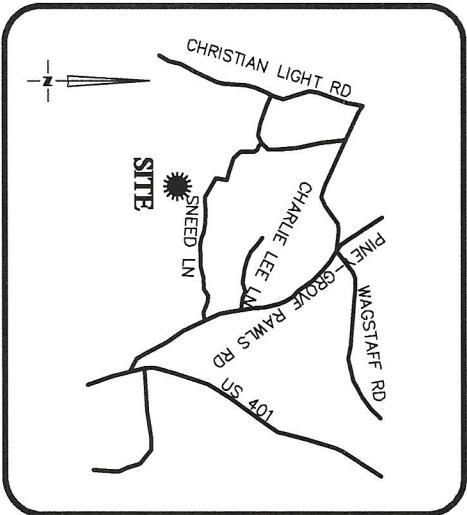
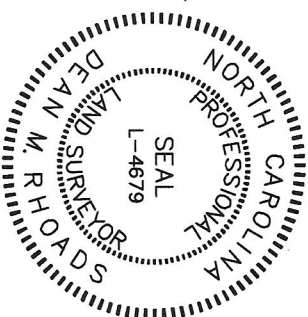


THIS IS TO CERTIFY THAT ON THE 5th DAY OF JULY 2024 AN ACTUAL SURVEY WAS DONE UNDER MY SUPERVISION OF THE PROPERTY SHOWN HEREON, THIS MAP IS NOT INTENDED TO MEET GS 47-30 RECORDING REQUIREMENTS.



VICINITY MAP  
Not To Scale

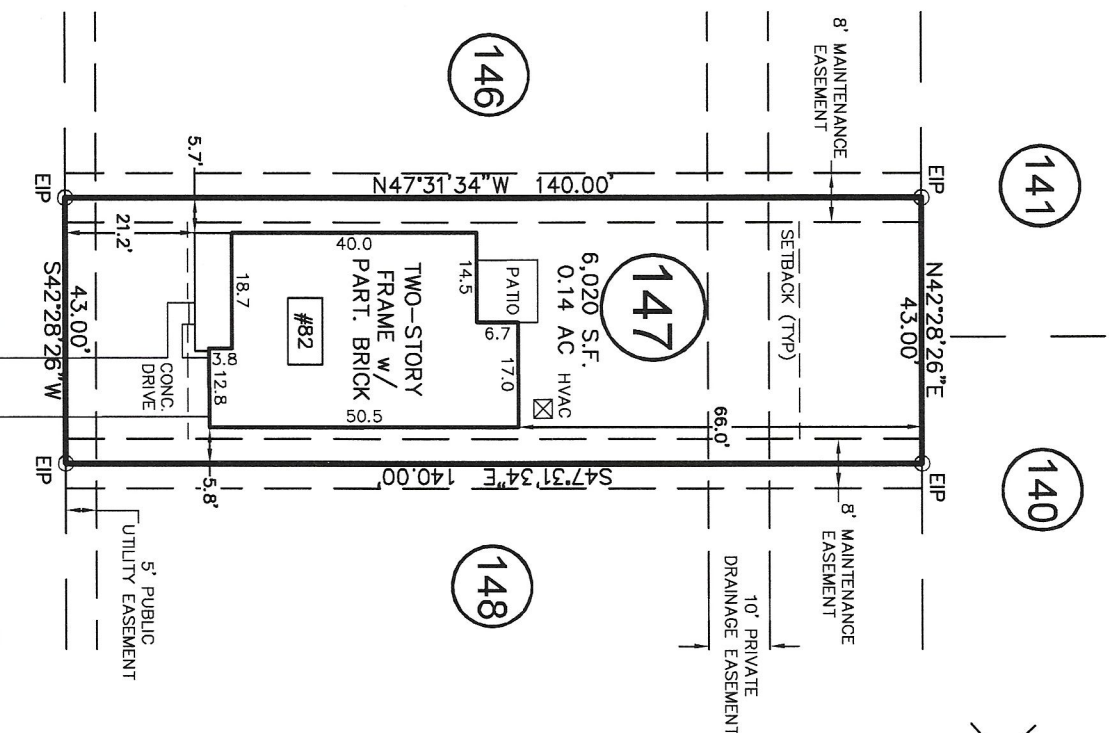
SIGNED Dean Rhoads  
DEAN M. RHOADS, PLS (L-4679)



- LEGEND**
- PROPERTY LINE
  - ADJACENT PROPERTY LINES
  - CLOSURE EXCEEDS 1 INCH IN 10,000 FT.
  - IPS ● - IRON PIN SET
  - EIP ○ - EXISTING IRON PIPE
  - CP ○ - COMPUTED POINT
  - DB - DEED BOOK
  - PB - BOOK OF MAPS/PLAT BOOK
  - PG - PAGE
  - #82 STREET ADDRESS

SETBACKS: (PB 2023 PG 350)

FRONT - 20'  
REAR - 20'  
SIDE - 4'  
CORNER YARD - 12'



**ASHBROOK COVE**  
50' PUBLIC R/W  
& UTILITY

THIS PROPERTY MAY BE SUBJECT TO ANY AND ALL APPLICABLE DEED RESTRICTIONS, EASEMENTS, RIGHT-OF-WAY, UTILITIES AND RESTRICTIVE COVENANTS WHICH MAY BE OF RECORD OR IMPLIED



**RESIDENTIAL LAND SERVICES, PLLC.**

1917 Evans Road  
Cary, North Carolina 27513  
Phone (919) 378-9316  
Firm License # P-0873

**PHYSICAL SURVEY**

FOR

#82 ASHBROOK COVE

LOT 147, SERENITY SUBDIVISION, PHASE 1D, 1E & 2G  
(LOTS LESS THAN 9,000 SF) LOTS 144-167, & 248-272

Hector's Creek Township, Harnett County, North Carolina

PROPERTY OF:

KATHRYN STILES

MAP BOOK 2023 PAGE 350-356 DEED REFERENCE \_\_\_\_\_

DRAWN: EG

SURVEYED: EJM

CHECKED: JLS

DATE: JULY 5, 2024

\*PB 2023 PG 356

DESCRIPTION	AREA
IMPERVIOUS SURFACE AREA	
HOUSE w/ PORCH	1,536 S.F.
PATIO/HVAC	109 S.F.
DRIVEWAY & WALKS	252 S.F.
TOTAL =	1,897 S.F.
*TOTAL (ALLOWED)=	2,530 S.F.