ROOF PITCH MATCHES THE EXISTING CATHEDRAL LIVING
ROOM PITCH AND CONTRACTOR TO VERIFY THE ROOF BEARING
PLATE HEIGHT OF THE NEW ADDITION MATCHES EXISTING.



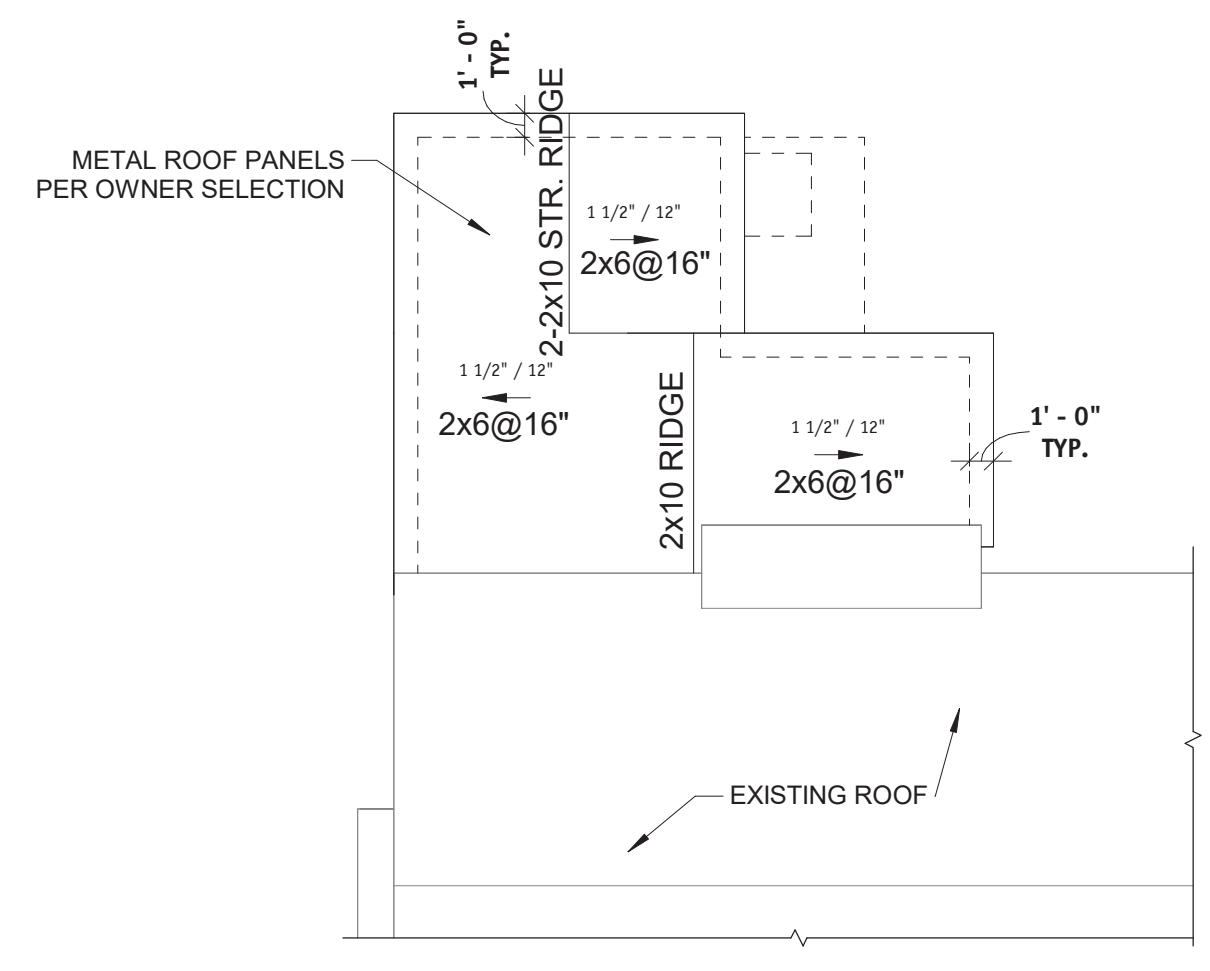
3 Right Elevation
Scale 3/16" = 1'-0"

NOTE:
DIMENSIONS ARE FOR REFERENCE ONLY. CONTRACTOR TO VERIFY
ROOF PITCH MATCHES THE
EXISTING CATHEDRAL LIVING
ROOM PITCH AND CONTRACTOR
TO VERIFY THE ROOF BEARING
PLATE HEIGHT OF THE NEW
ADDITION MATCHES EXISTING.



4 Rear Elevation
Scale 3/16" = 1'-0"

NOTE:
CONTRACTOR TO VERIFY EXISTING GRADE
CONDITIONS BEFORE CONSTRUCTION BEGINS
ALL FOOTINGS TO BE MIN. 12" BELOW GRADE IN
ACCORDANCE WITH NC I.R.C. CODE R-403.1.4



5 Roof Plan
Scale 1/8" = 1'-0"

REV	DATE	DESCRIPTION

Elevations, Roof Plan
Project:
R.B. ROUSE, LLC
P.O. BOX 1
SEVEN SPRINGS, NC 28578
919-920-2224

Date: 08/28/2024
Scale: AS NOTED
Project Number:
Sheet: **A3**