

MISCELLANEOUS NOTES

Design Documents and Construction Based on:

2018 NC Residential Building Code &
2018 NC Energy Conservation Code

GENERAL NOTES:

The notes, recommendation and considerations included herein are offered in good faith for the contractor's reference. These notes are not all-inclusive and do not by any means include all the information necessary about all aspects of the construction project. These notes are superseded by the contractor's experience, best judgment, and local applicable building codes. The drawings, illustrations and diagrams included in this package represent the design intended for the building and are to be used in the coordination of work. The contractor is responsible for the integrity of all assemblies and all work is to conform to accepted residential construction standards.

CONCRETE:

- All material and workmanship shall conform to ACI 318. All detailing, fabrication, accessories, and placement of reinforcing shall conform to ACI Manual of Standard Practice for Detailing Reinforced Concrete Structures.
- Concrete shall be normal weight gray concrete and develop a minimum compressive strength of 3000 PSI at 28 days (about 4 weeks).
- A 4-inch-thick base course consisting of clean graded sand, gravel, crushed stone, crushed concrete, or crushed blast furnace slag passing a 2" sieve shall be placed on the prepared sub-grade where the slab is below grade. Exception: A base course is not required where the concrete slab is installed on well-drained or sand-gravel mixture soils.
- A 6-mil polyethylene or approved vapor retarder with joints lapped not less than 6 inches shall be placed between the concrete slab and the base course of the prepared sub-grade where a base course exists. Exception: the vapor retarder is not required for the following: 1. Garages, utility buildings or other unheated accessory structures. 2. Carports and unheated storage rooms having an area less than 70 square feet. 3. Driveways, walks, patios, and other flatwork that are not likely to be enclosed and heated at a later date. 4. Where approved by the building official.
- Control joints in concrete slabs shall be located so the maximum area within joints is less than 600 square feet and the ratio of side dimensions is no more than 2:1.
- Provide expansion joints where required by local code.
- Lap all reinforcing bars a length of 30 bar diameters minimum.
- Foundation bolts must be anchored to sill plate with 1/2" diameter anchor bolts embedded into foundation wall or concrete slab for monolithic slabs. Anchor bolts shall conform to ASTM A307. Bolts shall be located within 12" of each corner and spaced 6' on center.

WOOD FRAMING:

- All wood framing and materials shall comply with National Design Specifications for Wood Construction published by the National Forest Products Association.
- Unless noted otherwise, all framing members to be Spruce-Pine-Fir (SPF) #2, Southern Pine #2, or equal.
- Lumber for 2x4 or 2x6 stud partitions shall be SPF #2 or equal at 16" on center.
- All exterior stud walls to be constructed of 2x4 or 2x6 SPF #2 or equal at 16" on center.
- All headers and beams are to be supported by built-up framing lumber or columns. Support is to be continuous to the foundation.
- Any structural and/or framing members not indicated on the plan are to be sized by the contractor. Consult with a licensed structural engineer where necessary.
- Lumber that is in contact with concrete or masonry shall be pressure treated lumber.
- All exterior walls are dimensioned to the outside of 1/2" (nominal) plywood/OSB sheathing.
- All interior walls are dimensioned to the face of studs.
- All trusses to be engineered and constructed by a PI member truss manufacturer. Install temporary and permanent bridging per truss manufacturer's recommendations.
- One row of 1x4 wood cross bracing or solid blocking on all spans over 16'0"
- Collar ties to be spaced at 4'0" on center.
- All purlins and kickers are to be 2x6 unless otherwise noted.
- Any hip or valley rafters of 28'-0" span or more to be Laminated Veneer Lumber (LVL).

ELECTRICAL NOTES:

- Electrical receptacles shall be no more than 12 feet apart, including any wall 2 feet or wider. (Bathrooms, Kitchens, and Utility Rooms excepted).
- GFCI outlets to be installed in Garages, Outdoors and in Laundry Rooms, Bathrooms and Kitchens within 6'0" measured horizontally from sinks.
- Bathrooms shall be provided with switches controlling light fixtures and mechanical ventilation.
- Exterior light fixtures shall be provided at all doors to the exterior. Switches shall be provided near doors controlling outdoor light fixtures.
- Prewire for phone, data and/or TV in rooms decided by the contractor or Owner.
- Reinforce all ceiling-mounted lights, fixtures and/or devices.
- At least one light fixture and outlet shall be installed in attics and crawlspaces used for storage or where equipment is located.
- Provide exterior outlets at the front and rear of the home. Outlets must be within 6'6" of grade and weatherproof and GFCI protected.
- Electrical lighting fixtures in clothes closets shall be installed with a minimum of 18" clearance to combustible materials. Fixtures shall be vertically clear to the floor or recessed.
- Provide a minimum of one smoke detector per floor.
- Smoke detectors to be installed above door inside of each sleeping room as well as being located outside of each sleeping room.
- Smoke detectors shall be connected to house power and install interconnect so that when anyone is tripped all units will sound.
- Smoke detectors must have a battery back-up.

PLUMBING NOTES:

- Plumbing fixtures shall have a water usage as stated; Toilet: 1.6 Gallons per flush maximum; Shower head: 2.5 GPM Maximum; Lavatory Faucets: 2.2 GPM maximum; Sink Faucets: 2.2 GPM maximum.
- All exterior hose bibs to have non-removable back flow prevention devices
- Provide a minimum 30" wide space at water closet, extending at least 30" in front of toilet.
- Water heater shall be provided with a temperature and pressure relief valve.

STEEL:

- All material and workmanship shall conform to AISC specifications for the design, fabrication and erection of structural steel.
- All structural steel beams and plates shall comply with ASTM A 572 Grade 50.
- All structural steel columns shall comply with ASTM A 615 Grade 60
- All welds shall be made with E70XX electrodes. All butt welds shall be full penetration. Minimum size of fillet welds shall conform to AISC specifications.

DESIGN LOADS:

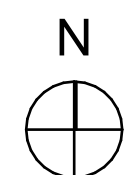
- Floor: 40 PSF Live Load and 20 PSF Dead Load
- Roof: 30 PSF Live Load and 15 PSF Dead Load
- Attic: 30 PSF in storage areas and 10 PSF where no storage.
- Assumed soil bearing capacity: 2000 PSF; Verify soil bearing capacity on site.



SITE INFORMATION

SEE SITE PLAN PROVIDED BY
ENGINEER OR SURVEYOR

VICINITY MAP



SEE SITE PLAN
PROVIDED BY
ENGINEER OR
SURVEYOR

ABBREVIATIONS

&	AND	E.J.	EXPANSION JOINT	INT	INTERIOR	REQD	REQUIRED	TEL	TELEPHONE
<	ANGLE	ELEV	ELEVATION	JST	JOIST	RESIL	RESILIENT	TEMP	TEMPERED
@	AT	ELEC	ELECTRICAL	RET	RETAINING	REV	REVISION/REVISED/REVERSED	T&G	TONGUE & GROOVE
#	POUND OR NUMBER	EQ	EQUAL	RM	ROOM	R.O.	ROUGH OPENING	TER	TERRAZZO
(+) (-)	PLUS OR MINUS	EQUIP	EQUIPMENT	RM	ROOM	REMOV	REMOVABLE	THK	THICK
A.C.	AIR CONDITIONING	EXIST	EXISTING	LT	LIGHT	REMOV	REMOVABLE	T.M.E.	TO MATCH EXISTING
APPROX	APPROXIMATE	EXP	EXPANSION	LT	LIGHT	R.O.	ROUGH OPENING	T.O.C.	TOP OF CONCRETE
ARCH	ARCHITECTURAL	EXT	EXTERIOR	MAX	MAXIMUM	R.D.WD	REDWOOD	T.O.P.	TOP OF PLATE
ASPH	ASPHALT	F.A.	FIRE ALARM	MECH	MECHANICAL	S	SOUTH	T.O.P.LY	TOP OF PLYWOOD
BD	BOARD	F.D.	FLOOR DRAIN	MEMB	MEMBRANE	S.C.	SOLID COVE	T.O.W.	TOP OF WALL
BLDG	BUILDING	FIXT	FIXTURE	MTL	METAL	S.C.D.	SOLID CORE DOOR	TY	TYPICAL
BLK	BLOCK	FLR	FLOOR	MFR	MANUFACTURER	S.D.	STORM DRAIN	U.B.C.	UNIFORM BUILDING CODE
BLKG	BLOCKING	FLASH	FLASHING	MIN	MINIMUM	SCHED	SCHEDULE	UNEXC	UNEXCAVATED
CEM	CEMENT	FR	FRAME	MISC	MISCELLANEOUS	SECT	SECTION	UNF	UNFINISHED
C.M.U.	CONCRETE MASONRY	FT	FOOT OR FEET	NOM	NOMINAL	SEP	SEPARATION	UNO	UNLESS NOTED OTHERWISE
COL	UNIT	FTG	FOOTING	N.T.S.	NOT TO SCALE	SH	SHOWER	VAR	VARIES
CONC	COLUMN	FURR	FURRING	O.C.	ON CENTER	SHT	SHEET	VCT	VINYL COMPOSITION TILE
COND	CONCRETE	G	GAS OUTLET	PERIM	PERIMETER	SHR	SHOWER	VEN	VENEER
CONSTR	CONSTRUCTION	GA	GAUGE	PLYWD	PLYWOOD	SHTG	SHEATHING	VERT	VERTICAL
CONTR	CONTINUOUS	GALV	GALVANIZED	PL	PLATE	SIM	SIMILAR	VEST	VESTIBULE
CTR	CENTER	GEN	GENERAL	PL	PLATE	SPEC	SPECIFICATION OR SPECIAL	V.G.D.F.	VERTICAL GRAIN DOUGLAS FIR
DBL	DOUBLE	G.F.I.	GROUND FAULT	PSI	PER SQUARE INCH	SQ	SQUARE	V.I.F.	VERIFY IN FIELD
DET	DETAIL	GYP	GYPSPUM	PT	PRESSURE TREATED	S.S.	STAINLESS STEEL	VOL	VOLUME
DIA	DIAMETER	H.B.	HOSE BIBB	Q.T.	QUARRY TILE	S.SK	SERVICE SINK	W	WEST
DIM	DIMENSION	HDR	HEADER	R	RISER	STD	STANDARD	W	WITH
DN	DOWN	HDWD	HARDWOOD	R.A.	RETURN AIR	STL	STEEL	W.C.	WALL COVERING
DR	DOOR	HGR	HANGER	RAD	RADIUM	STOR	STORAGE	WD	WOOD
D.W.	DISHWASHER	HT	HEIGHT	REC	RECESSED	S.V.	SHEET VINYL	WH	WATER HEATER
DRWG	DRAWING	HORIZ	HORIZONTAL	REF	REFERENCE	S.W.	WEAR WALL	W/O	WITHOUT
DRW	DRAWER	HW	HOT WATER HEATER	REFRIG	REFRIGERATOR	SYM	SYMMETRICAL	W.P.	WORK POINT OR
EA	EACH	I.D.	INSIDE DIAMETER	REG	REGISTER	SYS	SYSTEM	W.P.M.	WATERPROOF MEMBRANE
EIFS	EXTERIOR INSULATION & FINISH SYSTEM	IN	INCH	REFL	REFLECTED	T	TREAD	WSCT	WAINSCOT
		INSUL	INSULATION	REFRIG	REFRIGERATOR	T.B.	TOWEL BAR	WT	WEIGHT
				REINF	REINFORCED	T.C.	TOP OF CURB	WR	WATER RESISTANT
								WW	WELDED WIRE

PROJECT INFORMATION

PROPOSED PROJECT FOR:

Tim & Janet Johnson

2467 Line Road, Cameron, NC 28326

Pilson Subdivision

Book 221, Pg. 580

Deed Ref.: 4183, Pg. 1395

PID:099535 0002 10

PIN: 9535-72-2336.000

DESIGN DOCUMENTS PREPARED BY:
13 THIRTEEN DESIGN & PLANNING

Michael L. Moore

SYMBOLS

- WORK POINT, CONTROL POINT or DATUM POINT
- EXTERIOR ELEVATION ELEVATION IDENTIFICATION SHEET WHERE ELEV. IS DRAWN
- SECTION IDENTIFICATION SHEET WHERE SECTION IS DRAWN
- DETAIL IDENTIFICATION SHEET WHERE DETAIL IS DRAWN
- INTERIOR ELEVATION(S) INTERIOR ELEV. IDENTIFICATION SHEET WHERE INT. ELEV. IS DRAWN
- ROOM IDENTIFICATION ROOM NAME ROOM NO.
- COLUMN LINE
- WALL TYPE
- DOOR SYMBOL DOOR MARK HARDWARE GROUP
- WINDOW TYPE
- REVISION
- MATCH LINE SHADED PORTION IS THE SIDE CONSIDERED

AREA CALCULATIONS

NET AREA is calculated to outside edge of framing
GROSS AREA is calculated to outside edge of siding or veneer

HEATED SQUARE FOOTAGE

Zone Name	Net Area	Gross Area
-----------	----------	------------

1 - GARAGE	1,340	1,340
2 - FRONT PORCH	120	120
	1,460 ft²	1,460 ft²

UNHEATED SQUARE FOOTAGE

Zone Name	Net Area	Gross Area
-----------	----------	------------

1 - GARAGE	1,340	1,340
2 - FRONT PORCH	120	120
	1,460 ft²	1,460 ft²

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A I American Institute
B D of Building Design

PROJECT NAME:

T Johnson Garage-2467 Line
Tim & Janet Johnson
2467 Line Road, Cameron, NC
28326

DOCUMENTS PREPARED FOR:

SHEET INDEX

ARCHITECTURAL DRAWINGS

A01	TITLE SHEET / GENERAL INFO
A02	FOUND., 1st & 2nd FLOOR PLAN
A03	EXTERIOR ELEVATIONS
A04	ROOF PLAN & SECTIONS

PROJECT NO: AC27-24-4-13533

MODEL FILE:

T Johnson Garage-2467 Line.pln

DRAWN BY: MM

DESCRIPTION: NC/1 Story/2 Car

SHEET TITLE

TITLE SHEET / GENERAL INFO

A01





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PRIOR TO CONSTRUCTION!**

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DRAWN BY: MM

DESCRIPTION: NC/1 Story/2 Car

SHEET TITLE

FOUND., 1st & 2nd FLOOR PLAN

A02

STRUCTURAL EVALUATION BY:
HOWERTON SERVICES, PLLC
3513 CATHEDRAL BELL ROAD
RALEIGH, NC 27614
LICENSE P-1716

* ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS ON THIS DOCUMENT. SEAL DOES NOT INCLUDE CONSTRUCTION REVIEW, MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES OR SAFETY PRECAUTIONS.

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BRACED WALL NOTES:

- BRACED WALLS ARE REQUIRED PER SECTION R602.10.1 2018 NCBC RESIDENTIAL CODE
- THE EXTERIOR WALL STRUCTURE SHALL BE CONTINUOUSLY SHEATHED, FULL HEIGHT WITH MIN THICKNESS 7/16" OSB. THESE WALLS SHALL BE CONSTRUCTED IN CONFORMANCE TO TYPE CS-WSP DETAILS. REFER TO PLAN FOR LOCATION OF REQUIRED BRACING LABELED "CS BRACING" AND LENGTH OF WALL BRACING LABELED IN LINEAR FEET.
- INTERIOR WALLS WHERE NOTED SHALL BE BRACED PER INDICATED METHOD IN REFERENCE TO NCBC-RESIDENTIAL CODE, TABLE R602.10.2.

LB METHOD:

INSTALL 1X4 WOOD OR CONTINUOUS METAL STRAPPING AT 45 DEGREES TO 60 DEGREES FROM TOP PLATE TO BOTTOM PLATE ACROSS STUDS WITH MAXIMUM STUD SPACING OF 16" ON CENTER. CONNECT AS INDICATED IN CODE SECTION.

GB METHOD:

MINIMUM 1/2" 6 PPSM BOARD TURNED VERTICALLY AND CONTINUOUS FROM TOP PLATE TO BOTTOM PLATE. SCREW CONNECTION TO FRAMING USING SPACING CRITERIA AS INDICATED IN CODE TABLES.

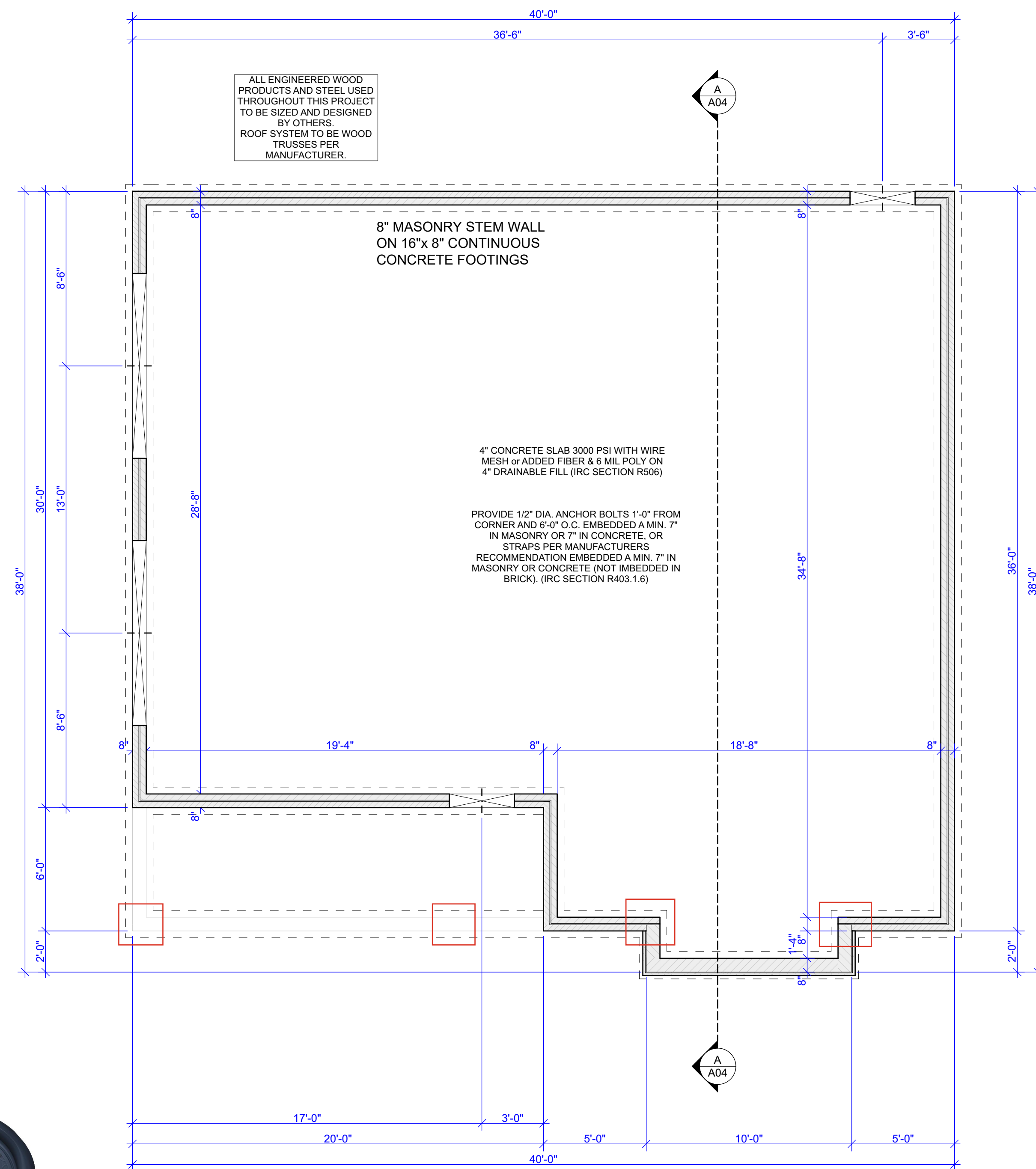
- SPECIAL BRACING DETAILS ARE ILLUSTRATED IN THE CODE AND ALLOWED WHERE WALLS DO NOT MEET THE MINIMUM REQUIREMENTS FOR SUPPORT.
- SEE TABLE R602.7.5 FOR CORRECT NUMBER OF KING STUDS PER HEADER.

GENERAL FRAMING NOTES:

- THIS PLAN DESIGNED IN ACCORDANCE WITH NC RESIDENTIAL CODE, 2018 EDITION.
 - GLAZING AREAS SHOWN ON THESE DESIGN DRAWINGS DO NOT EXCEED 15% OF THE GROSS AREA OF THE EXTERIOR WALLS. THIS STRUCTURE MEETS THE REQUIREMENTS OF N1101.2.1, RESIDENTIAL BUILDING, TYPE A-1.
 - WALL CLADDING IS DESIGNED FOR A 24.1 #/SF OR GREATER POSITIVE/NEGATIVE PRESSURE.
 - ALL WALLS, FLOORS AND CEILINGS SHALL BE INSULATED IN ACCORDANCE WITH CODE SUMMARY.
 - DESIGN CRITERIA:

	DEAD	LIVE
PRIMARY FLOOR	10 PSF	40 PSF
SECONDARY FLOOR	10 PSF	40 PSF
SLEEPING AREAS	10 PSF	30 PSF
ATTIC	10 PSF	20 PSF
ROOF	10 PSF	20 PSF
- DEFLECTION LIMITS:
- | | FLOOR | L/360 (LIVE LOAD ONLY) |
|--|-------|------------------------|
| | ROOF | L/240 |
- ALL HEADERS IN LOAD BEARING WALLS SHALL BE DOUBLE 2X10 U.O.N.
 - ALL WALLS ARE 2X4 @ 16" O.C. U.O.N.
 - PROVIDE DOUBLE FLOOR JOISTS UNDER WALLS ABOVE.
 - PROVIDE FOUNDATION VENT WITHIN 36" OF EACH CORNER.
 - ALL JOISTS TO BE SPF.

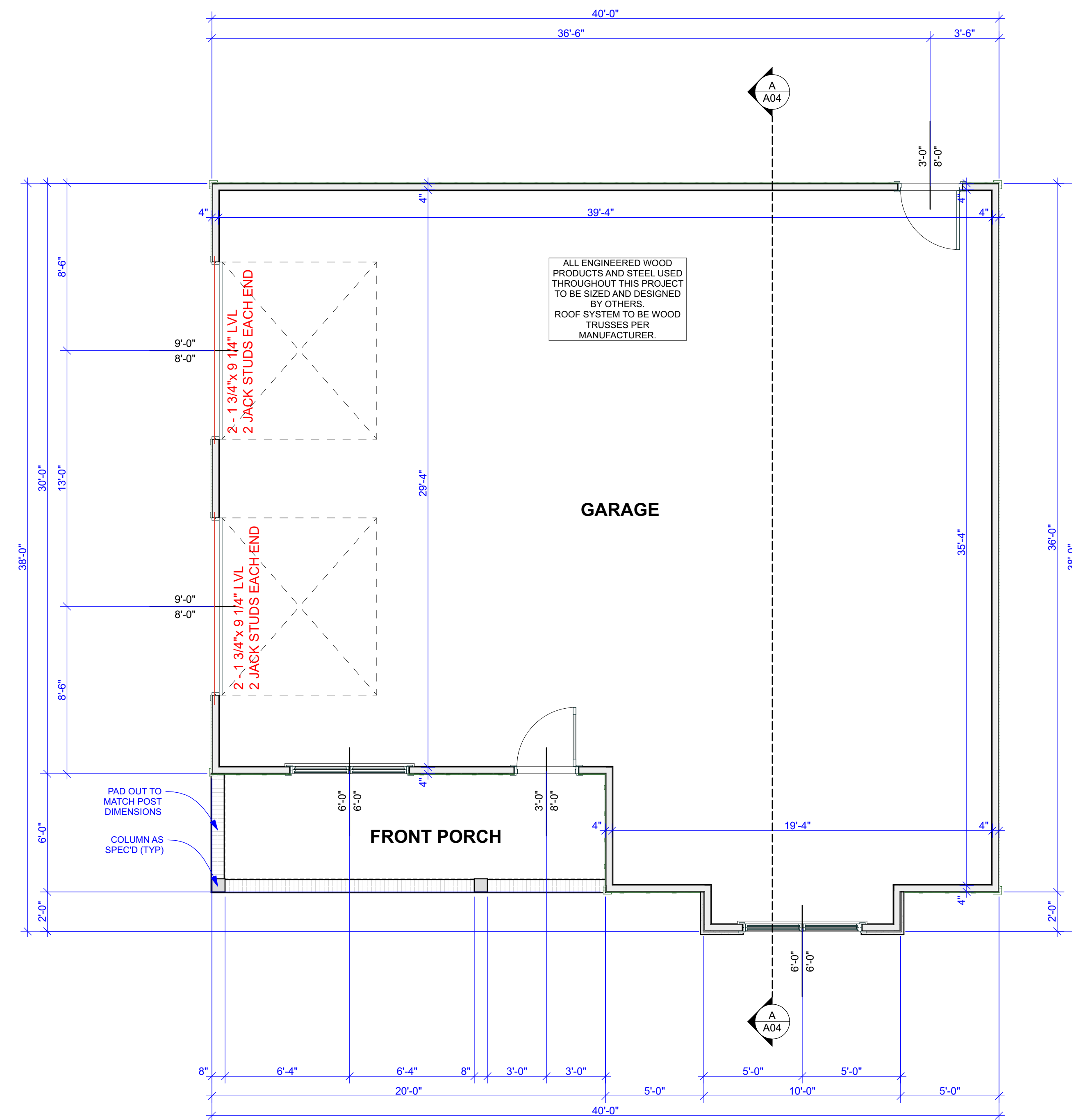
30"x 30"x 10"
EXPANDED CONCRETE
FOOTINGS FOR POINT
LOADS



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

1



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

2

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28326

DOCUMENTS PREPARED FOR:

PROJECT NO: **AC27-24-4-13533**

MODEL FILE:
T Johnson Garage-2467 Line.pln

DRAWN BY: MM

DESCRIPTION: NC/1 Story/2 Car

SHEET TITLE

EXTERIOR ELEVATIONS

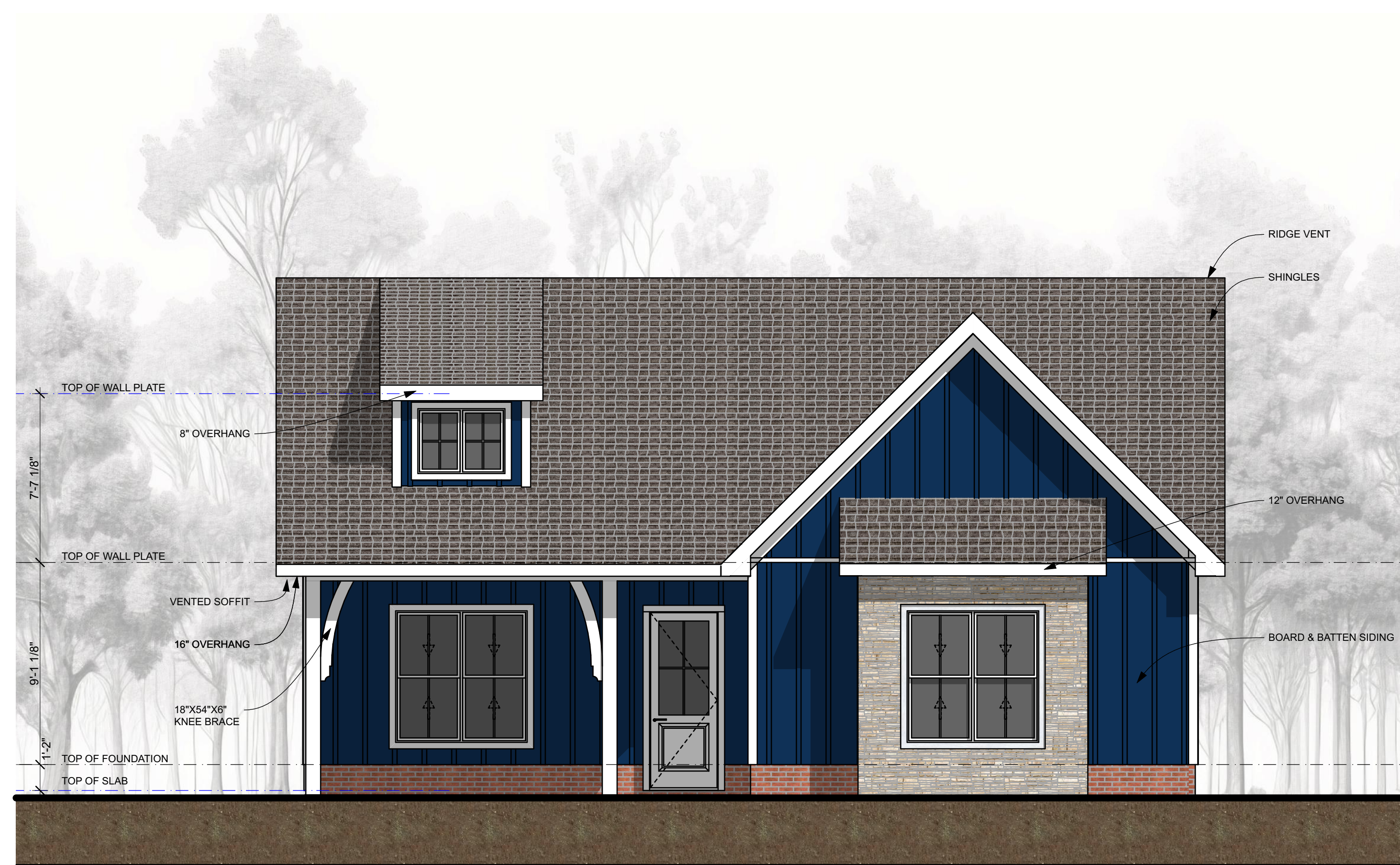
A03



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

3



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

2



REAR ELEVATION

SCALE: 1/4" = 1'-0"

4



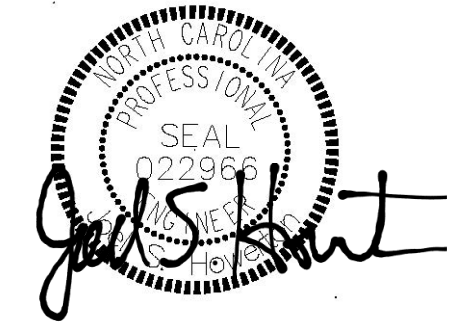
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

1

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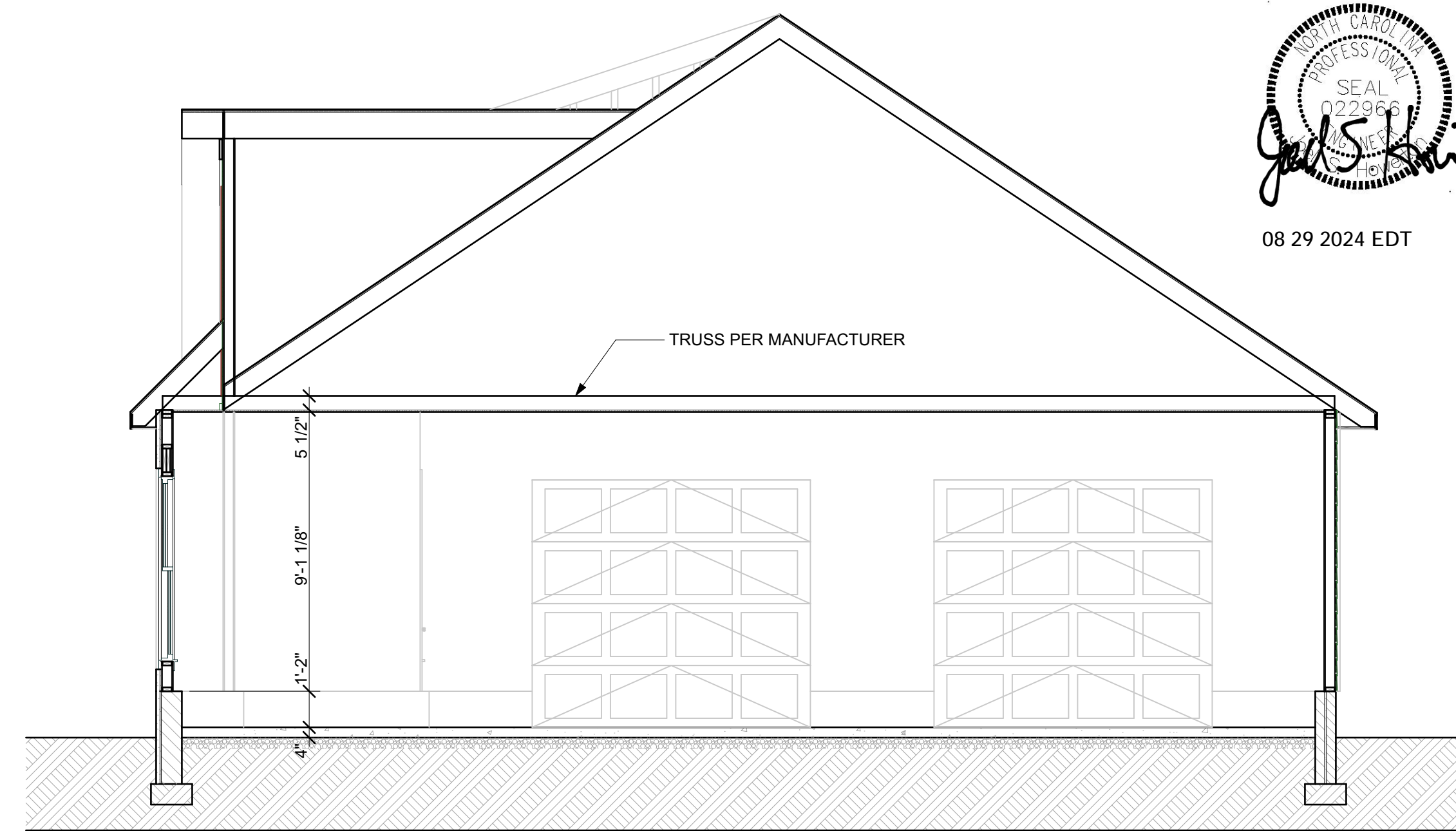
DRAWN BY: MM

DESCRIPTION: NC/1 Story/2 Car

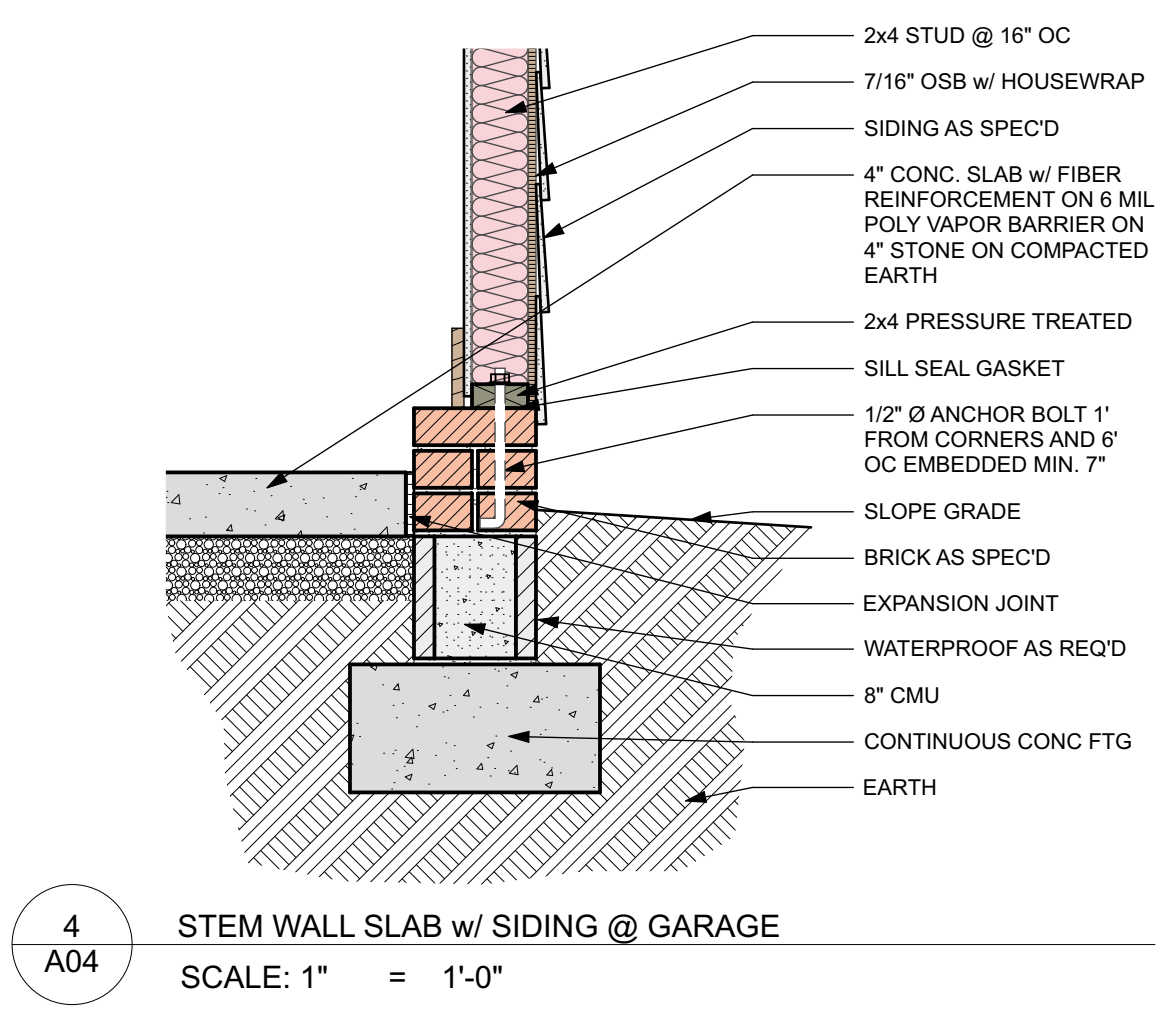
SHEET TITLE

ROOF PLAN & SECTIONS

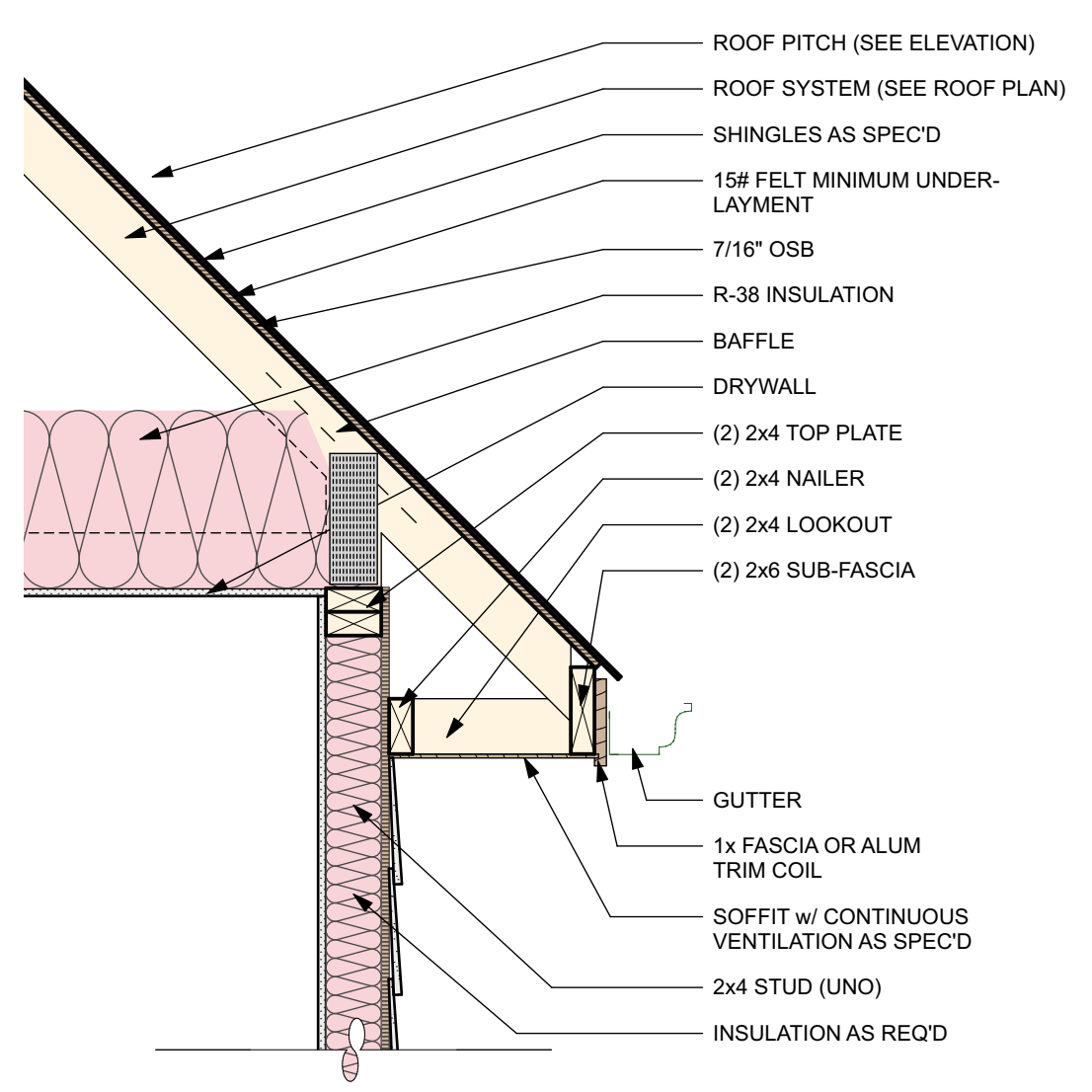
A04



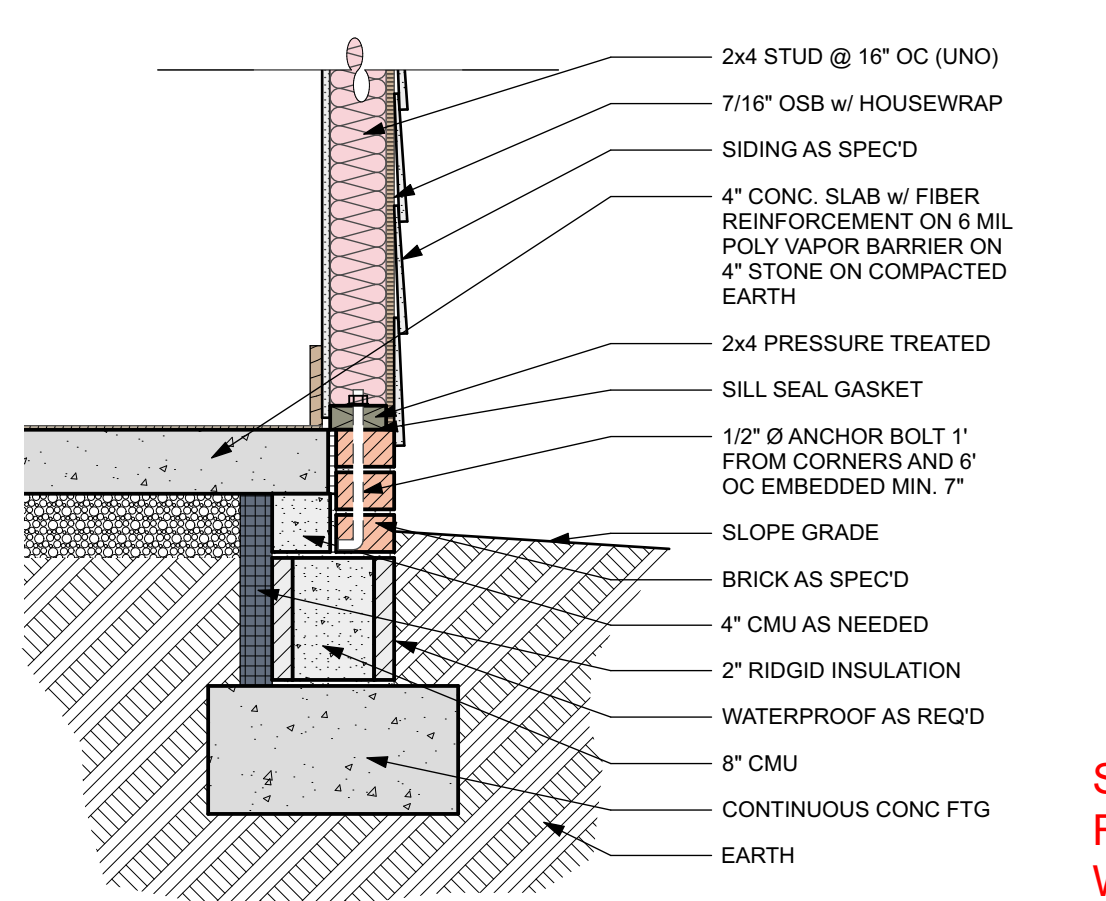
SECTION A
SCALE: 1/4" = 1'-0"



4 A04 STEM WALL SLAB w/ SIDING @ GARAGE
SCALE: 1" = 1'-0"



3 A04 TYPICAL WALL SECTION - STEM WALL SLAB w/ SIDING
SCALE: 1" = 1'-0"

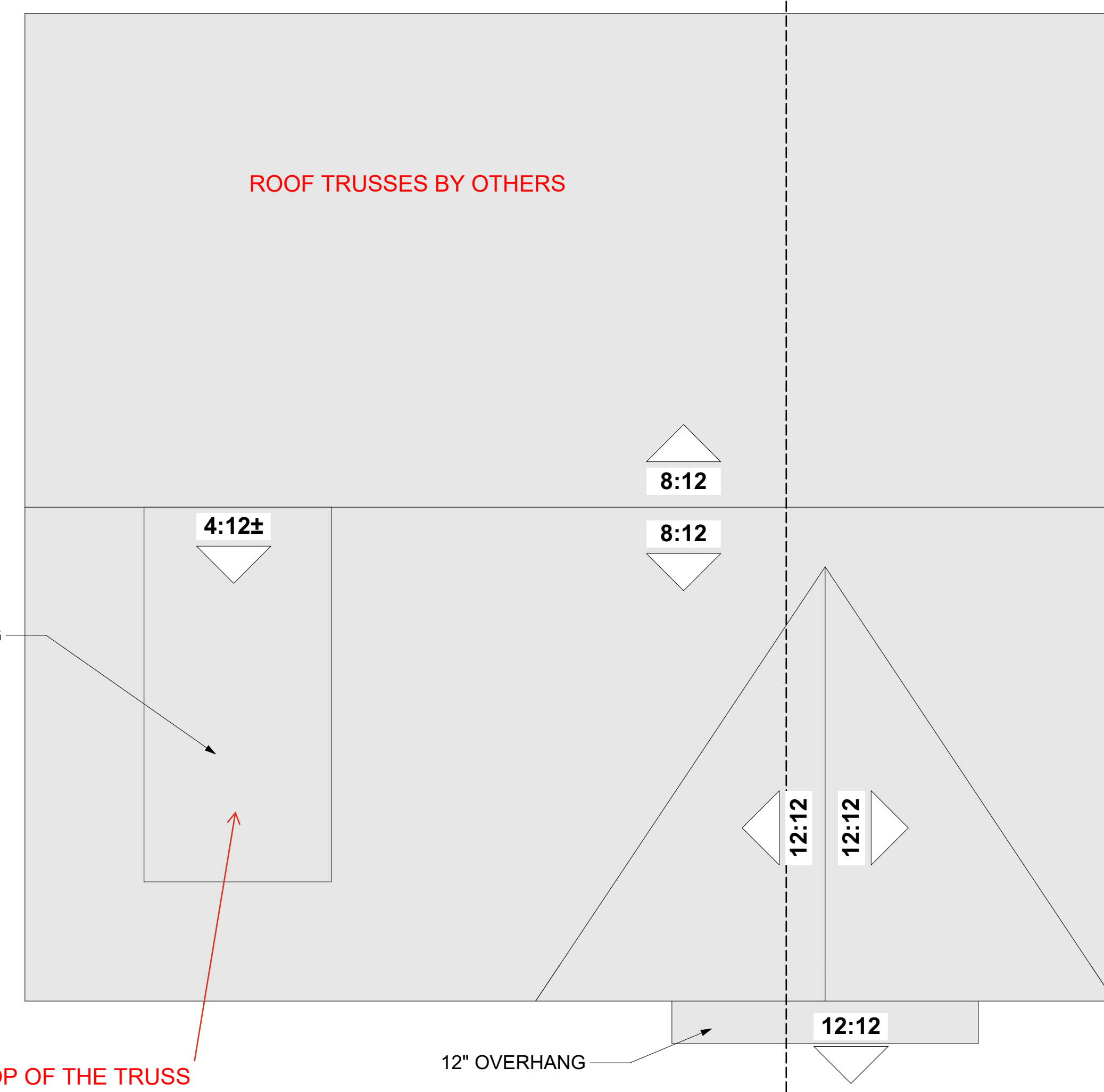


3 A04 TYPICAL WALL SECTION - STEM WALL SLAB w/ SIDING
SCALE: 1" = 1'-0"

ATTIC VENTILATION			
Heated Area:			1340
Unheated Area:			120
Total Area Under Roof:			1460
Square Feet Required:			9.73
PROVIDED VENTILATION			
Vent Type	Quantity	FVA per Unit	Total FVA (sq. ft.)
Soffit	69.75 lf	0.0025	4.38
Ridge	42.50 lf	0.085	5.06
	ea	-	-
Total Vent Area Provided:			9.42

Above calculations are for soffit and ridge vents as well as functional gable vents. Power roof ventilators or some alternate form of ventilation will be needed to make up the deficiency when the provided ventilation total is less than the required ventilation total.

NOTE:
- USE ENGINEERED ROOF TRUSSES - EXTEND BOTTOM CHORD OF TRUSS TO CREATE OVERHANG SOFFIT.
- 18" OVERHANG FROM OUTSIDE EDGE OF FRAMING (UNO)
- ROOF HURRICANE TIES REQUIRED AT THE RAFTERS TO THE TOP PLATES
- MATCH EXISTING ROOF PITCH & OVERHANG
- USE 30# FELT or ICE/WATER SHIELD ON 3:12 PITCH or LESS



ROOF PLAN
SCALE: 1/4" = 1'-0"

STICK BUILD THE DORMER ON TOP OF THE TRUSS ROOF. 2X6 RAFTERS @ 16" O.C. WITH 2X4 STUD WALLS ON EACH SIDE. ADD 2X4 BLOCKING BETWEEN THE ROOF TRUSSES @ 16" O.C. FOR ADDITIONAL SUPPORT UNDER THE ROOF SHEATHING.

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